

**COMMUNITY DEVELOPMENT COMMISSION**  
**Village of Bensenville**  
**VILLAGE HALL**  
**July 6, 2021 6:30 PM**

- I. Call Meeting to Order
- II. Roll Call and Quorum
- III. Pledge of Allegiance
- IV. Public Comment
- V. Approval of Minutes

June 1, 2021 Community Development Commission Minutes

VI. Action Items:

- 1. CDC Case 2021-13: Consideration of Variations to Increase Driveway Width and Parking Pad Depth at 138 N Addison Street
- 2. CDC Case 2021-14: Consideration of a Variation to Allow a Paved Parking Area in the Corner Side Yard at 243 Spruce Avenue
- 3. CDC Case 2021-18: Consideration of Variations to Increase Driveway Width and Parking Pad at 213 S York Road
- 4. CDC Case 2021-16: Consideration of Site Plan Review, an Amendment to a Planned Unit Development, and a Final Plat of Subdivision for the Properties Located in the Mohawk Terrace Subdivision
- 5. CDC Case 2021-17: Consideration of a Planned Unit Development and Zoning Map Amendment to Rezone the Site from C-2 Commercial to R-5 Residential at 1131-39 Center Street
- 6. Consideration of a Plat of Consolidation at 1000 N IL Rte. 83

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)



**TYPE:**Minutes**SUBMITTED BY:**Corey Williamsen**DEPARTMENT:**Village Clerk's Office**DATE:**July 6, 2021**DESCRIPTION:**June 1, 2021 Community Development Commission Minutes

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

**REQUEST:****SUMMARY:****RECOMMENDATION:****ATTACHMENTS:**

Description

**DRAFT\_210601\_CDC**

Upload Date

**6/22/2021**

Type

**Cover Memo**



Village of Bensenville  
Board Room  
12 South Center Street  
DuPage and Cook Counties  
Bensenville, IL, 60106

**MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION**

June 1, 2021

**CALL TO ORDER:** The meeting was called to order by Chairman Rowe at 6:30p.m.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Chambers, King, Marcotte, Wasowicz  
Absent: Ciula, Czarnecki  
A quorum was present.

**STAFF PRESENT:** K. Fawell, K. Pozsgay, C. Williamsen

**JOURNAL OF PROCEEDINGS:** The minutes of the Community Development Commission Meeting of the May 4, 2021 were presented.

**Motion:** Commissioner Wasowicz made a motion to approve the minutes as presented. Commissioner Marcotte seconded the motion.

All were in favor. Motion carried.

Senior Village Planner, Kurtis Pozsgay and Village Planner, Kelsey Fawell, were present and sworn in by Chairman Rowe.

**PUBLIC COMMENT:** There was no Public Comment.

**Continued Public Hearing:** CDC Case Number 2021-07  
**Petitioner:** Jatin Patel  
**Location:** 213 West Grand Avenue  
**Request:** Special Use Permit, Tobacco Shop  
Municipal Code Section 10 – 7 – 2 – 1

**Motion:** Commissioner Marcotte made a motion to re-open CDC Case No. 2021-07. Commissioner Chambers seconded the motion.



**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Chambers, King, Marcotte, Wasowicz  
Absent: Ciula, Czarnecki  
A quorum was present.

Chairman Rowe re-opened CDC Case No. 2021-07 at 6:33 p.m.

Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on April 15, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on April 12, 2021. Ms. Fawell stated on April 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

Ms. Fawell stated the Petitioner is seeking a Special Use Permit to allow a tobacco shop at 213 W Grand Avenue, which is located in a multi-tenant commercial building. Ms. Fawell stated the proposed shop will occupy a 1,300SF unit and will operate from 9AM - 9PM daily with one employee.

Emin Tuluze, property owner, was present and sworn in by Chairman Rowe. Mr. Tuluze stated he was present on behalf of the petitioner who had a health issues. Mr. Tuluze stated the petitioner operated eighteen other locations and he supports the proposed business moving into his complex.

Chairman Rowe stated he was concerned allowing one employee to operate the space. Mr. Tuluze stated since he has been the property owner, there has been no issues of safety. Mr. Tuluze also stated that should business become overwhelming for one employee, he would assume the petitioner would increase the amount of employees that operate the space at one time.

Commissioner Wasowicz stated the case was continued so that the petitioner could provide additional information to the Commission and that he had failed to do so.



Ms. Fawell shared a map with the Commission detailing other establishments in the area that have a tobacco license.

Commissioner Wasowicz stated he feels the Village of Bensenville has enough tobaccos stores in the area and that nothing new was provided from the last meeting. Commissioner Wasowicz also added that across the street is the City of Elmhurst which also has plenty of opportunities for tobacco sales as well.

### **Public Comment**

Chairman Rowe asked if there was any member of the Public that would like to comment of the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for the proposed Special Use Permit as presented in the Staff Report consisting of:

- 1) **Public Welfare:** The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.

**Applicant's Response: No, this will be a retail business.**

- 2) **Neighborhood Character:** The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.

**Applicant's Response: Yes, it is compatible with the neighborhood.**

- 3) **Orderly Development:** The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.

**Applicant's Response: No, this will not impede any development.**

- 4) **Use of Public Services and Facilities:** The proposed special use will not require utilities, access roads, drainage and/or other facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.



**Applicant's Response: No, this business will not require any special facilities.**

- 5) **Consistent with Title and Plan:** The proposed special use is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response: Yes, it is.**

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Special Use Permit at 213 West Grand Avenue with the following conditions:

- 1) The Special Use Permit be granted solely to Jatin Patel and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of a re-occupancy of this property, the new occupants shall appear before a Public Meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and/or ownership to the new occupant without amendment to the Special Use Permit, or if the CDC deems that the new occupant contemplates a change in use which is inconsistent with the Special Use Permit, the new occupant shall be required to petition for a new Public Hearing before the CDC for a new Special Use Permit.

There were no questions from the Commission.

Motion: Commissioner Chambers made a motion to close CDC Case No. 2021-07. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2021-07 at 6:41p.m.



**Motion:** Commissioner Chambers made a combined motion to approve the Findings of Fact and Approval a Special Use Permit, Tobacco Shop; Municipal Code Section 10-7-2-1. Chairman Rowe seconded the motion.

**ROLL CALL:** Ayes: Rowe, Chambers, King, Marcotte

Nays: Wasowicz

Motion carried.

**Public Hearing:** CDC Case Number 2021-12  
**Petitioner:** Adrian Cazares  
**Location:** 386 East Red Oak Street  
**Request:** Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1  
Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8 – G.3

**Motion:** Commissioner Marcotte made a motion to open CDC Case No. 2021-12. Commissioner Wasowicz seconded the motion.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Chambers, King, Marcotte, Wasowicz  
Absent: Ciula, Czarnecki  
A quorum was present.

Chairman Rowe opened CDC Case No. 2021-12 at 6:43 p.m.

Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on May 13, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on May 12, 2021. Ms. Fawell stated on May 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.



Ms. Fawell stated the Petitioner is seeking to expand their existing 9ft-wide driveway to 20ft, with a length of approximately 80ft. Ms. Fawell stated the existing driveway leads up to a concrete pad, on which previously sat a garage that has since been razed. Ms. Fawell stated the area between the existing 528SF garage and the concrete pad is unimproved with grass and gravel. Ms. Fawell stated the Petitioner hopes the Variation will alleviate parking availability concerns, as well as prevent future Code violations for parking on unimproved surfaces.

Ms. Fawell stated the Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. Ms. Fawell stated a parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the maximum 10ft width.

Adrian Cazares, property owner, was present and shown in by Chairman Rowe. Mr. Cazares stated he is requesting to expand his driveway from 10 feet to 20 feet. Mr. Cazares stated he has a five bedroom home with drivers in each room. Mr. Cazares stated his neighbors both have wide driveways.

Commissioner Wasowicz asked if the Village is aware of the neighboring properties and if they were provided variances.

Ms. Fawell stated that Staff is unaware of the neighboring properties and that variances are handled on a case by case basis and decisions should not be made on precedence.

Commissioner Marcotte indicated she feels the proposed plans from the petitioner makes the most sense.

### **Public Comment**

Chairman Rowe asked if there was any member of the Public that would like to comment of the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for the proposed variances as presented in the Staff Report consisting of:

1. **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.



**Applicant's Response: It will not endanger the health, safety, comfort, convenience, and general welfare of the public. It's just convenient for the size of household.**

2. **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

**Applicant's Response: It is compatible with the character of adjacent properties to the east and west of the residence. They both have 20' driveways to the street from their garages.**

3. **Undue Hardship:** The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

**Applicant's Response: The proposed Variation does indeed alleviate an undue hardship created by the literal enforcement of this title. By the convenience of multiple cars that reside in the address above at 386 E Red Oak Street.**

4. **Unique Physical Attributes:** The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

**Applicant's Response: It is necessary since my garage is at the back of the property, the garage is 24' wide by 22' deep. I was not allowed to build a garage adjacent to the house therefore creating a longer driveway. It is very inconvenient to pull cars in and out due to different work schedules.**

5. **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

**Applicant's Response: 20' from start of garage tapering off to 10' is just not feasible for the daily usage of this Variation.**



6. **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response: I've seen similar properties in Bensenville with my proposal. I greatly appreciate your consideration to create a more feasible access to our daily usage and it will look aesthetically better as well.**

Ms. Fawell stated Staff recommends the Denial of the above Findings of Fact as they pertain to a Variation for an increase in maximum driveway width, and therefore the Denial of the Variation.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation for an increase in the area of a driveway parking pad at 386 E Red Oak with the following conditions:

- 1) The draining pattern shall remain unchanged and the property shall drain toward the rear of the lot. Any alteration in the proposed grading is subject to Village review and approval; and
- 2) The applicant may pave a pad the width of the garage which connects to the existing concrete slab before tapering back down to the existing driveway width.

There were no further questions from the Commission.

Motion: Commissioner Wasowicz made a motion to close CDC Case No. 2021-12. Chairman Rowe seconded the motion.

ROLL CALL: Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2021-12 at 6:57 p.m.

Motion: Commissioner Chambers made a combined motion to approve the Findings of Fact and Approval of a Variation, Maximum Driveway Width; Municipal Code Section 10 – 8 – 8 – 1. Charmian Rowe seconded the motion.



ROLL CALL: Ayes: Marcotte

Nays: Rowe, Chambers, King, Wasowicz

Motion Failed.

Motion: Commissioner Wasowicz made a combined motion to approve the Findings of Fact and Approval of a Variation, Driveway Parking Pad Municipal Code Section 10 – 8 – 8 – G.3. Commissioner Chambers seconded the motion.

ROLL CALL: Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

**Public Hearing:**

**Petitioner:**

**Location:**

**Request:**

CDC Case Number 2021-11

ML Realty

Mohawk Terrace Subdivision

**Site Plan Review**

Municipal Code Section 10 – 3 – 2

**Final Planned Unit Development**

Municipal Code Section 10 – 4

**Plat of Subdivision**

Municipal Code Section 11 – 3

*With the following code departures:*

**Industrial District Parking Location**

Municipal Code Section 10 – 6 – 19.B.4

**Outdoor Storage Area**

Municipal Code Section 10 – 7 – 2 – 1

**Maximum Number of Parking Spaces**

Municipal Code Section 10 – 8 – 2 – B.6

**Maximum Driveway Width**

Municipal Code Section 10 – 8 – 8 – 1

**Driveway Apron Width**

Municipal Code Section 10 – 8 – 8 – F

**Tree Replacement Standards**

Municipal Code Section 10 – 9 – 2 – B

Motion: Commissioner Wasowicz made a motion to open CDC Case No. 2021-11. Commissioner Marcotte seconded the motion.



**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Chambers, King, Marcotte, Wasowicz  
Absent: Ciula, Czarnecki  
A quorum was present.

Chairman Rowe opened CDC Case No. 2021-11 at 7:01 p.m.

Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on May 13, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on May 12, 2021. Ms. Fawell stated on May 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

Ms. Fawell stated in November of 2020, the Owners appeared before the Community Development Commission and Village Board of Trustees, seeking approval of the following requests: Preliminary Plat of Subdivision, rezoning from residential to industrial, Site Plan Review, and a Preliminary Planned Unit Development with code departures. Ms. Fawell stated these requests, which were conditionally approved by the Village Board, were sought in order to assemble the previously residentially-zoned properties in the Mohawk Terrace Subdivision (southwest corner of Devon Avenue and Illinois Route 83) into an industrial use business park. Ms. Fawell stated the site plan features four industrial buildings with parking for both trucks and passenger vehicles. Ms. Fawell stated in conjunction with the Preliminary Planned Unit Development that was granted, the Petitioners sought code departures, as certain aspects of the site do not meet the following Village Zoning Ordinance requirements.



Ms. Fawell stated the Owners are now seeking approval of a Final Planned Unit Development. Ms. Fawell stated a new code departure is being sought with the Final PUD: Outdoor Storage Area. Zoning Code considers truck and trailer parking as outdoor storage, and the area is restricted to a certain size, which this development exceeds.

Ms. Fawell stated this Final PUD request is simply for site improvement work, and the Owners will come back through the Public Hearing process for PUD Amendments when they have final plans for each proposed building and that lot's respective landscaping.

Timothy J. Geisler and Jamie Putnam of ML Realty were both present and sworn in by Chairman Rowe. Mr. Geisler stated they were both present to answer any questions from the Commission.

There were no questions from the Commission.

#### **Public Comment**

Chairman Rowe asked if there was any member of the Public that would like to comment on the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for Site Plan Review as presented in the Staff Report consisting of:

1. **Surrounding Character:** The site plan for the proposed development is consistent with the existing character and zoning of adjacent properties and other property within the immediate vicinity of the proposed development.

**Applicant's Response:** The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

2. **Neighborhood Impact:** The site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development.



**Applicant's Response:** As the proposed use of the site is harmonious with surrounding properties, the site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development. Including the potential to add new jobs to the community, this project will have other direct financial gains to the Village of Bensenville. Currently, Mohawk Terrace generates approximately \$670,000 in property taxes annually. Once completed and stabilized this park could generate upwards of \$2,000,000 in property taxes. Additionally, by vacating the streets and right of ways, the Village will also save on road maintenance and snow plowing costs.

3. **Public Facilities:** The site plan for the proposed development will be provided with adequate utilities, access roads, parking, loading, drainage, stormwater flow paths, exterior lighting, and/or other necessary facilities.

**Applicant's Response:** All buildings will have ample parking for cars and adequate trailer parking for trucks. The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

4. **Environmental Preservation:** The site plan for the proposed development is designed to preserve the environmental resources of the zoning lot.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. We have come to a fee-in-lieu agreement



**with the Village. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.**

5. **On-site Pedestrian Circulation System:** The site plan shall accommodate on-site pedestrian circulation from parking areas, plazas, open space, and public rights-of-way. Pedestrian and vehicular circulation shall be separated to the greatest extent possible.

**Applicant's Response: We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.**

6. **Vehicle Ingress and Egress:** The site plan shall locate curb cuts for safe and efficient ingress and egress of vehicles. The use of shared curb cuts and cross-access easements shall be provided when appropriate.

**Applicant's Response: The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades.**

7. **Architectural Design:** The site plan for the proposed development includes architectural design that contributes positively to the Village's aesthetic appearance.

**Applicant's Response: We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at**



**the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.**

8. **Consistent with Title and Plan:** The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response: The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.**

Ms. Fawell reviewed the Findings of Fact for Planned Unit Developments as presented in the Staff Report consisting of:

- 1) **Comprehensive Plan:** The proposed planned unit development fulfills the objectives of the Comprehensive Plan, and other land use policies of the Village, through an innovative and creative approach to the development of land.

**Applicant's Response: The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village. Below responses should reflect the innovative and creative approaches our team has taken in our proposal. The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.**

- 2) **Public Facilities:** The proposed planned unit development will provide walkways, driveways, streets, parking facilities, loading facilities, exterior lighting, and traffic control devices that adequately serve the uses within the development, promote improved access to public transportation, and provide for safe motor vehicle, bicycle, and pedestrian traffic to and from the site.



**Applicant's Response:** We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. We are requesting that we relocate the existing full access curb-cuts and add new full access curb cuts along Devon Avenue and plan on utilizing the existing full access at Route 83. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

- 3) **Landscaping and Screening:** The proposed planned unit development will provide landscaping and screening that enhances the Village's character and livability, improves air and water quality, reduces noise, provides buffers, and facilitates transitions between different types of uses.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A separate Memorandum of Understanding was agreed to between the Village and the Petitioner providing a payment of \$200,000 into the Villages Tree Fund in lieu of providing all of the required trees. We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

- 4) **Site Design:** The proposed planned unit development will incorporate sustainable and low impact site design and development principles.



**Applicant's Response:** We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.

- 5) **Natural Environment:** The proposed planned unit development will protect the community's natural environment to the greatest extent practical, including existing natural features, water courses, trees, and native vegetation.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

- 6) **Utilities:** The proposed planned unit development will be provided with underground installation of utilities when feasible, including electricity, cable, and telephone, as well as appropriate facilities for storm sewers, stormwater retention, and stormwater detention.

**Applicant's Response:** The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities



**(ComEd, Nicor, AT&T, etc.) will be installed underground for the new park.**

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Site Plan Review.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Final Planned Unit Development with the following conditions:

1. All conditions of approval required of the Preliminary Planned Unit Development (Ord. No. 66-2020) are consequently conditions of approval of the Final Planned Unit Development; and
2. No grading work shall commence until a Plat of Vacation, subject to Village review and approval, is recorded; and
3. The water main infrastructure is subject to Village review and approval; and
4. The code departure for Outdoor Storage, Municipal Code Section 10-7-2-1 is granted; and
5. The center landscape spine between buildings 2 and 3 be increased from 21 feet to 26 feet; and
6. To the fullest extent possible of the Owners/Petitioner, the Wood Dale Park District Property shall feature infrastructure improvements to promote the use of the future employees of the subject site; and
7. The Owners/Petitioner are required to seek approval of Amendments to the Planned Unit Development for building plans and their respective landscape plans.

There were no further questions from the Commission.

Motion: Commissioner Wasowicz made a motion to close CDC Case No. 2021-11. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2021-11 at 7:10 p.m.



**Motion:** Commissioner Wasowicz made a combined motion to approve the Findings of Fact and Approval of the Site Plan Review. Commissioner Marcotte seconded the motion.

**ROLL CALL:** Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

**Motion:** Commissioner Wasowicz made a combined motion to approve the Findings of Fact and Approval of the Final Planned Unit Development with Staff Recommendations. Commissioner Marcotte seconded the motion.

**ROLL CALL:** Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

**Report from  
Community  
Development:**

Ms. Fawell reviewed both recent CDC cases along with upcoming cases.

**ADJOURNMENT:** There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner King seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:13 p.m.



**TYPE:**Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**

CDC Case 2021-13: Consideration of Variations to Increase Driveway Width and Parking Pad Depth at 138 N Addison Street

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input type="checkbox"/>	Financially Sound Village	<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1
2. Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8 – G.3

**SUMMARY:**

1. The Petitioner is seeking Variations in order to pave an existing gravel area in the rear of their lot, increasing the depth of the existing driveway parking pad and the width of the existing 8' driveway.
2. The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the required 10ft width.

**RECOMMENDATION:**

Staff recommends the Denial of the Findings of Fact and therefore the Denial of the Variations for Maximum Driveway Width and Driveway Parking Pad Depth.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Aerial &amp; Zoning Exhibits</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Application</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/29/2021</b>	<b>Executive Summary</b>
<b>Plat of Survey</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Driveway Extension Plans</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Driveway Extension Plans Zoomed</b>	<b>6/29/2021</b>	<b>Backup Material</b>





# BENSENVILLE

GATEWAY TO OPPORTUNITY

**Community Development Commission**  
**Public Hearing 07.06.21**

**CDC Case #2021 – 13**

**Ricardo Lopez**  
**138 N Addison Street**

**Variation, Maximum Driveway Width**  
Municipal Code Section 10 – 8 – 8 – 1

**Variation, Driveway Parking Pad Depth**  
Municipal Code Section 10 – 8 – 8 – G.3

1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans





CDC#2021 – 13

138 N Addison St

Ricardo Lopez

Variation, Maximum Driveway Width

Municipal Code Section 10 – 8 – 8 – 1

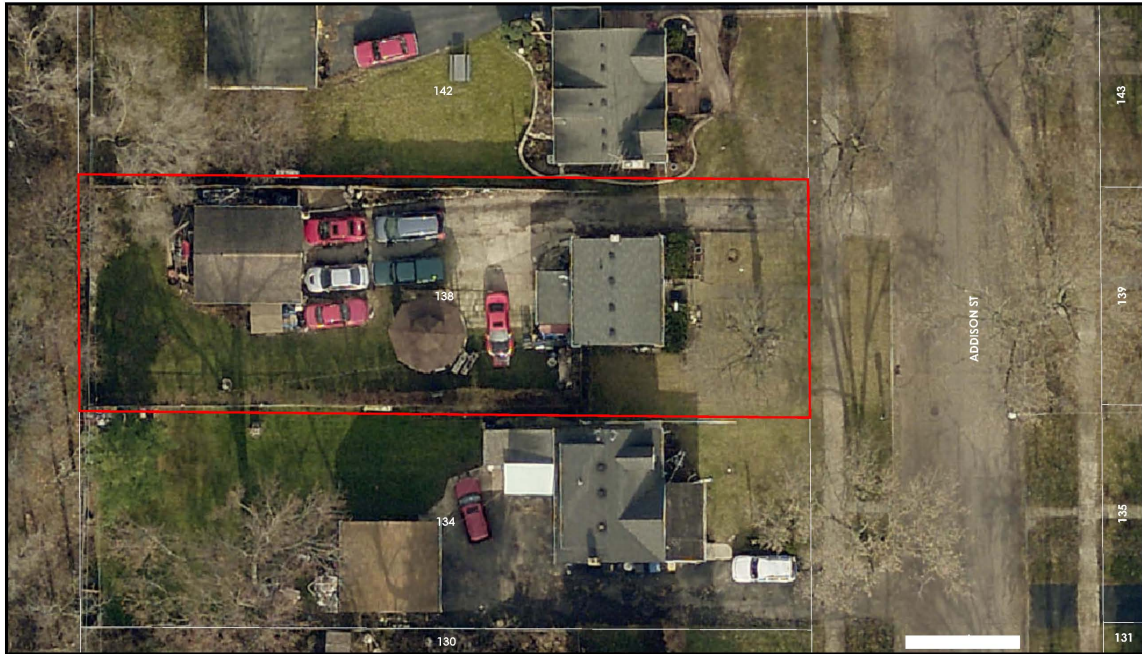
Variation, Driveway Parking Pad Depth

Municipal Code Section 10 – 8 – 8 – G.3



## Village of Bensenville

138 N Addison

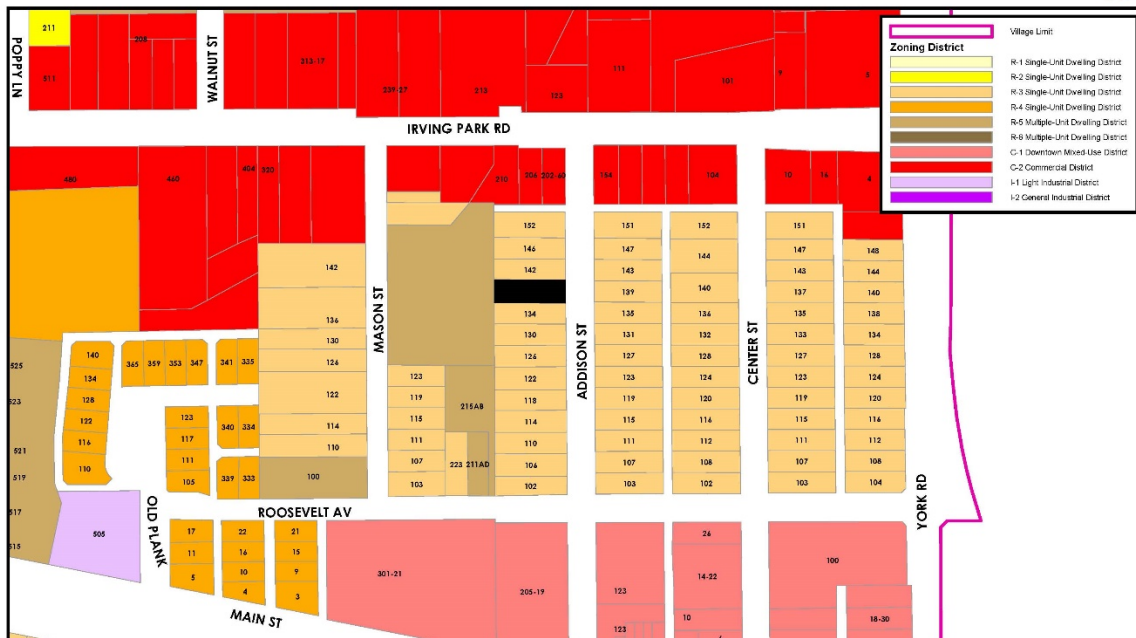


Date: 5/12/2021



## Village of Bensenville

Zoning Map



Date: 5/12/2021



**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, July 6, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 13 to consider a request for:

Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1;

Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8 – G.3

at 138 N Addison Street in an existing R – 3 Single-Unit Dwelling District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

LOT 7 IN BLOCK 3 IN HOMESTEAD, BENSENVILLE, A SUBDIVISION OF PART OF THE S.E. ¼ OF THE N.E. ¼ OF SECTION 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 138 N Addison Street, Bensenville, IL 60106.

Ricardo Lopez of 138 N Addison Street, Bensenville, IL 60106 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through July 6, 2021 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
June 17, 2021**



For Office Use Only

Date of Submission: 5/10 MUNIS Account #: 10967 CDC Case #: 2021-13

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 138 N Addison ST Bensenville IL 60106

Property Index Number(s) (PIN): 03-14-211-021

A. PROPERTY OWNER:

Ricardo Lopez  
 Name Corporation (if applicable)  
138 N Addison ST  
 Street  
Bensenville IL 60106  
 City State Zip Code  
Brenda Lopez (630) 7650091 25BLOPEZ@gmail.com  
 Contact Person Telephone Number Email Address

\*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

B. APPLICANT: ☒ Check box if same as owner

\_\_\_\_\_  
 Name Corporation (if applicable)  
 \_\_\_\_\_  
 Street  
 \_\_\_\_\_  
 City State Zip Code  
 \_\_\_\_\_  
 Contact Person Telephone Number Email Address

B. ACTION REQUESTED (Check applicable):

- ☐ Site Plan Review
- ☐ Special Use Permit
- ☒ Variation
- ☐ Administrative Adjustment
- ☐ Zoning Text or Map Amendment
- ☐ Zoning Appeal
- ☐ Plat of Subdivision
- ☐ Annexation
- ☐ Planned Unit Development\*

\*See Staff for additional information on PUD requests

SUBMITTAL REQUIREMENTS:

- ☒ Affidavit of Ownership\*\* (signed/notarized)
- ☒ Application\*\*
- ☒ Approval Standards\*\*
- ☒ Plat of Survey/Legal Description
- ☒ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Tree Preservation and Removal Plan
- ☒ Application Fees
- ☒ Fees agreement\*\*

\*\*Item located within this application packet.



**Brief Description of Request(s):** (Submit separate sheet if necessary)

To Remove the existing gravel and add Asphalt in its place to improve the appearance of the driveway.

**C. PROJECT DATA:**

1. General description of the site: lot w/ single-family home
2. Acreage of the site: 0.21 Building Size (if applicable): N/A
3. Is this property within the Village limits? (Check applicable below)  
☒ Yes  
☐ No, requesting annexation  
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

Site plans

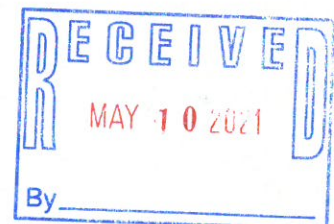
N/A

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	R-3	single-family residential	Bensenville
North:	R-3	single-family residential	↓
South:	R-3	single-family residential	
East:	R-3	single-family residential	
West:	R-5	vacant, unimproved land	

**D. APPROVAL STANDARDS:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."





**COMMUNITY DEVELOPMENT COMMISSION**  
**STAFF REPORT**

**HEARING DATE:** July 6, 2021  
**CASE #:** 2021 – 13  
**PROPERTY:** 138 N Addison Street  
**PROPERTY OWNER:** Ricardo Lopez  
**APPLICANT:** Same as Above  
**SITE SIZE:** 0.21 AC  
**BUILDING SIZE:** N/A  
**PIN NUMBER:** 03-14-211-021  
**ZONING:** R-3 Single-Unit Dwelling District  
**REQUEST:** Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1  
Variation, Driveway Parking Pad Depth  
Municipal Code Section 10 – 8 – 8 – G.3

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday, June 17, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday, June 17, 2021.
3. On Friday, June 18, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

**SUMMARY:**

The Petitioner is seeking Variations in order to pave an existing gravel area in the rear of their lot, increasing the depth of the existing driveway parking pad and the width of the existing 8' driveway. The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the required 10ft width.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>North</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>East</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>West</b>	R – 5	Residential	Multi Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:*****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Account is up to date and has no liens.

Police:

- 1) No objections.

Engineering and Public Works:

- 1) The current drainage pattern shall not be altered and the project shall not cause any adverse drainage impacts on neighboring properties.

Community & Economic Development:Economic Development:

- 1) No comments.

Fire Safety:

- 1) No comments.

Building:

- 1) No comments.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for this property.
- 2) The current zoning is R-3 Single-Unit Dwelling District.
- 3) The Petitioner is seeking two Variations, one for maximum driveway width and one for driveway parking pad depth, in order to pave an existing gravel area in the rear of the lot, increasing the depth of the driveway parking area and the driveway width in the rear yard behind the single-family home.



- 4) Per Section 10-8-8 of the Village Zoning Ordinance, a maximum driveway width of 10 feet is permitted for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20 feet in depth from the garage doors before tapering back to the required maximum driveway width of 10 feet.
  - a. The existing driveway parking pad already extends 20 feet in depth from the garage before tapering down to the existing 8-foot wide driveway.
- 5) Variations seeking relief from maximum driveway width and parking pad depth code requirements are a common request via the Community Development Commission.
- 6) In the event these requests are approved, the property's impervious coverage will remain under the maximum allowable of 4,240 SF, albeit only by a couple of hundred square feet of green space.
- 7) Staff does not recommend the Variations for driveway width and parking pad be granted due to the ample availability of existing parking areas for vehicles on the lot. There is a two-car garage with a parking pad that extends 20 feet in depth (Code's maximum depth), which, together, allow for four vehicle parking spaces. Additionally, the garage is set back approximately 120 feet from the front lot line. The driveway, prior to its extension in order to connect to the parking pad which it serves, has an approximated length of 75 feet.
- 8) It should be noted that the Petitioner has the ability to apply for a permit to extend the existing driveway by an additional two feet in order to meet Code's maximum width of 10 feet.



## **APPROVAL STANDARDS FOR VARIATIONS:**

- 1) **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

**Applicant's Response:** The Driveway variation does not endanger the health, safety, comfort, convenience and general public in any way, the area is not near the public but towards the rear.

- 2) **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

**Applicant's Response:** The driveway variation is compatible with the character of the adjacent properties and other property within the immediate vicinity since the driveway will consist to some of the other properties near mine.

- 3) **Undue Hardship:** The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

**Applicant's Response:** The Driveway variation alleviates an undue hardship created by the literal enforcement of this title. The winter season affects this the most when shoveling snow the gravel gets thrown with the snow to the yard at times, and when summer comes and the grass is mowed some of the gravel is caught and thrown. This is a high risk since our next door neighbors have smaller children that come out and play during the summer. Also this space is needed for my children to have room to park their vehicles in the rear and not towards the front of driveway, since it will help to enter and leave the driveway more freely without having to disturb the traffic from having to pull out more than one vehicle at a time to exchange a vehicle. Occasions have happened where public traffic is waiting while we exchange vehicles and its dangerous since Addison ST connects to one of the busiest streets, Irving Park Rd. Another is that for the past year my 14 year old daughter has been playing badminton and to avoid parking the vehicles on the street, they are parked where the gravel is so she can play in front of the garage which is wider and has more space available.

- 4) **Unique Physical Attributes:** The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

**Applicant's Response:** The Driveway variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant. The entire driveway will be renewed and the section that will be recreated by removing the gravel and adding pavement will not only become more safe but the appearance will improve. This section of pavement is needed so the vehicles aren't backing out and disturbing the traffic, Neighbors also park their vehicles on the street making it difficult to be backing up and changing vehicles. This way the vehicles would be parked on the gravel section that will turn into pavement to avoid disturbing the public and creating an accident.



- 5) **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

**Applicant's Response:** The proposed variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property. I consider that the pavement variation is not going beyond the regulations of the village since some of the properties near me consist of the similar driveway variations that I'd like to add.

- 6) **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response:** The proposed variation is consistent with the intent of the comprehensive plan, this title, and the other land use policies of the village. Most of the Driveway variations meet this standard.

Maximum Driveway Width	Meets Standard	
Variation Approval Standards	<i>Yes</i>	<i>No</i>
1. Public Welfare	X	
2. Compatible with Surrounding Character	X	
3. Undue Hardship		X
4. Unique Physical Attributes		X
5. Minimum Deviation Needed		X
6. Consistent with Ordinance and Plan	X	

Driveway Parking Pad	Meets Standard	
Variation Approval Standards	<i>Yes</i>	<i>No</i>
7. Public Welfare	X	
8. Compatible with Surrounding Character	X	
9. Undue Hardship		X
10. Unique Physical Attributes		X
11. Minimum Deviation Needed		X
12. Consistent with Ordinance and Plan	X	



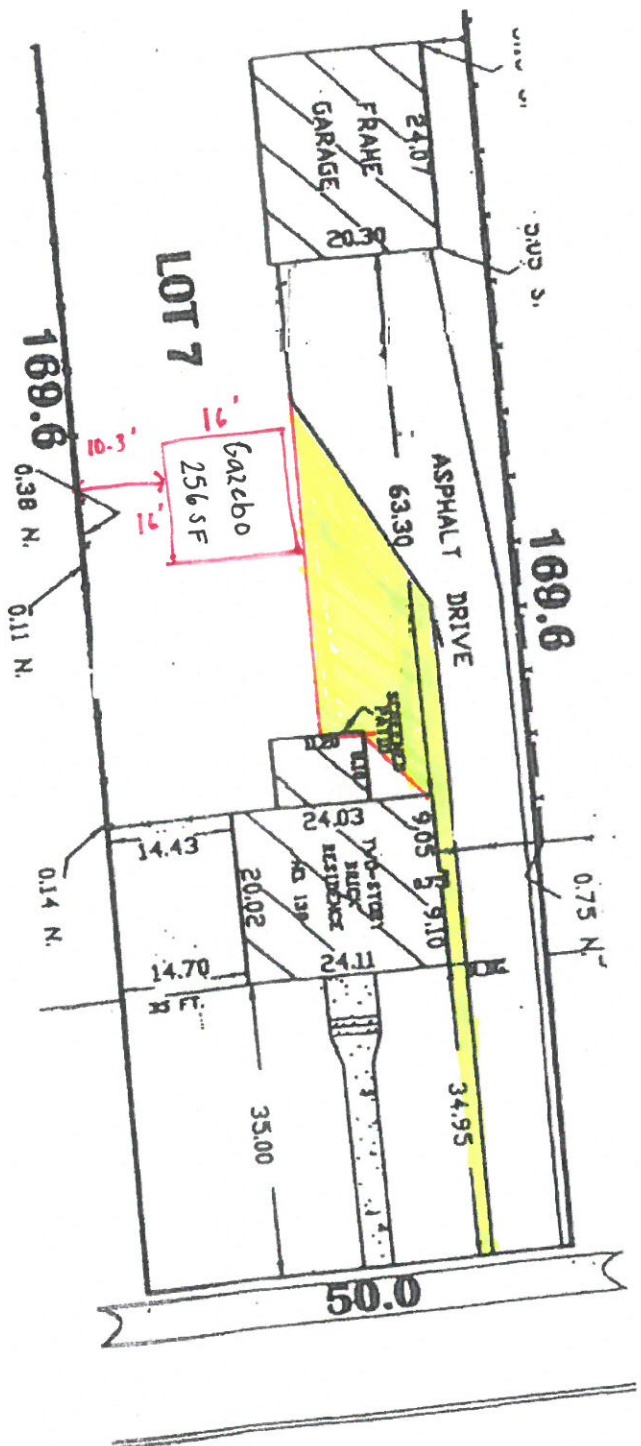
**RECOMMENDATIONS:**

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Variations for Maximum Driveway Width and Driveway Parking Pad Depth.

Respectfully Submitted,

Department of Community & Economic Development



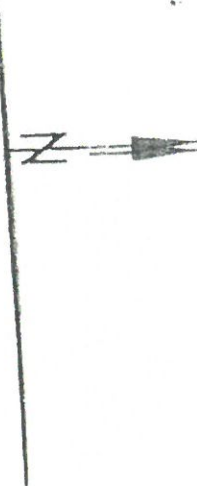


NOT VALID UNLESS EMBOSSED

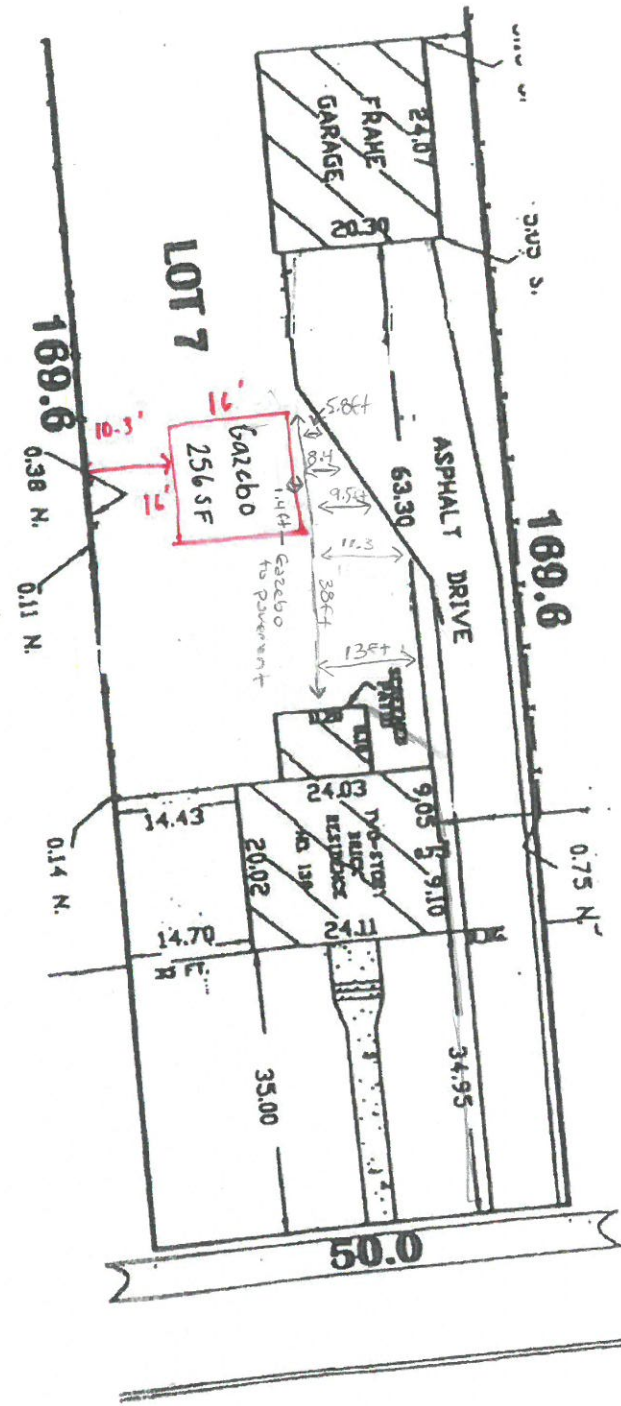


PLAT OF SURVEY

JAMES M. ELLMAN  
LVL.  
OF



LOT 7 IN BLOCK 3 IN HOMESTEAD, BENSINVILLE, A SUBDIVISION OF  
PART OF THE SE. 1/4 OF THE NE. 1/4 OF SECTION 14, TOWNSHIP 40  
NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE  
COUNTY, ILLINOIS.

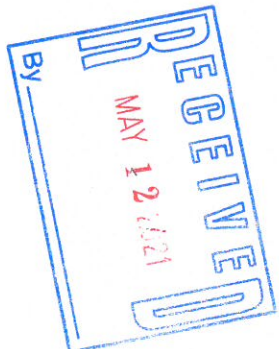


Ordered by: MCKENZIE & ASSOCIATES  
Order No: 990130  
Base Scale: 1 inch = 20 feet  
Date: FEBRUARY 9, 1999

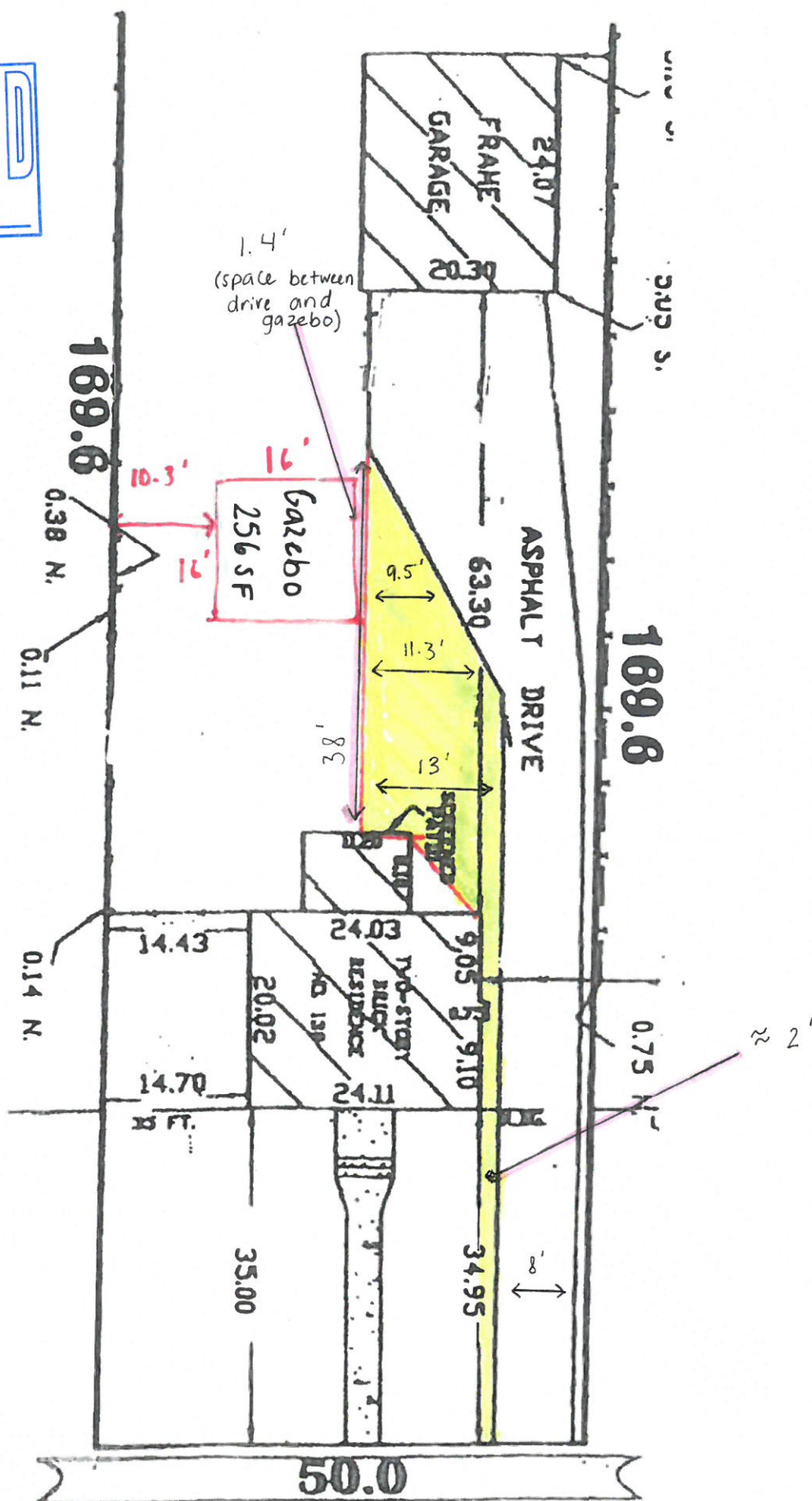
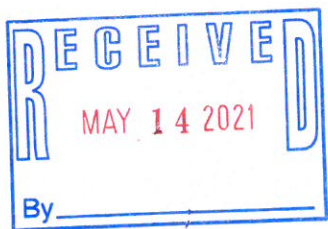
PRINTS BEFORE BUILDING BY SAME AND AT  
THE BUILDING LINE AND

NOT VALID UNLESS EMBOSSED

STATE OF ILLINOIS) SS  
COUNTY OF COOK)  
I, JAMES M. ELLMAN, DO HEREBY CERTIFY THAT I  
DESCRIBED PROPERTY HAS BEEN SURVEYED UNDER MY SL  
AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPR  
OF SAID SURVEY.









**TYPE:**Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**

CDC Case 2021-14: Consideration of a Variation to Allow a Paved Parking Area in the Corner Side Yard at 243 Spruce Avenue

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input type="checkbox"/>	Financially Sound Village	<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Variation, Paved Parking Area  
Municipal Code Section 10 – 8 – 8 – G.4

**SUMMARY:**

1. The Petitioner is seeking a Variation to allow a paved parking area adjacent to their existing driveway in the hopes of alleviating parking concerns.
2. The proposed 10' by 22' (approximate) area is currently unimproved with gravel. The eastern 3' of the paved area will be separated from the remaining 20' by a wooden fence and is intended to be used for trash receptacle storage.
3. The Petitioner is also requesting to widen the apron by 2' where it intersects with the sidewalk- there are no plans to widen the curb cut.
4. Paved parking areas are regulated by Section 10-8-8.G.4 of the Village Code, which requires they be located in the rear yard adjacent to the entrance of a detached garage and accessed from an alley. The area shall be 10' by 20' per vehicle space, with a maximum of two spaces per zoning lot, and must be located 1' from an interior lot line and 3' or less from the rear lot line. The Petitioner's proposed parking area is located in the corner side yard, requires street access, and is adjacent to a driveway that serves an attached garage.

**RECOMMENDATION:**

Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Variation for a Paved Parking Area at 243 Spruce Avenue with the following conditions:

1. The paved parking area shall be constructed in accordance with submitted application plans, dated 05.28.21;
2. The pavement shall be pitched in accordance with the recommendations of the Village Engineer; and
3. No vehicles shall be parked behind the fence.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Aerial &amp; Zoning Exhibits</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Application</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/29/2021</b>	<b>Executive Summary</b>
<b>Plat of Survey</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Plans</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Images Submitted by Petitioner</b>	<b>6/29/2021</b>	<b>Backup Material</b>









# BENSENVILLE

GATEWAY TO OPPORTUNITY

**Community Development Commission**  
**Public Hearing 07.06.21**

**CDC Case #2021 – 14**

**Joseph Kiaulakis**  
**243 Spruce Avenue**

**Variation, Paved Parking Area**  
**Municipal Code Section 10 – 8 – 8 – G.4**

1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans





CDC#2021 – 14

243 Spruce Avenue  
Joseph Kiaulakis  
Variation, Paved Parking Area  
Municipal Code Section 10 – 8 – 8.G.4



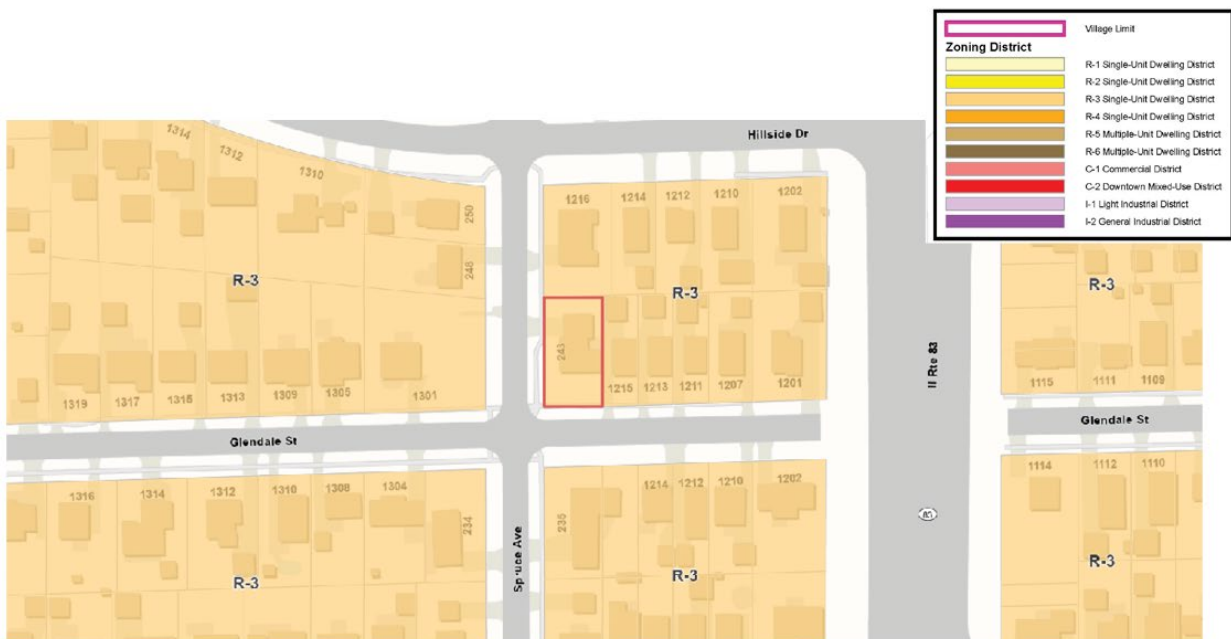
## Village of Bensenville

243 Spruce Ave



## Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, July 6, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 14 to consider a request for:

Variation, Paved Parking Area  
Municipal Code Section 10 – 8 – 8 – G.4

at 243 Spruce Avenue Street in an existing R – 3 Single-Unit Dwelling District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

LOT SIX (6) (EXCEPT THE EASTERLY ONE HUNDRED SIXTY (160) FEET THEREOF) IN BLOCK THIRTY ONE (31), ALSO THAT PORTION OF THE VACATED ALLEY ADJACENT TO SAID PROPERTY, IN FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, A SUBDIVISION IN SECTION TEN (10), ELEVEN (11), FOURTEEN (14) AND FIFTEEN (15), TOWNSHIP FORTY (40) NORTH, RANGE ELEVEN (11), EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213044 IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 243 Spruce Avenue, Bensenville, IL 60106.

Joseph Kiaulakis of 243 Spruce Avenue, Bensenville, IL 60106 is the owner of and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through July 6, 2021 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
June 17, 2021**



For Office Use Only

Date of Submission: 5/28/21 MUNIS Account #: 11036 CDC Case #: 2021-14

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 243 SPRUCE AVE BENSENVILLE

Property Index Number(s) (PIN): 03-15-228-005

A. PROPERTY OWNER:

JOSEPH KIAULAKIS LINDA MALLO

Name Corporation (if applicable)

243 SPRUCE AVE

Street

BENSENVILLE ILLINOIS

City

State

60106

Zip Code

JOSEPH KIAULAKIS 708-426-9573

Contact Person

Telephone Number

JOSEPH KIAULAKIS@skyglobal.net

Email Address

\*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

B. APPLICANT:

☒ Check box if same as owner



Name Corporation (if applicable)

Street

City

State

Zip Code

Contact Person

Telephone Number

Email Address

B. ACTION REQUESTED (Check applicable):

- ☐ Site Plan Review
- ☐ Special Use Permit
- ☒ Variation
- ☐ Administrative Adjustment
- ☐ Zoning Text or Map Amendment
- ☐ Zoning Appeal
- ☐ Plat of Subdivision
- ☐ Annexation
- ☐ Planned Unit Development\*

\*See Staff for additional information on PUD requests

SUBMITTAL REQUIREMENTS:

- ☒ Affidavit of Ownership\*\* (signed/notarized)
- ☒ Application\*\*
- ☒ Approval Standards\*\*
- ☒ Plat of Survey/Legal Description
- ☒ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Tree Preservation and Removal Plan
- ☒ Application Fees
- ☒ Fees agreement\*\*

\*\*Item located within this application packet.



**Brief Description of Request(s):** (Submit separate sheet if necessary)

ADDED SEPARATE SHEET

**C. PROJECT DATA:**

1. General description of the site: Single-family home w/ attached garage
2. Acreage of the site: 0.19 AC Building Size (if applicable): 2,000 SF
3. Is this property within the Village limits? (Check applicable below)  
☒ Yes  
☐ No, requesting annexation  
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	R-3	single-unit residential	Bensenville
North:	R-3	↓	↓
South:	R-3	↓	↓
East:	R-3	↓	↓
West:	R-3	↓	↓

**D. APPROVAL STANDARDS:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."





Our goal is to replace our existing broken sidewalk and driveway along with our garage apron ( 2' approximate ). Also mesh and new pad under our shed to detour animals from taking up residence . But most of all need to extend driveway due to work injury's and one day will need a wheelchair van . Our garage entrance is so small you can only fit a small car in with a 1" clearance on each side of mirrors and they are all banged up from that. We will have an extra vehicle and can not park on street overnight without tickets and apron is so tight to open doors on all sides of vehicle . We are doing everything possible to keep up the look of our neighborhood and really want to make our beautiful Bensenville home to be efficient and look good. It will give us parking for 3 vehicles out side of garage and room to open doors on both sides of our transportation .

Thanks for your time , sincerely ;

*Joseph Kivalakis*







**COMMUNITY DEVELOPMENT COMMISSION**  
**STAFF REPORT**

**HEARING DATE:** July 6, 2021  
**CASE #:** 2021 – 14  
**PROPERTY:** 243 Spruce Avenue  
**PROPERTY OWNER:** Joseph Kiaulakis  
**APPLICANT:** Same as Above  
**SITE SIZE:** 0.19 AC  
**BUILDING SIZE:** N/A  
**PIN NUMBER:** 03-15-228-005  
**ZONING:** R-3 Single-Unit Dwelling District  
**REQUEST:** Variation, Paved Parking Area  
Municipal Code Section 10 – 8 – 8 – G.4

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday, June 17, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday, June 17, 2021.
3. On Friday, June 18, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

**SUMMARY:**

The Petitioner is seeking a Variation to allow a paved parking area adjacent to their existing driveway in the hopes of alleviating parking concerns. The proposed 10' by 22' (approximate) area is currently unimproved with gravel. The eastern 3' of the paved area will be separated from the remaining 20' by a wooden fence and is intended to be used for trash receptacle storage. The Petitioner is also requesting to widen the apron by 2' where it intersects with the sidewalk- there are no plans to widen the curb cut.

Paved parking areas are regulated by Section 10-8-8.G.4 of the Village Code, which requires they be located in the rear yard adjacent to the entrance of a detached garage and accessed from an alley. The area shall be 10' by 20' per vehicle space, with a maximum of two spaces per zoning lot, and must be located 1' from an interior lot line and 3' or less from the rear lot line. The Petitioner's proposed parking area is located in the corner side yard, requires street access, and is adjacent to a driveway that serves an attached garage.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>North</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>East</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>West</b>	R – 3	Residential	Single Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:*****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Account is up to date.

Police:

- 1) No objections.

Engineering and Public Works:

- 1) The proposed parking area should pitch to the south into the existing driveway, and then west into the street. If pitched north or east, it will exacerbate existing interior block flooding issues. So long as it pitches into the street, water will enter the nearby inlet and drainage impact will be mitigated.

Community & Economic Development:Economic Development:

- 1) No comments.

Fire Safety:

- 1) No comments.

Building:

- 1) No comments.



Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for this property.
- 2) The current zoning is R-3 Single-Unit Dwelling District.
- 3) The Petitioner is requesting a Variation to allow a 10’x22’ paved parking area for one vehicle adjacent to an existing driveway and a 3’ concrete walkway. There is a request to widen the apron by 2’ where it intersects with the sidewalk- there are no plans to widen the curb cut.
- 4) A paved parking area Variation is a common request.
- 5) Per Section 10-8-8.G.4 of the Village Zoning Ordinance, paved parking areas shall be 10’ by 20’ per vehicle space, with a maximum of two spaces per zoning lot. The area shall be accessed from the alley, and located a minimum of 1’ from the interior lot line and a maximum of 3’ from the rear lot line.
  - a. The proposed parking area does not meet the above requirements, as it is located in the corner side yard, adjacent to an existing driveway that serves an attached two-car garage, and requires access from Spruce Avenue.
  - b. The garage is set back 21.94’ from the corner side lot line. A 20’ wide driveway from the lot line provides access to the garage, and also allows for two vehicle parking spaces.
- 6) The single-family home on the site is in line with the neighboring property to the north’s (1216 Hillside Drive) corner side façade. Below is an image of the existing parking area that serves the one-car garage at 1216 Hillside Drive.



- 7) The property to the northeast of the subject property, 248 Spruce Avenue, has a 20’ wide driveway, which serves a two-car garage that is set back approximately 30’ from the front lot line and approximately 50’ from roadway.
- 8) Staff feels this request is compatible with the character of surrounding properties.
- 9) The existing fence on the property features a two-door gate that abuts the proposed parking area large enough for a motor vehicle to pull through. No vehicles shall be parked behind the fence.



## **APPROVAL STANDARDS FOR VARIATIONS:**

- 1) **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

**Applicant's Response:** The variation will in no way endanger the welfare of the public and will be a comfortable convenience for me and others living here.

- 2) **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

**Applicant's Response:** There are many properties in the area with much larger garages and driveways and making our drive larger will be a big help and convenience especially with a disability to be able to open doors on both sides of vehicle.

- 3) **Undue Hardship:** The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

**Applicant's Response:** I have a disability with my back and legs due to a work injury and one day will need a wheelchair and will need more room for entering and exiting a vehicle.

- 4) **Unique Physical Attributes:** The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

**Applicant's Response:** This proposed variation is necessary due to lack of space for my disability and was not my deliberate doing.

- 5) **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

**Applicant's Response:** This variation is minimal due to the size of our property especially being on a large corner lot and is going to improve the beauty and value of our property and just adding a 10' x 20' parking spot to existing driveway.

- 6) **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response:** The proposed variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.



<b>Variation Approval Standards</b>	<b>Meets Standard</b>	
	<i>Yes</i>	<i>No</i>
1. Public Welfare	X	
2. Compatible with Surrounding Character	X	
3. Undue Hardship	X	
4. Unique Physical Attributes	X	
5. Minimum Deviation Needed	X	
6. Consistent with Ordinance and Plan	X	

**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation for a Paved Parking Area at 243 Spruce Avenue with the following conditions:

- 1) The paved parking area shall be constructed in accordance with submitted application plans, dated 05.28.21;
- 2) The pavement shall be pitched in accordance with the recommendations of the Village Engineer; and
- 3) No vehicles shall be parked behind the fence.

Respectfully Submitted,

Department of Community & Economic Development



RECEIVED  
MAY 28 2021  
By \_\_\_\_\_

S 01°22'47" W (ASSUMED)

CONC. PUBLIC WALK

125' SET & RECORD

SET 1/2"  
REBAR

N 89°54'35" E  
66.30' SET & RECORD

SET 1/2"  
REBAR

LOT 6  
NOT INCLUDED

115'

LOT 6

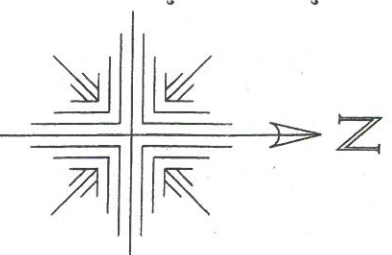
589°54'16"E  
66.13' SET & RECORD

SET 1/2  
REBAR

SET 1 1/2"  
REBAR

GLENDAL STREET  
(66' R.O.W.)

LEGAL DESCRIPTION: LOT SIX (6) (EXCEPT THE EASTERLY ONE HUNDRED SIXTY (160) FEET THEREOF) IN BLOCK THIRTY ONE (31), ALSO THAT PORTION OF THE VACATED ALLEY ADJACENT TO SAID PROPERTY, IN FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, A SUBDIVISION IN SECTION TEN (10), ELEVEN (11), FOURTEEN (14) AND FIFTEEN (15), TOWNSHIP FORTY (40) NORTH, RANGE ELEVEN (11), EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213044 IN DUPAGE COUNTY, ILLINOIS.



STATE OF ILLINOIS  
COUNTY OF MCHENRY

COUNTY OF MCHENRY

I HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN SUPERVEYED, UNDER MY SUPERVISION, ACCORDING TO THE OFFICIAL RECORD AND THAT THIS ABOVE PLAT CORRECTLY REPRESENTS SAID SURVEY. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF.

I FURTHER CERTIFY THAT UNLESS OTHERWISE SHOWN, THE BUILDINGS ON THE PARCEL ARE WITHIN PROPERTY LINES AND THE ADJOINING VISIBLE IMPROVEMENTS DO NOT ENCROACH ON THE ABOVE DESCRIBED PROPERTY.

I FURTHER CERTIFY THAT THE PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

MY LICENSE EXPIRES: 11-30-2012

COMPARE THE DESCRIPTION OF THE PLAT WITH DEED. REFER TO TITLE POLICY FOR ITEMS OF RECORD NOT SHOWN ABOVE UNLESS OTHERWISE NOTED. NOTED UTILITIES WITHIN EASEMENTS ARE NOT SHOWN HEREON. UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO CONDUITS AND CABLES (IF ANY) HAVE NOT BEEN SHOWN HEREON. VOID WITHOUT RAISED SEAL OR RED STAMP.

## LEGEND

~~\*\*\*\*\*~~ FENCE

CONCRETE

WOOD

BRICK

PAVERS

LUCO CONSTRUCTION CO.

PROFESSIONAL DESIGN FIRM NO. 184.004829

DANIEL MACCAHON  
Cary, IL 60013

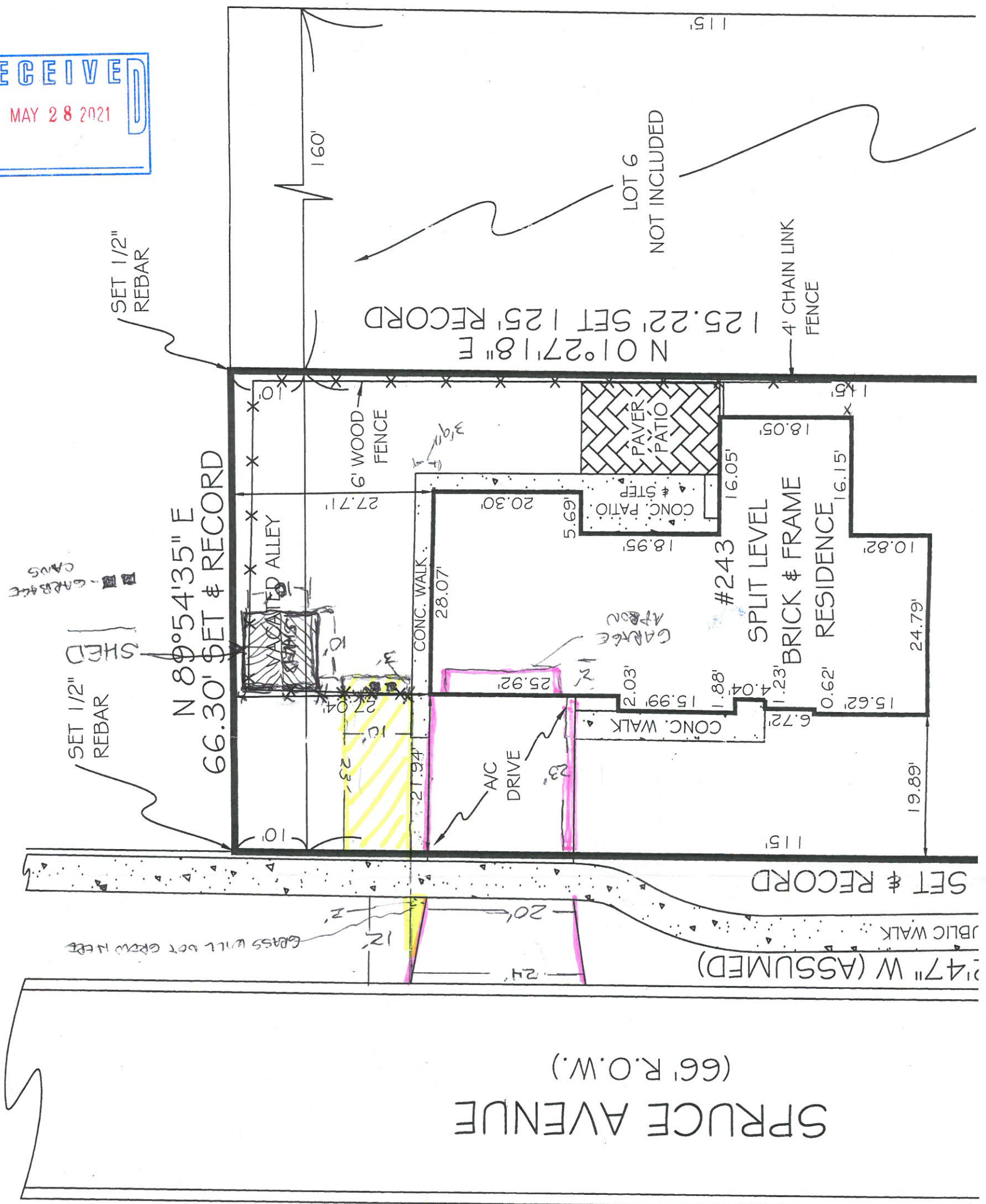
RIESEN  
047.630.033/  
847 158 0714 fax

FIELD WORK COMPLETED:	SURVEY COMPLETED:	DRAWN BY: KOSCELO INC.
--------------------------	----------------------	---------------------------

12-02-11	12-08-11	LAH	11-28518
----------	----------	-----	----------



RECEIVED  
MAY 28 2021  
By \_\_\_\_\_













**TYPE:**Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**CDC Case 2021-18: Consideration of Variations to Increase Driveway Width and Parking Pad at 213 S York Road**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input type="checkbox"/>	Financially Sound Village	<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1
2. Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8 – G.3

**SUMMARY:**

1. The Petitioner is seeking a Variation to allow a 20' by 30' driveway parking pad at 213 S. York Road.
2. The existing driveway is in disrepair, and the unimproved area on either side of the concrete has been used to park vehicles.
3. The proposed pavement is intended to connect to an existing 20' wide concrete area abutting the public sidewalk. There are no plans to include the existing curb cut in this project.
4. The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the required 10ft width.

**RECOMMENDATION:**

Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Variations for Maximum Driveway Width and Driveway Parking Pad Depth at 213 S York Road with the following condition:

1. The pavement shall be pitched in accordance with the recommendations of the Village Engineer.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Aerial &amp; Zoning Exhibits</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Application</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Approval Standards Letter</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/29/2021</b>	<b>Executive Summary</b>
<b>Plat of Survey w/ Plans</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Images Submitted by Petitioner</b>	<b>6/29/2021</b>	<b>Backup Material</b>





# BENSENVILLE

GATEWAY TO OPPORTUNITY

**Community Development Commission**  
**Public Hearing 07.06.21**

**CDC Case #2021 – 18**

**Richard R. Rebmann**  
**213 S York Road**

**Variation, Maximum Driveway Width**  
Municipal Code Section 10 – 8 – 8 – 1

**Variation, Driveway Parking Pad Depth**  
Municipal Code Section 10 – 8 – 8 – G.3

1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans





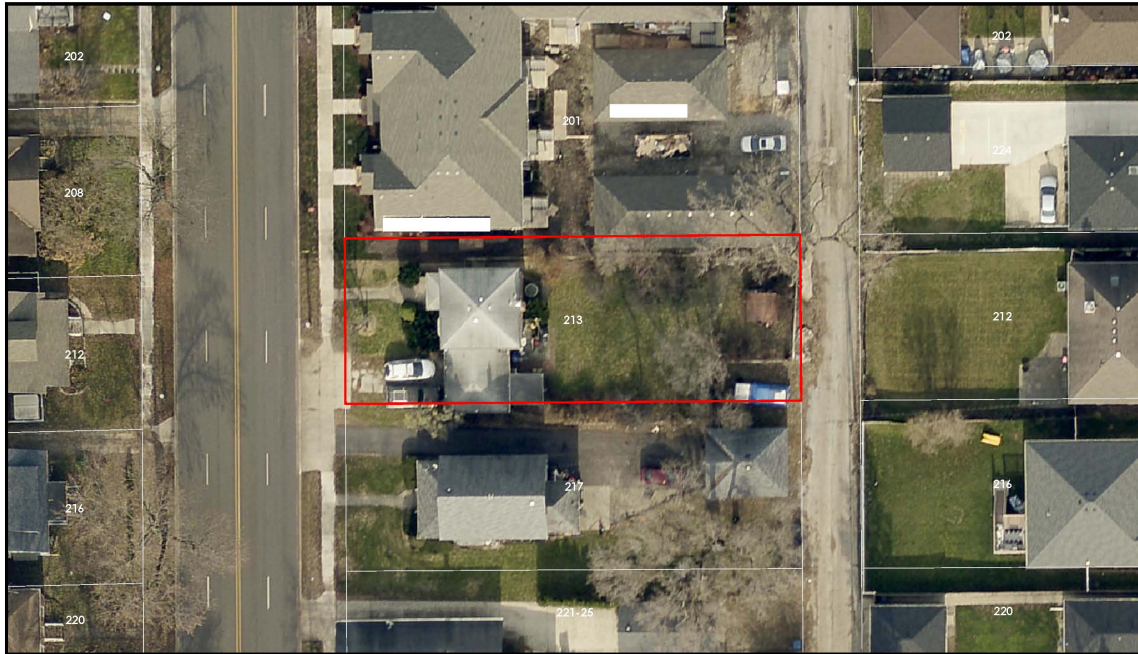
CDC#2021 – 18

213 S York Road  
Richard R. Rebmann  
Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1  
Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8.G.3



## Village of Bensenville

213 S York Rd



Date: 6/8/2021



## Village of Bensenville

Zoning Map



Date: 6/8/2021



**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, July 6, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 18 to consider a request for:

Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1;

Variation, Driveway Parking Pad  
Municipal Code Section 10 – 8 – 8 – G.3

at 213 S York Road in an existing R – 3 Single-Unit Dwelling District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

LOT 2 IN B.L. FRANZEN’S SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 213 S York Road, Bensenville, IL 60106.

Richard R. Rebmann of 19 S Center Street, Bensenville, IL 60106 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant’s application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through July 6, 2021 until 5:00 P.M

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
June 17, 2021**



For Office Use Only		
Date of Submission: <u>6/4/21</u>	MUNIS Account #: <u>11059</u>	CDC Case #: <u>2021-18</u>

## COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 213 S. YORK

Property Index Number(s) (PIN): 03-13-317-002

**A. PROPERTY OWNER:**

RICHARD R. REBMAN  
 Name Corporation (if applicable)  
19 S. CENTER ST  
 Street  
BENSENVILLE IL 60106  
 City State Zip Code  
RICHARD R. REBMAN 630-362-9199 RRRTAXMAN@aol.com  
 Contact Person Telephone Number Email Address

\*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

**B. APPLICANT:** ☒ Check box if same as owner

\_\_\_\_\_  
 Name Corporation (if applicable)  
 \_\_\_\_\_  
 Street  
 \_\_\_\_\_  
 City State Zip Code  
 \_\_\_\_\_  
 Contact Person Telephone Number Email Address

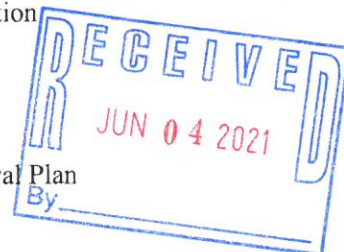
**B. ACTION REQUESTED (Check applicable):**

- ☐ Site Plan Review
- ☐ Special Use Permit
- ☒ Variation
- ☐ Administrative Adjustment
- ☐ Zoning Text or Map Amendment
- ☐ Zoning Appeal
- ☐ Plat of Subdivision
- ☐ Annexation
- ☐ Planned Unit Development\*

\*See Staff for additional information on PUD requests

**SUBMITTAL REQUIREMENTS:**

- ☒ Affidavit of Ownership\*\* (signed/notarized)
- ☒ Application\*\*
- ☒ Approval Standards\*\*
- ☒ Plat of Survey/Legal Description
- ☒ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Tree Preservation and Removal Plan
- ☒ Application Fees
- ☒ Fees agreement\*\*



\*\*Item located within this application packet.



**Brief Description of Request(s):** (Submit separate sheet if necessary)

Variance in driveway width to 20' from  
garage to existing 20 feet concrete, 5'  
sidewalk

**C. PROJECT DATA:**

1. General description of the site: 60 year old home on York Road
2. Acreage of the site: .25 Building Size (if applicable): 1305
3. Is this property within the Village limits? (Check applicable below)
  - ☒ Yes
  - ☐ No, requesting annexation
  - ☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

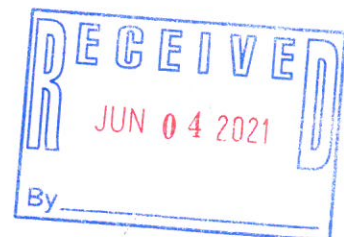
NONE

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	R-3	Single Family	Bensenville
North:	R-3	MULTI FAMILY	Bensenville
South:	R-3	SINGLE FAMILY	Bensenville
East:	R-3	Alley / Single Family	Bensenville
West:	R-3	STREET / Single Family	Bensenville

**D. APPROVAL STANDARDS:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."





KELSEY FAWELL

THE FOLLOWING INFORMATION IS THE REQUIRED APPLICANTS LETTER DESCRIBING HOW THE REQUEST MEETS INDIVIDUAL APPROVAL STANDARDS PER THE VILLAGE CODE.

1) THE PROPOSED VARIATION WILL NOT ENDANGER THE HEALTH, SAFETY, COMFORT, CONVENIENCE AND GENERAL WELFARE OF THE PUBLIC, AS IT WILL ACTUALLY ENHANCE THE SAFETY, CONSIDERING THAT THE CURB CUT VILLAGE INSTALLED APRON IS ALREADY 42 FEET WIDE, 24 FEET ON THE PROPERTY INVOLVED AND 18 FEET ON THE PROPERTY TO THE SOUTH.

YORK ROAD IS A BUSY ROADWAY AND HAVING TO BACK INTO OR BACK OUT OF THE DRIVE IS DANGEROUS. THERE HAS BEEN 3 DEATHS ON THIS BLOCK ALONE IN THE LAST COUPLE YEARS. THE EXISTING GARAGE IS TWO DOORS WITH BRICK CENTER WALL, THE EXACT DOORS MEASURE 7'10 WIDE AND REQUIRE THAT THE VEHICLES DRIVE IN, BACKING IN IS IMPOSSIBLE EVEN WITH THE 20 X 20 ALLOWED AREA OFF THE GARAGE. IF TWO CARS WERE PARKED IN FRONT ON THIS 20 X 20 THEY COULD NOT BACK OUT, WITHOUT DRIVING OVER A GRASSY AREA. ON EACH SIDE. IF THE 20 X 20 AREA WAS INSTALLED PER CODE AND IT REQUIRED A PHASE IN TO THE 10 FOOT WIDTH, AT THE EXISTING 20 FOOT WIDTH AREA ALREADY INSTALLED BY THE VILLAGE, WHICH IS ONLY 12 FEET APART, IT WOULD CAUSE 2 TRIANGLES ON EACH SIDE, THE DRIVEWAY WOULD RESEMBLE A HOURGLASS, AND BEING OF CONCRETE, LOOK RIDICULOUS FROM THE STREET

2) THE PROPOSED REPLACEMENT WOULD REMAIN THE SAME, ITS THE ADDITIONAL LENGTH OF 12 FEET THAT IS THE REQUESTED VARIANCE, AS IT WOULD BE 20 FEET WIDE TO MATCH THE EXISTING DRIVEWAY ENTRANCE AND THE INSTALLATION OF THE CONFORMING 20 X 20 AREA BY THE GARAGE. THE OTHER HOMES ON THE BLOCK, BOTH SIDES, CONSIST OF NO DRIVEWAYS, SHARED DRIVEWAY AND SINGLE CAR DRIVEWAY. THE SHARED DRIVEWAY HAS A STREET CUT CURB 26 FEET WIDE, WITH AN 11 FOOT AND 9 FOOT INDIVIDUAL DRIVEWAYS, SEPARATED BY 3 FEET OF GRASS. TWO DRIVEWAYS ARE 8 FEET WIDE WITH 16 & 20 FOOT STREET CUTS, THE OTHER SINGLE DRIVE IS 11 1/2 FEET WIDE WITH A 21 FOOT CURB CUT. NEEDLESS TO SAY, VERY LITTLE OVERALL UNIFORMITY.

3) THE PROPOSED VARIANCE ALLEVIATES THE UNSAFE/UNSIGHTLY HOURGLASS BACKING UP SITUATION. IF THE 20 FOOT WIDTH WAS ALLOWED TO MATCH THE 20 FOOT EXISTING WIDTH OF THE VILLAGE INSTALLED APRON WHICH CONTINUES 5 FEET BEYOND THE VILLAGE SIDEWALK, IT WOULD BE A MAJOR IMPROVEMENT. AT THAT POINT ITS BROKEN CONCRETE AND GRAVEL THAT HAS BEEN THERE FOR FORTY YEARS.

4) THE UNIQUE PHYSICAL ATTRIBUTES OF THE PROPERTY IS A BRICK NARROW GARAGE, WITH (2) 7'10 FOOT DOORS, REQUIRING DIRECT ENTRY, AND A 24 FOOT STREET APRON THAT ALREADY EXISTS. AND NARROWS DOWN TO 20 FEET WIDE

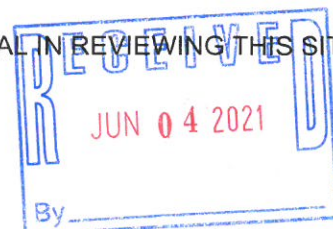
5) THE PROPOSED VARIATION REPRESENTS THE MINIMUM DEVIATION FROM REGULATION AS IT IS ONLY 2 TRIANGLES OF ADDITIONAL DRIVEWAY ON EACH SIDE OF THE REQUIRED PHASING IN FROM 20 TO 10 OVER A 12 FOOT LENGTH.

6) THE PROPOSED VARIATION IS CONSISTENT WITH THE VILLAGE OVERALL PLAN IN THAT IT REMOVES AN EXISTING COMBINATION CONCRETE/GRAVEL DRIVEWAY WITH AN HOURGLASS FOOT PRINT AND PROVIDES A SMOOTH, APPEALING STRAIGHT LINE CONCRETE DRIVEWAY FROM STREET TO GARAGE. AFTER WHICH TREE STUMP REMOVAL, LANDSCAPING AND DECORATIVE TIMBER BOARDS WILL BE INSTALLED. IT WASN'T UNTIL THIS PROPERTY WAS RECENTLY CLEANED UP THAT ANY OF THE \$400,000.00 CONDO'S TO THE SOUTH WERE EVEN REVIEWED LET ALONE SOLD.

I APPRECIATE THE CONSIDERATION OF THE STAFF AND THE CDC PERSONAL IN REVIEWING THIS SITUATION AND ENCOURAGE A PHYSICAL REVIEW OF THE AREA.

THANK YOU

RICH REBMANN 630-362-9199







**COMMUNITY DEVELOPMENT COMMISSION**  
**STAFF REPORT**

**HEARING DATE:** July 6, 2021  
**CASE #:** 2021 – 18  
**PROPERTY:** 213 S York Road  
**PROPERTY OWNER:** Richard R. Rebmann  
**APPLICANT:** Same as Above  
**SITE SIZE:** 0.21 AC  
**BUILDING SIZE:** N/A  
**PIN NUMBER:** 03-13-317-002  
**ZONING:** R-3 Single-Unit Dwelling District  
**REQUEST:** Variation, Maximum Driveway Width  
Municipal Code Section 10 – 8 – 8 – 1  
Variation, Driveway Parking Pad Depth  
Municipal Code Section 10 – 8 – 8 – G.3

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday, June 17, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday, June 17, 2021.
3. On Friday, June 18, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

**SUMMARY:**

The Petitioner is seeking a Variation to allow a 20' by 30' driveway parking pad at 213 S. York Road. The existing driveway is in disrepair, and the unimproved area on either side of the concrete has been used to park vehicles. The proposed pavement is intended to connect to an existing 20' wide concrete area abutting the public sidewalk. There are no plans to include the existing curb cut in this project.

The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the required 10ft width.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	R – 3	Residential	Medium Family Residential	Village of Bensenville
<b>North</b>	R – 3	Residential	Medium Family Residential	Village of Bensenville
<b>South</b>	R – 3	Residential	Medium Family Residential	Village of Bensenville
<b>East</b>	R – 3	Residential	Single Family Residential	Village of Bensenville
<b>West</b>	R – 3	Residential	Medium Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:**

*SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Account is up to date and has no liens.

Police:

- 1) No objections.

Engineering and Public Works:

- 1) Pavement shall be pitched towards York Road so as not to adversely impact neighboring properties.

Community & Economic Development:Economic Development:

- 1) No comments.

Fire Safety:

- 1) No comments.

Building:

- 1) No comments.



Planning:

- 1) The 2015 Comprehensive Plan indicates “Medium Family Residential” for this property.
- 2) The current zoning is R-3 Single-Unit Dwelling District.
- 3) The Applicant is requesting a Variation in order to construct a 20x30’ driveway, accessed from York Road, to serve an existing two-car garage.
- 4) Variations seeking relief from maximum driveway width and parking pad depth code requirements are a common request via the Community Development Commission.
- 5) The Village Zoning Ordinance (Section 10-8-8) implements a maximum driveway width of 10 feet for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20 feet in depth from the garage doors before tapering back to the required maximum driveway width of 10 feet. If the driveway were to meet these standards, there would only be 10 feet of remaining lineal space to allow for the tapering.
- 6) As shown in the images provided by the Applicant (included in the attached plans), a portion of the area they are looking to pave is in disrepair and is unimproved with grass and gravel. Correction notices have been issued due to the lack of maintenance and parking vehicles on this area.
- 7) Along the subject property’s front lot line, there is an approximately 5x20’ sidewalk area (which abuts the Village’s sidewalk in the right-of-way). Should this Variation be denied, the sidewalk pavement on the Applicant’s property would need to be removed. The Applicant is proposing paving the driveway to connect with their existing 5x20’ concrete area.
- 8) The driveway is served by an existing curb cut, which is shared between the subject property and the neighboring property to the south. This Applicant does not intend to alter the curb cut in this project.



## **APPROVAL STANDARDS FOR VARIATIONS:**

- 1) **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

**Applicant's Response:** The proposed variation will not endanger the health, safety, comfort, convenience and general welfare of the public, as it will actually enhance the safety, considering that the curb cut village installed apron is already 42 feet wide, 24 feet on the property involved and 18 feet on the property to the south. York road is a busy roadway and having to back into or back out of the drive is dangerous. There has been 3 deaths on this block alone in the last couple years. The existing garage is two doors with brick center wall, the exact doors measure 7'10 wide and require that the vehicles drive in, backing in is impossible even with the 20x20 allowed area off the garage. If two cars were parked in front on this 20x20 they could not back out, without driving over a grassy area on each side. If the 20x20 area was installed per code and it required a phase in to the 10 foot width, at the existing 20 foot width area already installed by the village, which is only 12 feet apart, it would cause 2 triangles on each side, the driveway would resemble a hourglass, and being of concrete, look ridiculous from the street.

- 2) **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

**Applicant's Response:** The proposed replacement would remain the same, it's the additional length of 12 feet that is the requested variance, as it would be 20 feet wide to match the existing driveway entrance and the installation of the conforming 20x20 area by the garage. The other homes on the block, both sides, consist of no driveways, shared driveway and single car driveway. The shared driveway has a street cut curb 26 feet wide, with an 11 foot and 9 foot individual driveways, separated by 3 feet of grass. Two driveways are 8 feet wide with 16 & 20 foot street cuts, the other single drive is 11 1/2 feet wide with a 21 foot curb cut. Needless to say, very little overall uniformity.

- 3) **Undue Hardship:** The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

**Applicant's Response:** The proposed variance alleviates the unsafe/unsightly hourglass backing up situation. If the 20 foot width was allowed to match the 20 foot existing width of the village installed apron which continues 5 feet beyond the village sidewalk, it would be a major improvement. At that point its broken concrete and gravel that has been there for forty years.



- 4) **Unique Physical Attributes:** The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

**Applicant's Response:** The unique physical attributes of the property is a brick narrow garage, with (2) 7'10 foot doors, requiring direct entry, and a 24 foot street apron that already exists and narrows down to 20 feet wide

- 5) **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

**Applicant's Response:** The proposed variation represents the minimum deviation from regulation as it is only 2 triangles of additional driveway on each side of the required phasing in from 20 to 20 over a 12' length.

- 6) **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response:** The proposed variation is consistent with the village overall plan in that it removes an existing combination concrete/gravel driveway with an hourglass foot print and provides a smooth, appealing straight line concrete driveway from street to garage. After which tree stump removal, landscaping and decorative timber borders will be installed. It wasn't until this property was recently cleaned up that any of the \$400,000.00 condo's to the south were even reviewed let alone sold.

Maximum Driveway Width	Meets Standard	
Variation Approval Standards	Yes	No
1. Public Welfare	X	
2. Compatible with Surrounding Character	X	
3. Undue Hardship	X	
4. Unique Physical Attributes	X	
5. Minimum Deviation Needed	X	
6. Consistent with Ordinance and Plan	X	

Driveway Parking Pad	Meets Standard	
Variation Approval Standards	Yes	No
7. Public Welfare	X	
8. Compatible with Surrounding Character	X	
9. Undue Hardship	X	
10. Unique Physical Attributes	X	
11. Minimum Deviation Needed	X	
12. Consistent with Ordinance and Plan	X	



**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variations for Maximum Driveway Width and Driveway Parking Pad Depth at 213 S York Road with the following condition:

- 1) The pavement shall be pitched in accordance with the recommendations of the Village Engineer.

Respectfully Submitted,

Department of Community & Economic Development



...

A = ASSUMED  
 C = CALCULATED  
 CH = CHORD  
 CL = CENTERLINE  
 D = DEOD  
 E = EAST  
 F.I.P. = FOMOD FROM PIPE  
 F.I.R. = FOMOD FROM HD  
 L = LENGTH  
 L.F. = LENGTH FROM  
 M = MEASURED  
 N = NORTH  
 NE = NORTHEAST  
 NW = NORTHWEST  
 S = SOUTH  
 S.I.P. = SET FROM PIPE  
 S.I.R. = SET FROM HD  
 SE = SOUTHEAST  
 SW = SOUTHWEST  
 W = WEST

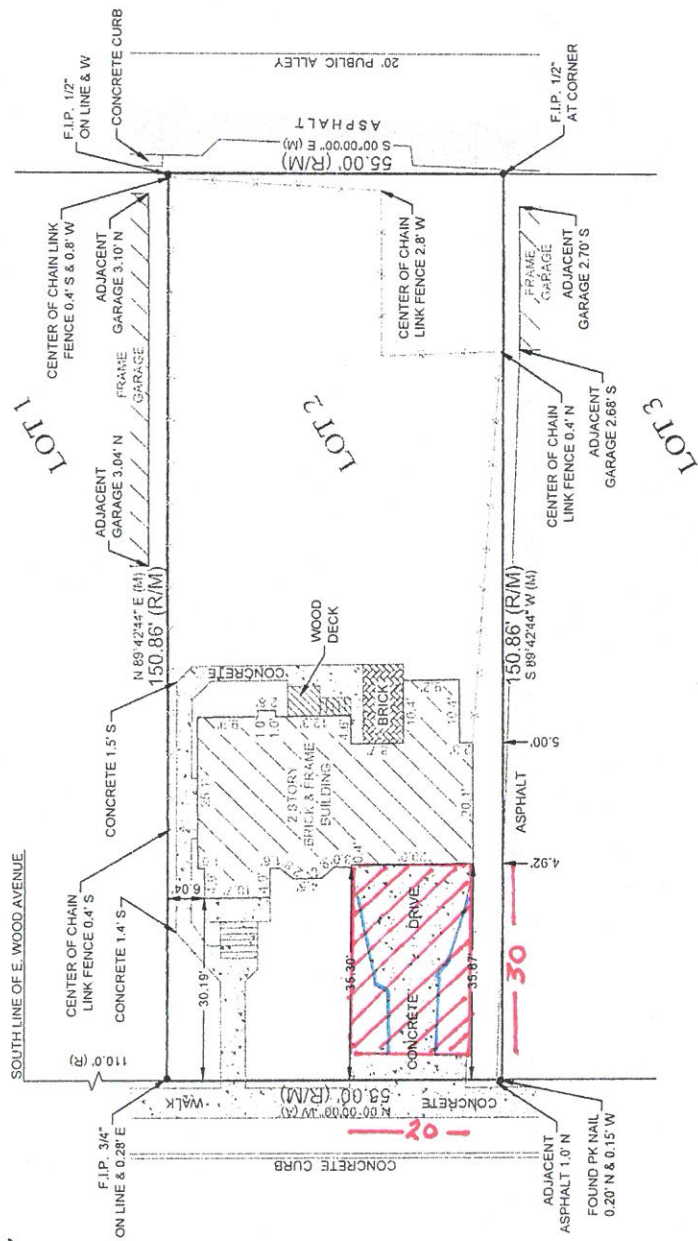
- = CHAIN LINK FENCE
- = WOOD FENCE
- = METAL FENCE
- = VINYL FENCE
- = EASEMENT LINE
- = SETBACK LINE
- = INTERIOR LOT LINE

LOT 2 IN B.L. FRANZEN'S SUBDIVISION, BEING A SUBDIVISION IN THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

AREA OF SURVEY:

-CONTAINING 8.297 SO. FT. OR 0.19 ACRES MORE OR LESS-

Remove Existing (BLUE) Replace



NOTE:

1. ALL TIES SHOWN ON THIS SURVEY ARE MEASURED TO THE BUILDING'S SIDING (BRICK, FRAME, STUCCO, METAL, ETC.) AND NOT TO THE FOUNDATION, UNLESS NOTED OTHERWISE.
2. ROOF LINES AND OVERHANGS ARE TYPICALLY NOT SHOWN HEREON.
3. COMPARE ALL DISTANCES AND POINTS IN FIELD AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE.
4. NO DIMENSIONS SHALL BE ASSUMED BY SCALING.



STATE OF ILLINOIS )  
COUNTY OF DUPAGE )  
I, THE UNDERSIGNED, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, DO HEREBY  
CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT  
ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY, \* AND THAT THE PLAT  
HEREON MEANS IS A CORRECT REPRESENTATION OF SAID SURVEY.  
DATED, THIS 12TH DAY OF AUGUST, A.D., 2020,  
AT LISLE, ILLINOIS.

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-3253  
LICENSE EXPIRATION DATE NOVEMBER 30, 2020  
ILLINOIS BUSINESS REGISTRATION NO. 184-001245

Morris Engineering, Inc.  
5 Warrenville Road, Lisle, IL 60532  
Phone: (630) 271-0770  
FAX: (630) 271-0774  
WEBSITE: [WWW.ECIVIL.COM](http://WWW.ECIVIL.COM)











EXISTING EXISTING

20  
12

IF 20' OUT IS ALLOWED  
THEN TAPERED TO EXISTING  
IT'S NOT ALOT OF EXTRA

FILE









FILE













IF TAPERED

FILE





EXISTING

VILLAGE  
— 19 —

VILLAGE  
INSTALLED

FILE



**TYPE:**Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**

CDC Case 2021-16: Consideration of Site Plan Review, an Amendment to a Planned Unit Development, and a Final Plat of Subdivision for the Properties Located in the Mohawk Terrace Subdivision

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input checked="" type="checkbox"/>	Financially Sound Village	<input type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input checked="" type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Site Plan Review  
Municipal Code Section 10 – 3 – 2
2. Amendment to a Planned Unit Development  
Municipal Code Section 10 – 4 – 4
  1. Code Departure, Outdoor Lighting Illumination Standards  
Municipal Code Section 10 – 9 – 8.C
3. Final Plat of Subdivision  
Municipal Code Section 11 – 3

**SUMMARY:**

1. In November of 2020, the Owners appeared before the Community Development Commission and Village Board of Trustees, seeking approval of the following requests: Preliminary Plat of Subdivision, rezoning from residential to industrial, Site Plan Review, and a Preliminary Planned Unit Development with code departures. These requests, which were conditionally approved by the Village Board, were sought with the goal of assembling the previously residentially-zoned properties in the Mohawk Terrace Subdivision (southwest corner of Devon Avenue and Illinois Route 83) into an industrial use business park.
2. The site plan features four industrial buildings with parking for both trucks and passenger vehicles.
3. In conjunction with the Preliminary Planned Unit Development that was granted, the Petitioners sought code departures, as aspects of the site do not meet certain Village Zoning Ordinance requirements.
4. The Petitioner is currently in the process of seeking approval of a Final Planned Unit Development, which appeared before the CDC on June 1, 2021. It is tentatively scheduled to be on the agenda for the July 27, 2021 Village Board meeting. Approval of the requested amendment – if granted by the Village Board – is contingent upon approval of the Final PUD.
5. The Petitioner is now requesting an amendment to the Final PUD, as the Final PUD was strictly for site improvement work and grading, while this amendment regards the construction of two buildings, with available vehicle parking and landscape improvements, on the eastern portion of the site. The owners are required to seek an additional amendment to their PUD for the remaining western portion of the site.

**RECOMMENDATION:**

1. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Site Plan Review.
2. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Planned Unit Development Amendment with the following conditions:
  1. Proposed development of the eastern portion of the subject site shall be in accordance with submitted plans from Kimley-Horn dated 05.28.21, except as amended herein;
  2. All conditions of approval required of the Preliminary Planned Unit Development (Ord. No. 66-2020) and the Final Planned Unit Development (Ord. No. \_\_\_\_\_) are consequently conditions of approval of the Planned Unit Development Amendment;



3. The code departure for Outdoor Lighting Illumination Standards is approved. Light fixtures shall be in accordance with plans submitted by Harris Architects Inc. and Kornacki & Associates Inc dated 05.26.21; and
4. The Zoning Administrator has final review authority over the architectural design of the buildings.
3. Staff recommends the Approval of the Final Plat of Subdivision with the following condition:
  1. The Petitioner shall revise the Plat in accordance with comments from the Village Engineering Department prior to appearing before the Village Board of Trustees.

ATTACHMENTS:

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Aerial &amp; Zoning Exhibits</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Application</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/29/2021</b>	<b>Executive Summary</b>
<b>Plat of Subdivision</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Color Site Plan</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Building A Site Plan, Floor Plan, Elevations</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Building B Site Plan, Floor Plan, Elevations</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Building Renderings</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Engineering Plans</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Photometric Plan</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Landscape Plan</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Center Landscape Area Rendering and Details</b>	<b>6/29/2021</b>	<b>Backup Material</b>





# BENSENVILLE

GATEWAY TO OPPORTUNITY

**Community Development Commission**  
**Public Hearing 07.06.21**

**CDC Case #2021 – 16**

**ML Realty**  
**Mohawk Terrace Subdivision**

**Site Plan Review**

Municipal Code Section 10 – 3 – 2

**Amendment to a Planned Unit Development**

Municipal Code Section 10 – 4 – 4

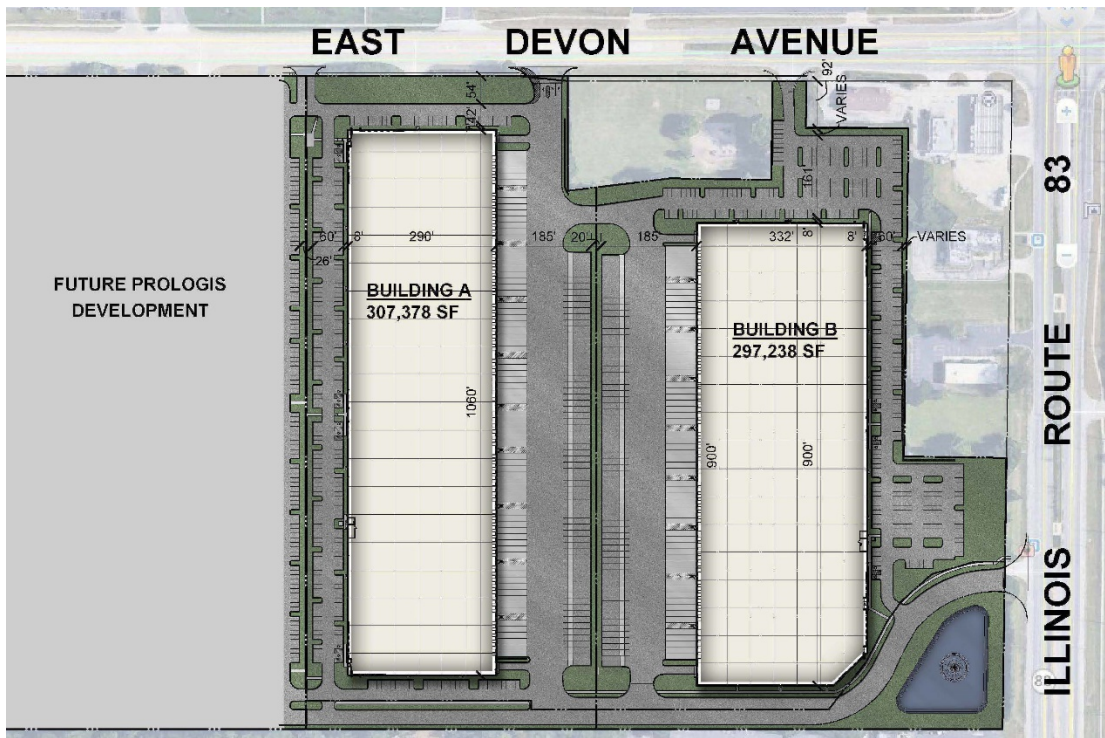
***\*With the following code departure:***

*Outdoor Lighting Illumination Standards, Section 10 – 9 – 8.C*

**Final Plat of Subdivision**

Municipal Code Section 11 – 3

1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans

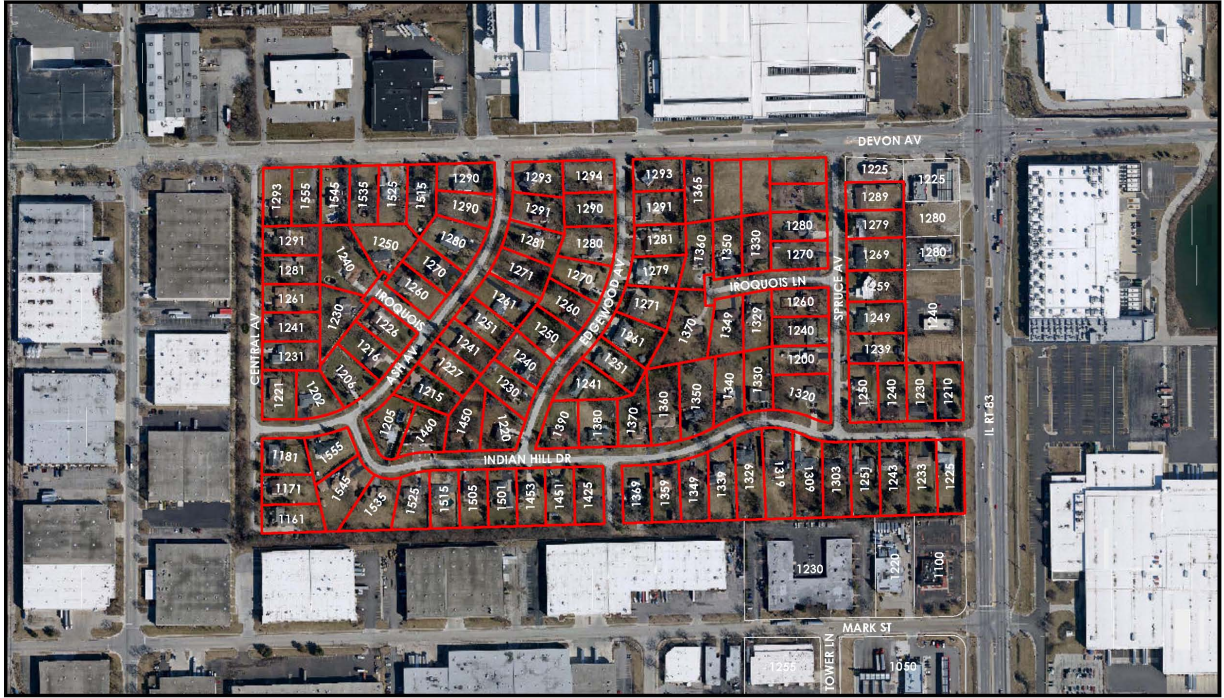






## Village of Bensenville

Mohawk Terrace Subdivision



## Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, July 6, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 16 to consider a request for:

Site Plan Review  
Municipal Code Section 10 – 3 – 2

Final Plat of Subdivision  
Municipal Code Section 11 – 3

Amendment to a Planned Unit Development  
Municipal Code Section 10 – 4 – 4

In conjunction with the requested Planned Unit Development Amendment, the Petitioner is asking the Community Development Commission consider a request of the following code departure:

Outdoor Lighting Illumination Standards  
Municipal Code Section 10 – 9 – 8 – C

at Mohawk Terrace Subdivision in the I – 2 General Industrial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

THAT PART OF BRANIGAR'S MOHAWK TERRACE, BEING A SUBDIVISION IN SECTION 3, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 17, 1956 AS DOCUMENT NUMBER R1956-786620, IIN DU PAGE COUNTY, ILLINOIS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION, SAID POINT ALSO LYING ON THE SOUTH RIGHT OF WAY LINE OF DEVON AVENUE; THENCE ALONG SAID SOUTH RIGHT OF WAY FOR THE FOLLOWING TWO (2) TRACTS: (1) THENCE NORTH 88 DEGREES 38 MINUTES 21 SECONDS EAST, A DISTANCE OF 1506.24 FEET TO THE NORTHWEST CORNER OF LOT 77 IN SAID SUBDIVISION; (2) THENCE SOUTH 85 DEGREES 37 MINUTES 55 SECONDS EAST, A DISTANCE OF 100.18 FEET TO A POINT ON THE EAST LINE OF SAID LOT 77, SAID POINT BEING 10.00 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 00 DEGREES 35 MINUTES 16 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 77, A DISTANCE OF 209.71 FEET TO THE COMMON CORNER OF LOTS 76, 77, 82 AND 83 IN SAID SUBDIVISION; THENCE NORTH 82 DEGREES 47 MINUTES 07 SECONDS EAST ALONG THE NORTH LINE OF LOTS 83 AND 84 IN SAID SUBDIVISION, A DISTANCE OF 201.14 FEET TO THE NORTHWEST CORNER OF LOT 72 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 35 MINUTES 04 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 72, A DISTANCE OF 200.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 72, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 73 THENCE NORTH 00 DEGREES 34 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF LOTS 73 AND



74 OF SAID SUBDIVISION, A DISTANCE OF 103.84 FEET TO THE WESTERLY EXTENSION OF THE NORTH LINE OF LOT 59 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 31 MINUTES 35 SECONDS EAST ALONG SAID WESTERLY EXTENSION AND ALONG THE NORTH LINE OF SAID LOT 59, A DISTANCE OF 266.03 FEET TO THE NORTHEAST CORNER OF SAID LOT 59; THENCE SOUTH 00 DEGREES 35 MINUTES 04 SECONDS EAST, A DISTANCE OF 637.50 FEET TO THE SOUTHWEST CORNER OF LOT 52 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 27 MINUTES 31 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT 52, A DISTANCE OF 199.52 FEET TO THE SOUTHEAST CORNER OF SAID LOT 52, SAID POINT ALSO LYING ON THE WEST RIGHT OF WAY LINE OF ILLINOIS ROUTE 83; THENCE SOUTH 00 DEGREES 32 MINUTES 46 SECONDS EAST ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 526.22 FEET TO THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE SOUTH 88 DEGREES 38 MINUTES 54 SECONDS WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION, A DISTANCE OF 2488.17 FEET TO THE SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH 00 DEGREES 11 MINUTES 02 SECONDS EAST ALONG THE WEST LINE OF SAID SUBDIVISION, A DISTANCE OF 1269.29 FEET TO THE POINT OF BEGINNING.

P.I.N. 03-03-200-001 THROUGH 03-03-200-019; P.I.N. 03-03-200-0022 THROUGH 03-03-200-026; P.I.N. 03-03-201-001 THROUGH 03-03-201-021; P.I.N. 03-03-202-001 THROUGH 03-03-202-008; P.I.N. 03-03-202-012; P.I.N. 03-03-202-015 THROUGH 03-03-202-017; P.I.N. 03-03-202-021 THROUGH 03-03-202-036; P.I.N. 03-03-203-003 THROUGH 03-03-203-008; P.I.N. 03-03-203-016 THROUGH 03-03-203-020; P.I.N. 03-03-204-001 THROUGH 03-03-204-013; P.I.N. 03-03-205-001 THROUGH 03-03-205-012;

Commonly known as the Mohawk Terrace Subdivision, Bensenville, IL 60106.

ML Realty Partners of 1 Pierce Place, Itasca, IL 60143 and Prologis of 321 N. Clark St, Suite 2625, Chicago, IL 60654 are the owners and ML Realty Partners of 1 Pierce Place, Itasca, IL 60143 is the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through July 6, 2021 until 5:00 P.M

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT**  
**June 17, 2021**



**For Office Use Only**

Date of Submission: 6/2/2021 MUNIS Account #: 2009073 CDC Case #: 2021-16

**COMMUNITY DEVELOPMENT COMMISSION APPLICATION**

Address: Mohawk Terrace Subdivision

Property Index Number(s) (PIN): Various

**A. PROPERTY OWNER:**

MLRP Busse and Devon LLC ML Realty Partners

Name

Corporation (if applicable)

1 Pierce Place - Suite 450

Street

Itasca

IL

60143

City

State

Zip Code

Timothy J Geisler

630-250-2903

tgeisler@mlrealtypartners.com

Contact Person

Telephone Number

Email Address

\*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

**B. APPLICANT:** ☒ Check box if same as owner

Name

Corporation (if applicable)

Street

City

State

Zip Code

Contact Person

Telephone Number

Email Address

**B. ACTION REQUESTED (Check applicable):**

- ☐ Site Plan Review
- ☐ Special Use Permit
- ☐ Variation
- ☐ Administrative Adjustment
- ☐ Zoning Text or Map Amendment
- ☐ Zoning Appeal
- ☐ Plat of Subdivision
- ☐ Annexation
- ☐ Planned Unit Development\*

\*See Staff for additional information on PUD requests

**SUBMITTAL REQUIREMENTS:**

- ☐ Affidavit of Ownership\*\* (signed/notarized)
- ☐ Application\*\*
- ☐ Approval Standards\*\*
- ☐ Plat of Survey/Legal Description
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Tree Preservation and Removal Plan
- ☐ Application Fees
- ☐ Fees agreement\*\*

\*\*Item located within this application packet.



**Brief Description of Request(s): (submit separate sheet if necessary)**

**Approval for construction of two industrial buildings totaling +/- 600 ksf**

---

---

**C. PROJECT DATA:**

1. General description of the site: East half - subdivision at the corner of Devon and Rt 83
  2. Acreage of the site: +/- 34 AC Building Size (if applicable): 2 totaling +/- 600 ksf
  3. Is this property within the Village limits? (Check applicable below)
    - ☒ Yes
    - ☐ No, requesting annexation
    - ☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
  4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)
- 
- 
- 

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	I-2	Industrial	Bensenville
North:	I-2	Industrial	Elk Grove
South:	I-1 and I-2	Industrial	Bensenville & EG
East:	I-2	Industrial	Elk Grove
West:	I-2	Industrial	Bensenville

**D. APPROVAL STANDARDS:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."



**COMMUNITY DEVELOPMENT COMMISSION**  
**STAFF REPORT**

**HEARING DATE:** July 6, 2021  
**CDC CASE #:** 2021 – 16  
**PROPERTY:** Mohawk Terrace Subdivision  
**PROPERTY OWNER:** ML Realty & Prologis  
**APPLICANT:** ML Realty  
**SITE SIZE:** ±32.1 AC  
**BUILDING SIZE:** ±604,616 SF  
**ZONING:** I-2 General Industrial District  
**REQUEST:** **Site Plan Review**  
Municipal Code Section 10 – 3 – 2  
**Amendment to a Planned Unit Development**  
Municipal Code Section 10 – 4 – 4  
**Final Plat of Subdivision**  
Municipal Code Section 11 – 3  
*With the following code departures:*  
**Outdoor Lighting Illumination Standards**  
Municipal Code Section 10 – 6 – 8 – C

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday, June 17, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday, June 17, 2021.
3. On Friday, June 18, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.



**SUMMARY:**

In November of 2020, the Owners appeared before the Community Development Commission and Village Board of Trustees, seeking approval of the following requests: Preliminary Plat of Subdivision, rezoning from residential to industrial, Site Plan Review, and a Preliminary Planned Unit Development with code departures. These requests, which were conditionally approved by the Village Board, were sought with the goal of assembling the previously residentially-zoned properties in the Mohawk Terrace Subdivision (southwest corner of Devon Avenue and Illinois Route 83) into an industrial use business park. The site plan features four industrial buildings with parking for both trucks and passenger vehicles. In conjunction with the Preliminary Planned Unit Development that was granted, the Petitioners sought code departures, as aspects of the site do not meet certain Village Zoning Ordinance requirements.

The Petitioner is currently in the process of seeking approval of a Final Planned Unit Development, which appeared before the CDC on June 1, 2021. It is tentatively scheduled to be on the agenda for the July 27, 2021 Village Board meeting. Approval of the requested amendment – if granted by the Village Board – is contingent upon approval of the Final PUD.

The Petitioner is now requesting an amendment to the Final PUD, as the Final PUD was strictly for site improvement work and grading, while this amendment regards the construction of two buildings, with available vehicle parking and landscape improvements, on the eastern portion of the site. The owners are required to seek an additional amendment to their PUD for the remaining western portion of the site.

**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	I – 2	Industrial	Single-Family Residential	Village of Bensenville
<b>North</b>	I – 2	Industrial	N/A	Elk Grove Village
<b>South</b>	I – 1	Industrial	N/A	Elk Grove Village
	I – 2	Industrial	Regional Commercial	Village of Bensenville
<b>West</b>	I – 1	Industrial	N/A	Elk Grove Village
<b>East</b>	I – 2	Industrial	N/A	Elk Grove Village
	C – 2	Commercial	Local Commercial	Village of Bensenville

**DEPARTMENT COMMENTS:**

*SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input checked="" type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the Lives of Residents
<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors



Finance:

- 1) No comments.

Police:

- 1) No objections.

Engineering and Public Works:

Public Works:

- 1) No comments.

Engineering:

- 1) This development consists demolishing all existing single family homes on this 67.712 acre site and proposing a four lot sub-division consisting of four industrial buildings with associated parking lot, utilities and underground detention. This plan proposes to build the two industrial buildings on eastern half of the site.
- 2) All existing public right-of-way maintained by the Village of Bensenville will be vacated for this proposed development. It appears a small segment of Spruce Ave just south of Devon Ave is still shown as public right-of-way in the plat.
- 3) It appears there is a small cross access easement shown on the plat of subdivision on lot 3 and 4; however, it is unclear who this is granted to as there is no declaration language on the plat. Please clarify and revise the plat as necessary.
- 4) A DuPage County Stormwater Management Certification will be required for this project as the total land disturbing activity exceeds 5,000 SF. The developer must meet all other DuPage County Floodplain and Stormwater Ordinance requirements including submittal of a stormwater report. A stormwater report has been furnished and will be reviewed in details.
- 5) An Illinois Department of Transportation (IDOT) permit will be required for the proposed entrance within IL-83 right-of-way.
- 6) An IEPA-Sanitary, IEPA-Water, IHPA, IEPA-NOI and IEPA-NOT permit will be required for this development.
- 7) A Cook County Department of Transportation and Highways (CCDOTH) permit will be required for the proposed work in the Devon Ave rights-of-way.
- 8) The site doesn't appear to contain any floodplain and/or wetlands. However, it is the developer's responsibility to properly identify and mitigate and special management areas in accordance with applicable rules and regulations.
- 9) It appears the site will breach the detention (25,000 SF) and PCBMP (2,500 SF) threshold set forth in the DuPage County Floodplain and Stormwater Ordinance. Therefore, site detention and PCBMP will be required. The proposed plan depict an underground detention basins to meet these criteria.
- 10) A 5-feet wide ADA compliant public sidewalk will be required along the Devon Ave frontage of the site and shall connect to existing sidewalk.
- 11) A 10-feet wide ADA compliant public shared use path will be required along the IL-83 frontage of the site and shall connect to existing sidewalk/path.
- 12) The driveway openings along Devon Ave shall line up as best as possible with curb opening on opposite side of Devon Ave. This will likely be dictated by CCDOTH. It is my understanding the designer is working through this comment with CCDOTH.
- 13) Sanitary Manholes will be required every 300-feet.
- 14) Individual water services for the building shall be equipped with a shut-off valve outside of the building (valve vault inside 60-inch diameter vault).



- 15) The proposed detention basins are discharging to the existing storm sewer under Devon Ave. The CCDOTH will have the final say on permitting these connections. It is my understanding the designer is working through this comment with CCDOTH.
- 16) All proposed retaining walls over 3-feet in height will need to be accompanied with structural calculations signed and sealed by licensed structural engineering in the State of Illinois.
- 17) The Village owned public water supply mains currently dead ends at the intersection of IL-83/Devon Ave. My recommendation will be to build a secondary source of water, either by expanding the Village watermain along Devon Ave to Ellis St. This will be beneficial to the development in the long run for both domestic water supply and fire safety reasons.
- 18) The current plans show the proposed watermain being installed along the southern property line and temporarily dead-end at the western limits of the phased development. It is my understanding the utilities will be extended further west with future development phases. The designer will need to ensure all fire suppression requirements are met in accordance with applicable codes.
- 19) There are issues with the proposed plans and plat of subdivision that can be resolved during final engineering. In general, staff does not see any major problems that would hinder this concept plan from proceeding.

#### Community & Economic Development:

##### Fire Safety:

- 1) The developer will be required to meet the minimum water flow rates shown in the 2015 International Fire Code Appendix B. See table B105.1(2)
- 2) Village ordinance 40-2015 adopted on October 27, 2015- sections 903.7 and 903.8 – Fire Hydrant location and water flow rates.
- 3) It appears that the existing water main system will not be adequate for this project. The existing water main infrastructure will need to be updated.

##### Building:

- 1) No comments.

##### Economic Development:

- 1) Industrial property is, generally speaking, valued much higher than residential property.
- 2) Residential taxes for 2019 in this subdivision amounted to \$670,288. The Village received 12.224% of that amount totaling \$81,936.05 for 2019.
- 3) Staff projects industrial taxes for buildings A and B, a 604,616 square foot development, at \$1.34 per square foot, which is an average taken from CoStar data of Class A industrial space of similar size in DuPage County. This would come out to approximately \$810,185.44 in total taxes. The Village, using the same tax rate in 2019, would see approximately \$99,037. This is only half of the proposed total project to be completed.
- 4) The new development will bring new businesses and new jobs into Bensenville.
- 5) As a direct result of this development, staff estimates that additional investment will happen in and around the proposed development area, again increasing the tax base.

##### Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for the large majority of the properties in the subject site.
- 2) The current zoning of the subject properties are is I-2 General Industrial District. The site was previously zoned R-1 Single-Unit Dwelling District.



- 3) This development project was granted code departures upon approval of the Preliminary PUD for the following:
  - a. Industrial District Parking Location
    - i. In industrial districts, parking areas in the front and corner side yards shall not be the dominant point of view from the right-of-way and shall consist of less than 50 parking stalls.
  - b. Maximum Number of Parking Spaces
    - i. Parking facilities exceed the maximum required of parking spaces required by code, which states that the number of parking stall shall not exceed the minimum required amount by 125%.
  - c. Maximum Driveway Width and Driveway Apron Width
    - i. The proposed driveways for the development exceed Code's maximum requirement for industrial uses of 30 feet. The driveways' aprons exceed the width of the driveways by more than three feet on either side, which is prohibited by the Zoning Ordinance.
  - d. Tree Replacement Standards
    - i. In order to construct this proposed site plan, 408 existing trees will need to be removed. The proposed tree replacement plan does not meet the amount of replacement trees as required by Code; however, the Village and the Owners have executed a fee-in-lieu agreement for the replacement trees, as was requested by ML Realty and Prologis.
- 4) An additional code departure is being requested in conjunction with approval of the Final PUD for outdoor storage area. The site exceeds the allowed maximum outdoor storage area of 25% of the gross lot area and it does not meet screening requirements of such areas.
  - a. The total area of the site is approximately 2,895,692 SF. The proposed outdoor storage area is ±800,000 SF, or 27.62% of the gross lot area.
- 5) The following minor change has been made to the site plan from that of the one submitted for the Final Planned Unit Development (CDC Case 2021-11):
  - a. The landscape spine running north to south along the west of the subject site has been increased from 21 feet to 26 feet. The spine is comprised of a 5' sidewalk with 10.5' of landscape island on either side. The area will be landscaped with perennials, shrubs, trees, and benches.
- 6) The parking facilities designated to Building A offer 250 passenger vehicle spaces and 67 trailer spaces. Building B will be served by 321 passenger vehicles spaces and 67 spaces for trailer parking. This site also features land-banked parking to the north Building A consisting of 38 additional parking stalls.
  - a. In the event the landscape area is converted to vehicle parking, the area is still required to meet the perimeter parking lot landscape requirements of Section 10-9-5.B of the Village Zoning Ordinance, which states there must be a landscape area of 8' in depth in order to screen the parking facilities.



- 7) In concert with the requested amendment to the Planned Unit Development, the Petitioner is seeking a departure for outdoor lighting as the proposed light poles (33' and 40') exceed the maximum required height of 24', as well as the foot-candles exceed the maximum of one on lot lines, specifically along the eastern lot line.
  - a. The areas where the foot-candles exceed Code's maximum about the rear of commercial lots along IL. RTE-83.
- 8) Building A has a square footage of 307,378 and Building B has a square footage of 297,238. These footprints have been altered from the plans that were approved for the Preliminary PUD: Building A was 328,910 SF and Building B was 280,050 SF.
- 9) Both proposed buildings, which will consist of warehouse and office spaces, have a height of 48 feet. The façade has architectural features such as red trim and two-story window corner-accents by the main entrances to the office areas.
- 10) Staff believes the submitted plans are in accordance with those submitted for both the Preliminary and Final Planned Unit Development requests.



## APPROVAL STANDARDS FOR SITE PLAN REVIEW

- 1) **Surrounding Character:** The site plan for the proposed development is consistent with the existing character and zoning of adjacent properties and other property within the immediate vicinity of the proposed development.

**Applicant's Response:** The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

- 2) **Neighborhood Impact:** The site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development.

**Applicant's Response:** As the proposed use of the site is harmonious with surrounding properties, the site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development. Including the potential to add new jobs to the community, this project will have other direct financial gains to the Village of Bensenville. Currently, Mohawk Terrace generates approximately \$670,000 in property taxes annually. Once completed and stabilized this park could generate upwards of \$2,000,000 in property taxes. Additionally, by vacating the streets and right of ways, the Village will also save on road maintenance and snow plowing costs.

- 3) **Public Facilities:** The site plan for the proposed development will be provided with adequate utilities, access roads, parking, loading, drainage, stormwater flow paths, exterior lighting, and/or other necessary facilities.

**Applicant's Response:** All buildings will have ample parking for cars and adequate trailer parking for trucks. The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.



- 4) **Environmental Preservation:** The site plan for the proposed development is designed to preserve the environmental resources of the zoning lot.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. We have come to a fee-in-lieu agreement with the Village. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

- 5) **On-site Pedestrian Circulation System:** The site plan shall accommodate on-site pedestrian circulation from parking areas, plazas, open space, and public rights-of-way. Pedestrian and vehicular circulation shall be separated to the greatest extent possible.

**Applicant's Response:** We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

- 6) **Vehicle Ingress and Egress:** The site plan shall locate curb cuts for safe and efficient ingress and egress of vehicles. The use of shared curb cuts and cross-access easements shall be provided when appropriate.

**Applicant's Response:** The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades.

- 7) **Architectural Design:** The site plan for the proposed development includes architectural design that contributes positively to the Village's aesthetic appearance.

**Applicant's Response:** We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 300,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.



- 8) **Consistent with Title and Plan:** The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response:** The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

	<b>Meets Standard</b>	
<b>Site Plan Review Approval Standards</b>	<i>Yes</i>	<i>No</i>
1. Surrounding Character	X	
2. Neighborhood Impact	X	
3. Public Facilities	X	
4. Environmental Preservation	X	
5. On-site Pedestrian Circulation	X	
6. Vehicle Ingress & Egress	X	
7. Architectural Design	X	
8. Consistent with Title and Plan	X	



## **APPROVAL STANDARDS FOR PLANNED UNIT DEVELOPMENTS:**

- 1) **Comprehensive Plan:** The proposed planned unit development fulfills the objectives of the Comprehensive Plan, and other land use policies of the Village, through an innovative and creative approach to the development of land.

**Applicant's Response:** The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village. Below responses should reflect the innovative and creative approaches our team has taken in our proposal. The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

- 2) **Public Facilities:** The proposed planned unit development will provide walkways, driveways, streets, parking facilities, loading facilities, exterior lighting, and traffic control devices that adequately serve the uses within the development, promote improved access to public transportation, and provide for safe motor vehicle, bicycle, and pedestrian traffic to and from the site.

**Applicant's Response:** We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. We are requesting that we relocate the existing full access curb-cuts and add new full access curb cuts along Devon Avenue and plan on utilizing the existing full access at Route 83. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

- 3) **Landscaping and Screening:** The proposed planned unit development will provide landscaping and screening that enhances the Village's character and livability, improves air and water quality, reduces noise, provides buffers, and facilitates transitions between different types of uses.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A separate Memorandum of Understanding was agreed to between the Village and the Petitioner providing a payment of \$200,000 into the Villages Tree Fund in lieu of providing all of the required trees. We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking



**paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.**

- 4) **Site Design:** The proposed planned unit development will incorporate sustainable and low impact site design and development principles.

**Applicant's Response:** We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.

- 5) **Natural Environment:** The proposed planned unit development will protect the community's natural environment to the greatest extent practical, including existing natural features, water courses, trees, and native vegetation.

**Applicant's Response:** To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

- 6) **Utilities:** The proposed planned unit development will be provided with underground installation of utilities when feasible, including electricity, cable, and telephone, as well as appropriate facilities for storm sewers, stormwater retention, and stormwater detention.

**Applicant's Response:** The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park.



<b>Planned Unit Development Approval Standards</b>	<b>Meets Standard</b>	
	<i>Yes</i>	<i>No</i>
1. Comprehensive Plan	X	
2. Public Facilities	X	
3. Landscaping and Screening	X	
4. Site Design	X	
5. Natural Environment	X	
6. Utilities	X	

## **RECOMMENDATIONS:**

- 1) Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Site Plan Review.
- 2) Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Planned Unit Development Amendment with the following conditions:
  1. Proposed development of the eastern portion of the subject site shall be in accordance with submitted plans from Kimley-Horn dated 05.28.21, except as amended herein;
  2. All conditions of approval required of the Preliminary Planned Unit Development (Ord. No. 66-2020) and the Final Planned Unit Development (Ord. No. \_\_\_\_\_) are consequently conditions of approval of the Planned Unit Development Amendment;
  3. The code departure for Outdoor Lighting Illumination Standards is approved. Light fixtures shall be in accordance with plans submitted by Harris Architects Inc. and Kornacki & Associates Inc dated 05.26.21; and
  4. The Zoning Administrator has final review authority over the architectural design of the buildings.
- 3) Staff recommends the Approval of the Final Plat of Subdivision with the following condition:
  - a. The Petitioner shall revise the Plat in accordance with comments from the Village Engineering Department prior to appearing before the Village Board of Trustees.

Respectfully Submitted,

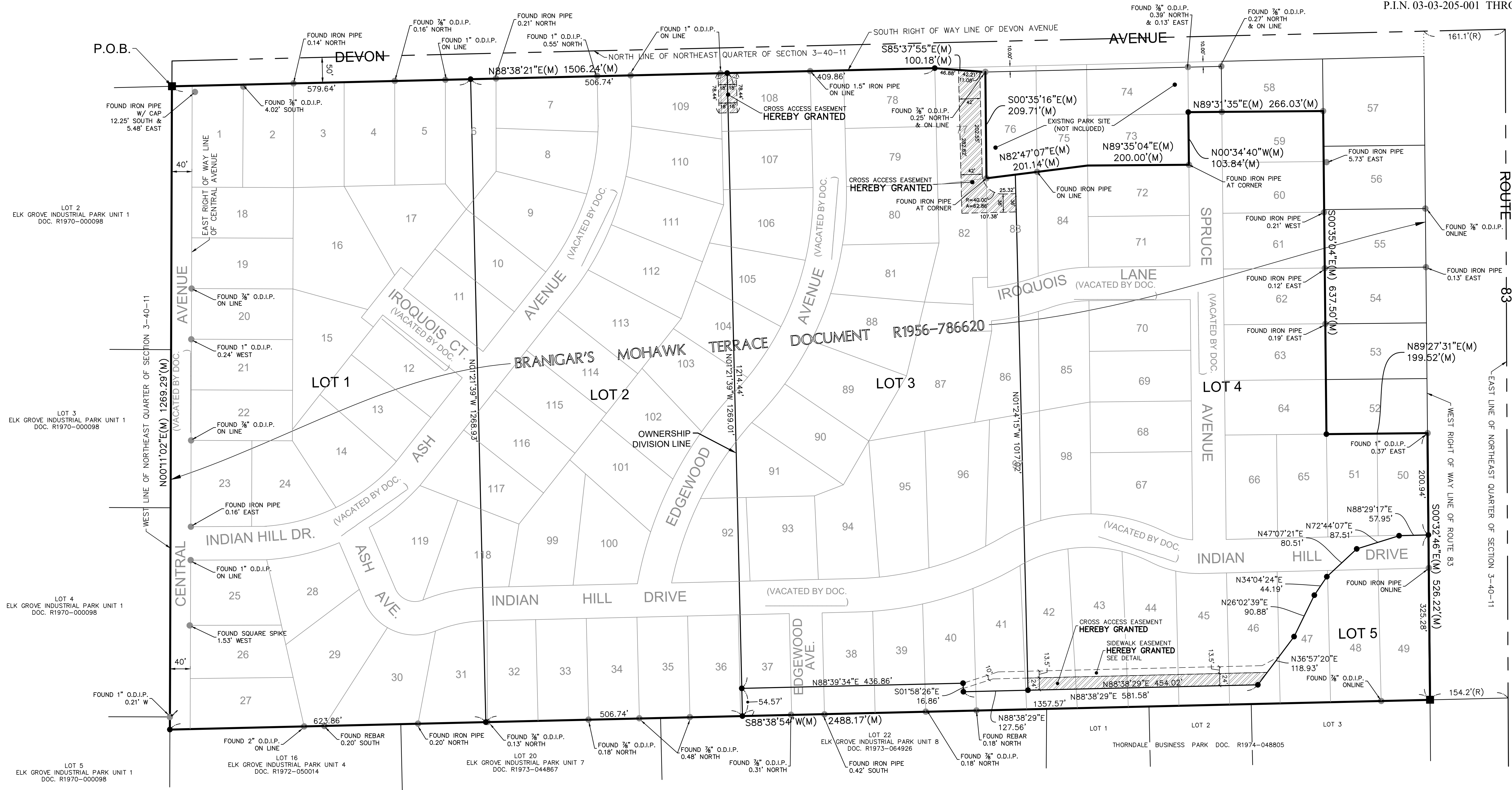
Department of Community & Economic Development



# FINAL PLAT OF SUBDIVISION BENSENVILLE INDUSTRIAL PARK

A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION  
3, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

P.I.N. 03-03-200-001 THROUGH 03-03-200-019;  
P.I.N. 03-03-200-022 THROUGH 03-03-200-026;  
P.I.N. 03-03-201-001 THROUGH 03-03-201-021;  
P.I.N. 03-03-202-001 THROUGH 03-03-202-008;  
P.I.N. 03-03-202-012;  
P.I.N. 03-03-202-015 THROUGH 03-03-202-017;  
P.I.N. 03-03-202-021 THROUGH 03-03-202-036;  
P.I.N. 03-03-203-003 THROUGH 03-03-203-008;  
P.I.N. 03-03-203-016 THROUGH 03-03-203-020;  
P.I.N. 03-03-204-001 THROUGH 03-03-204-013;  
P.I.N. 03-03-205-001 THROUGH 03-03-205-012;



## LEGEND

- FOUND 7/8" O.D.I.P.  
UNLESS OTHERWISE NOTED
- SET 7/8" O.D.I.P.  
UNLESS OTHERWISE NOTED
- SET CONCRETE MONUMENT  
UNLESS OTHERWISE NOTED
- + SET CROSS IN CONCRETE  
UNLESS OTHERWISE NOTED

## ABBREVIATIONS

O.D.I.P. = OUTSIDE DIAMETER IRON PIPE  
N = NORTH  
S = SOUTH  
E = EAST  
W = WEST  
(R) = RECORD BEARING OR DISTANCE  
(M) = MEASURED BEARING OR DISTANCE  
(C) = CALCULATED BEARING OR DISTANCE  
(D) = DEED BEARING OR DISTANCE  
B.S.L. = BUILDING SETBACK LINE  
U.E. = UTILITY EASEMENT  
D.E. = DRAINAGE EASEMENT  
P.U.E. = PUBLIC UTILITY EASEMENT  
P.O.C. = POINT OF COMMENCEMENT  
P.O.B. = POINT OF BEGINNING  
P.U. & D.E. = PUBLIC UTILITY AND DRAINAGE EASEMENT

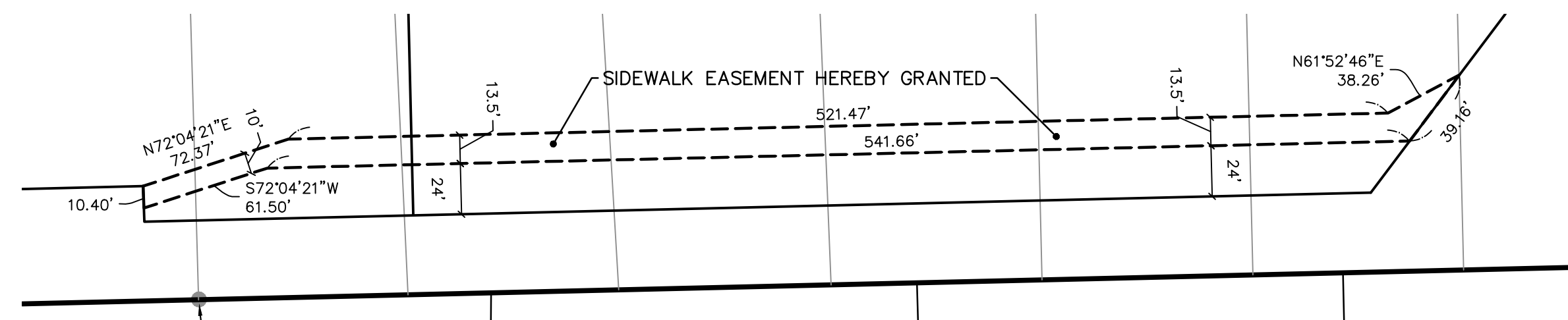
## LINE LEGEND

- SUBDIVISION BOUNDARY LINE
- ADJACENT LAND PARCEL LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- BUILDING SETBACK LINE
- SECTION LINE

## AREA SUMMARY

LOT 1	769,889 SQUARE FEET	OR	17.674 ACRES
LOT 2	643,041 SQUARE FEET	OR	14.762 ACRES
LOT 3	674,763 SQUARE FEET	OR	15.490 ACRES
LOT 4	676,138 SQUARE FEET	OR	15.522 ACRES
LOT 5	125,986 SQUARE FEET	OR	2.892 ACRES

NET AREA 2,889,817 SQUARE FEET OR 66.340 ACRES  
(TO HEAVY LINES)  
(BASED ON MEASURED VALUES)



## SIDEWALK EASEMENT DETAIL

SCALE: 1" = 60'

DATE:	5/14/21	PC	DRAWN BY:	BT	CHECKED BY:	CJS	BOOK	589	PAGE	73
NO.			REVISIONS							
1			ADD SIDEWALK EASEMENT							

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600,  
BENSENVILLE, IL 60015  
PHONE: (630) 481-5550  
WWW.KIMLEY-HORN.COM

**PROJECT**  
MOHAWK TERRACE  
BENSENVILLE, IL

**COMPASS**  
SURVEYING LTD  
ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
VIRBORO, VT 05592  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: 1" = 100'

1 OF 2



FINAL PLAT OF SUBDIVISION  
BENSENVILLE INDUSTRIAL PARK

A SUBDIVISION IN THE NORTHWEST QUARTER OF SECTION  
3, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD  
PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE  
OWNER OF THE PROPERTY DESCRIBED HEREON AND BY THE DULY ELECTED OFFICERS HAS  
CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES  
THEREON SET FORTH, AND IS HEREBY ACKNOWLEDGED AND ADOPTS THE SAME UNDER THE  
STYLE AND TITLE AFORESAID.

DATED AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D., 20 \_\_\_\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_

TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_

NOTARY'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN THE  
COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_  
TITLE: \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHO  
IS SUBSCRIBED TO THE FOREGOING CERTIFICATE OF OWNERSHIP, APPEARED BEFORE ME THIS  
DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY  
FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AND  
DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.,  
20\_\_\_\_\_.  
BY: \_\_\_\_\_  
NOTARY PUBLIC

OWNER'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

THIS IS TO CERTIFY THAT \_\_\_\_\_ IS THE  
OWNER OF THE PROPERTY DESCRIBED HEREON AND BY THE DULY ELECTED OFFICERS HAS  
CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES  
THEREON SET FORTH, AND IS HEREBY ACKNOWLEDGED AND ADOPTS THE SAME UNDER THE  
STYLE AND TITLE AFORESAID.

DATED AT \_\_\_\_\_, THIS \_\_\_\_\_ DAY  
OF \_\_\_\_\_ A.D., 20 \_\_\_\_\_.

BY: \_\_\_\_\_ ATTEST: \_\_\_\_\_

TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_

NOTARY'S CERTIFICATE

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } SS

I, \_\_\_\_\_, A NOTARY PUBLIC IN THE  
COUNTY AND STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_  
TITLE: \_\_\_\_\_ WHO IS PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHO  
IS SUBSCRIBED TO THE FOREGOING CERTIFICATE OF OWNERSHIP, APPEARED BEFORE ME THIS  
DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THIS INSTRUMENT IN THEIR CAPACITY  
FOR THE USES AND PURPOSES THEREIN SET FORTH AS THE FREE AND VOLUNTARY ACT AND  
DEED OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D.,  
20\_\_\_\_\_.  
BY: \_\_\_\_\_  
NOTARY PUBLIC

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF DU PAGE } SS

I, \_\_\_\_\_ COUNTY CLERK OF DUPAGE COUNTY,  
ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID  
CURRENT TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY  
OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL  
STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY NAME AND SEAL OF THE COUNTY CLERK AT WHEATON, ILLINOIS,

THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_

\_\_\_\_\_  
COUNTY CLERK

CERTIFICATE OF PLAT OFFICER

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BY: \_\_\_\_\_  
PLAT OFFICER, DUPAGE COUNTY

SIDEWALK EASEMENT PROVOSIONS

A PERMANENT NON-EXCLUSIVE EASEMENT IS HEREBY RESERVED FOR AND GRANTED TO THE OWNERS OF LOTS 1  
THROUGH 5, INCLUSIVE, WITHIN THIS SUBDIVISION, THEIR HEIRS, SUCCESSORS AND ASSIGNS OVER ALL AREAS HEREON  
PLATTED AND DESIGNATED "SIDEWALK EASEMENT" FOR THE PERPETUAL RIGHT, PRIVILEGE AND AUTHORITY TO CONSTRUCT,  
RECONSTRUCT, REPAIR, REPLACE AND MAINTAIN A PATHWAY WITHIN THE SUBJECT EASEMENT AREA, TOGETHER WITH THE  
RIGHT OF ACCESS FOR THE NECESSARY PERSONS AND OR EQUIPMENT TO COMPLETE ANY OF THE ABOVE WORK,  
TOGETHER WITH THE RIGHT OF TRANSFER FOR PEDESTRIAN AND NON-MOTORIZED VEHICULAR TRAFFIC ALONG THE  
EASEMENT. THE RIGHT IS ALSO GRANTED TO CUT DOWN, TRIM OR REMOVE ANY TREES OR SHRUBS ON THE EASEMENT  
THAT INTERFERE WITH THE OPERATION OF THE PUBLIC PATHWAYS. NO PERMANENT BUILDINGS SHALL BE PLACED ON  
SAID EASEMENT, BUT THE SAME MAY BE USED FOR DRIVEWAYS CROSSING THE EASEMENT AREA, LAWNS AND  
LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS.

RECORDER'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF  
DUPAGE COUNTY, ILLINOIS AFORESAID ON \_\_\_\_\_

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_, \_\_\_\_\_ O'CLOCK  
\_\_\_\_\_

BY: \_\_\_\_\_  
RECORDER OF DEEDS

VILLAGE BOARD

STATE OF ILLINOIS }  
COUNTY OF DUPAGE } SS

APPROVED BY THE VILLAGE BOARD OF THE VILLAGE OF BENSENVILLE, DUPAGE COUNTY, ILLINOIS.

DATED AT \_\_\_\_\_, ILLINOIS,

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_\_\_

BY: \_\_\_\_\_  
VILLAGE CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS }  
COUNTY OF KANE } SS

I, CHRISTOPHER J. SALAZAR, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 4017, HAVE  
SURVEYED AND SUBDIVIDED THE FOLLOWING PROPERTY:

THAT PART OF BRANIGAR'S MOHAWK TERRACE, BEING A SUBDIVISION IN SECTION 3, TOWNSHIP  
40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT  
THEREOF RECORDED JANUARY 17, 1956 AS DOCUMENT NUMBER R1956-786620, IN DU PAGE  
COUNTY, ILLINOIS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION, SAID POINT ALSO LYING ON THE  
SOUTH RIGHT OF WAY LINE OF DEVON AVENUE; THENCE ALONG SAID SOUTH RIGHT OF WAY FOR  
THE FOLLOWING TWO (2) TRACTS: (1) THENCE NORTH 88 DEGREES 38 MINUTES 21 SECONDS  
EAST, A DISTANCE OF 1506.24 FEET TO THE NORTHWEST CORNER OF LOT 77 IN SAID  
SUBDIVISION; (2) THENCE SOUTH 85 DEGREES 37 MINUTES 55 SECONDS EAST, A DISTANCE OF  
100.18 FEET TO A POINT ON THE EAST LINE OF SAID LOT 77, SAID POINT BEING 10.00 FEET  
SOUTH OF THE NORTHEAST CORNER OF SAID LOT 77; THENCE SOUTH 00 DEGREES 35 MINUTES  
16 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 77, A DISTANCE OF 209.71 FEET TO THE  
COMMON CORNER OF LOTS 76, 77, 82 AND 83 IN SAID SUBDIVISION; THENCE NORTH 82  
DEGREES 47 MINUTES 07 SECONDS EAST ALONG THE NORTH LINE OF LOTS 83 AND 84 IN SAID  
SUBDIVISION; A DISTANCE OF 201.14 FEET TO THE NORTHWEST CORNER OF LOT 72 IN SAID  
SUBDIVISION; THENCE NORTH 89 DEGREES 35 MINUTES 04 SECONDS EAST ALONG THE NORTH  
LINE OF SAID LOT 72, A DISTANCE OF 200.00 FEET TO THE NORTHEAST CORNER OF SAID LOT  
72, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 73 THENCE NORTH 00 DEGREES  
34 MINUTES 40 SECONDS WEST ALONG THE EAST LINE OF LOTS 73 AND 74 OF SAID  
SUBDIVISION; A DISTANCE OF 103.84 FEET TO THE WESTERLY EXTENSION OF THE NORTH LINE OF  
LOT 59 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 31 MINUTES 35 SECONDS EAST  
ALONG SAID WESTERLY EXTENSION AND ALONG THE NORTH LINE OF SAID LOT 59, A DISTANCE  
OF 266.03 FEET TO THE NORTHEAST CORNER OF SAID LOT 59; THENCE SOUTH 00 DEGREES 35  
MINUTES 04 SECONDS EAST, A DISTANCE OF 637.50 FEET TO THE SOUTHWEST CORNER OF LOT  
52 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 27 MINUTES 31 SECONDS EAST ALONG  
THE SOUTH LINE OF SAID LOT 52, A DISTANCE OF 199.52 FEET TO THE SOUTHEAST CORNER OF  
SAID LOT 52, SAID POINT ALSO LYING ON THE WEST RIGHT OF WAY LINE OF ILLINOIS ROUTE 83;  
THENCE SOUTH 00 DEGREES 32 MINUTES 46 SECONDS EAST ALONG SAID WEST RIGHT OF WAY  
LINE, A DISTANCE OF 526.22 FEET TO THE SOUTHEAST CORNER OF SAID SUBDIVISION; THENCE  
SOUTH 88 DEGREES 38 MINUTES 54 SECONDS WEST ALONG THE SOUTH LINE OF SAID  
SUBDIVISION, A DISTANCE OF 2488.17 FEET TO THE SOUTHWEST CORNER OF SAID SUBDIVISION;  
THENCE NORTH 00 DEGREES 11 MINUTES 02 SECONDS EAST ALONG THE WEST LINE OF SAID  
SUBDIVISION, A DISTANCE OF 1269.29 FEET TO THE POINT OF BEGINNING.

AS SHOWN BY THE ANNEXED PLAT WHICH IS A CORRECT REPRESENTATION OF SAID SURVEY AND  
SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. THIS SUBDIVISION IS  
WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF BENSENVILLE WHICH HAS ADOPTED AN  
OFFICIAL COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE  
STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6 AS HERETOFORE AND HEREAFTER  
AMENDED, AND THIS SITE FALLS WITHIN "OTHER AREAS ZONE X" (AREAS DETERMINED TO BE  
OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DEFINED BY THE FLOOD INSURANCE RATE  
MAP, MAP NUMBER 17043C0077J, HAVING A REVISED DATE OF AUGUST 1, 2019.

GIVEN UNDER MY HAND AND SEAL AT AURORA, ILLINOIS THIS \_\_\_\_\_ DAY OF  
\_\_\_\_\_, 20\_\_\_\_.

COMPASS SURVEYING LTD  
PROFESSIONAL DESIGN FIRM  
LAND SURVEYOR CORPORATION NO. 184-002778  
LICENSE EXPIRES 4/30/2023

BY: \_\_\_\_\_

CHRISTOPHER J. SALAZAR  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 4017  
LICENSE EXPIRES 11/30/2022E OF

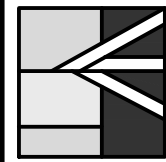
DATE	5/14/21	PC	DRAWN BY	BT	CHECKED BY	CJS	BOOK	559	PG	73
NO.	1									
REVISIONS										
DATE	6/28/21									
BY	MRA									

CLIENT

**Kimley»Horn**  
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600,  
BENSENVILLE, ILLINOIS 60015  
PHONE: 630-487-1550  
WWW.KIMLEY-HORN.COM

PROJECT

MOHAWK TERRACE  
Bensenville, IL

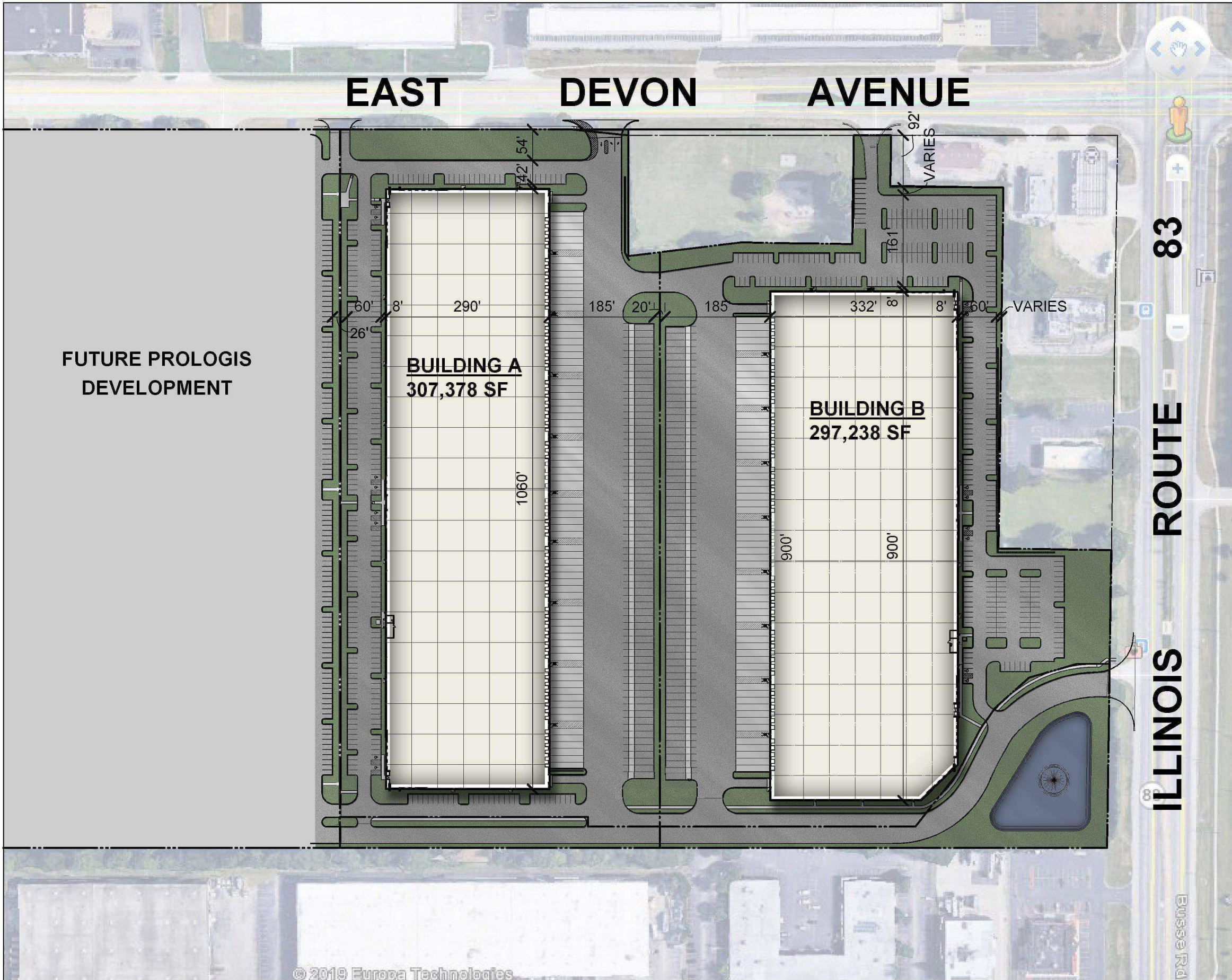
**COMPASS**  
SURVEYING LTD

ALTA SURVEYS • TOPOGRAPHY • CONSTRUCTION STAKING  
2631 GINGER WOODS PARKWAY, STE. 100  
AURORA, ILLINOIS 60002  
PHONE: (630) 820-9100 FAX: (630) 820-7030 EMAIL: ADMIN@CLSURVEYING.COM

SCALE: NONE

2 OF 2





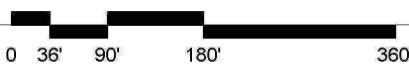
CONCEPTUAL MASTER SITE PLAN FOR:  
**BENSENVILLE INDUSTRIAL PARK**  
BENSENVILLE, ILLINOIS

<b>BUILDING A</b>	
SITE AREA (±16.21 AC.)	
BUILDING AREA	+307,378 SF
CAR PARKING	250 STALLS
DRIVE IN OVERHEAD DOORS	2 DOORS
TOTAL TRAILER PARKING	67 STALLS
TOTAL EXTERIOR DOCKS	72 DOCKS

<b>BUILDING B</b>	
SITE AREA (±15.89 AC.)	
BUILDING AREA	+297,238 SF
CAR PARKING	321 STALLS
DRIVE IN OVERHEAD DOORS	2 DOORS
TOTAL TRAILER PARKING	67 STALLS
TOTAL EXTERIOR DOCKS	59 DOCKS

**SITE PLAN**

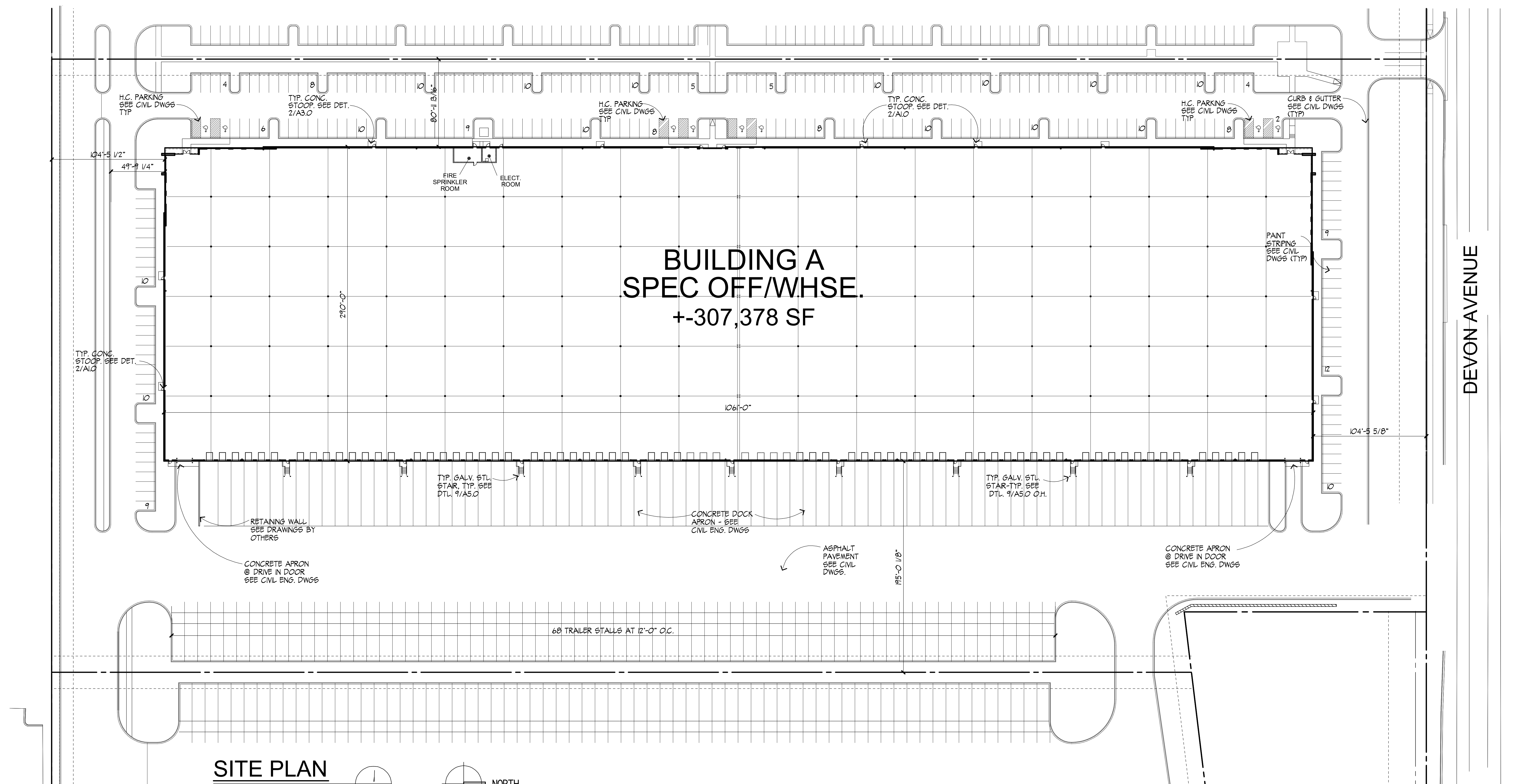
220146 06.02.2021





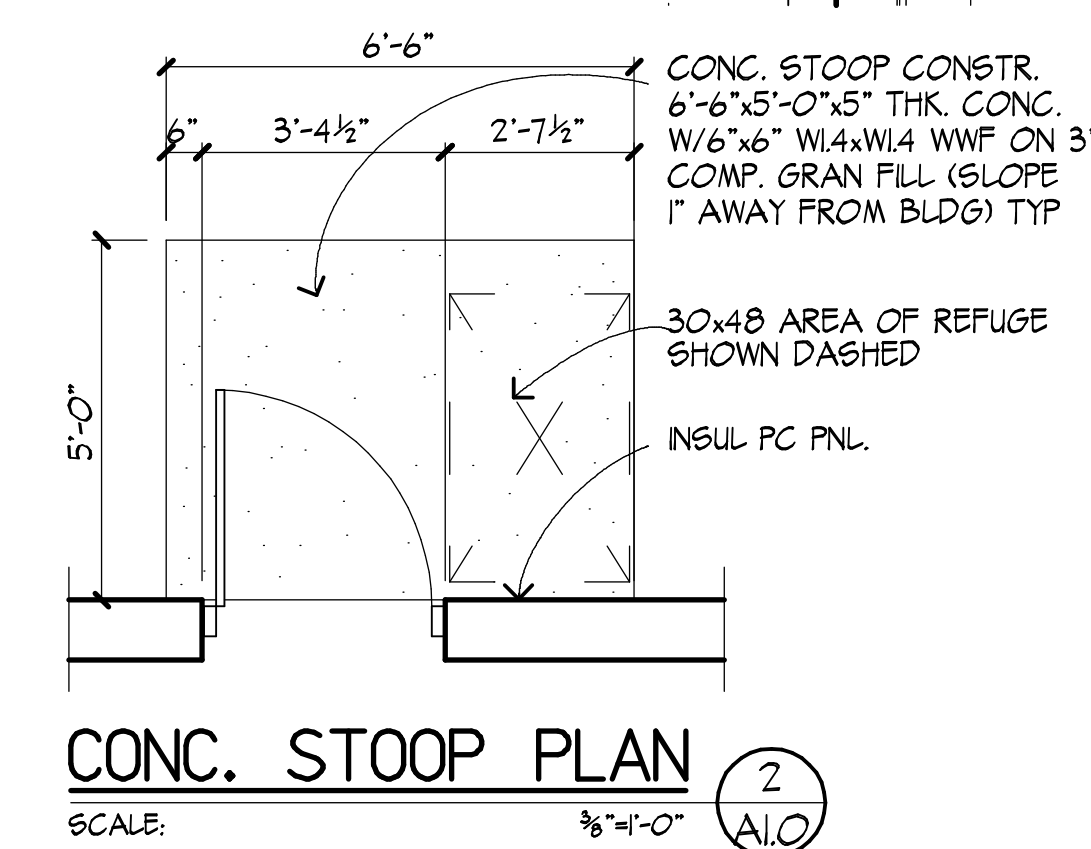
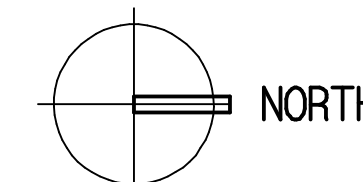
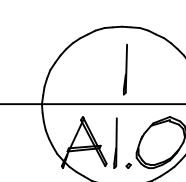
SITE DATA	
SITE AREA (+/-6.21 ACRES)	105,973 SF
FLOOR AREA RATIO	43
BUILDING AREA	
OFFICE	TBD
WAREHOUSE AREA	306,891 SF
ELECTRICAL/PUMP ROOM	559 SF
TOTAL BUILDING	307,378 SF
PARKING	
OFFICE (1/500 SF)	TBD
WAREHOUSE (1/20,000 SF)	5 STALLS
TOTAL REQUIRED	5 STALLS
PARKING PROVIDED (9'x18')	239 STALLS
ACCESSIBLE STALLS	8 STALLS
TOTAL	247 STALLS
DRIVE-IN DOORS	2
EXTERIOR DOCKS	65
FUTURE EXTERIOR DOCKS	7
TRAILER STALLS	68
BUILDING CLEAR HEIGHT	40'-0"

- GENERAL NOTES:
- SEE CIVIL ENGINEERING DRAWINGS FOR OTHER DIMENSIONS, NOTES AND DETAILS.
  - ALL DIMENSIONS ARE FROM BACK FACE OF CURB OR BUILDING UNLESS NOTED OTHERWISE.
  - EXACT LOCATION OR PLACEMENT OF NEW BLDG. INDICATED ABOVE SHALL BE DETERMINED BY LAND SURVEYOR HIRED BY G.C. AND SHALL COORDINATE & INFORM THE ARCHITECT OF ANY DISCREPANCY PRIOR TO STARTING WORK.

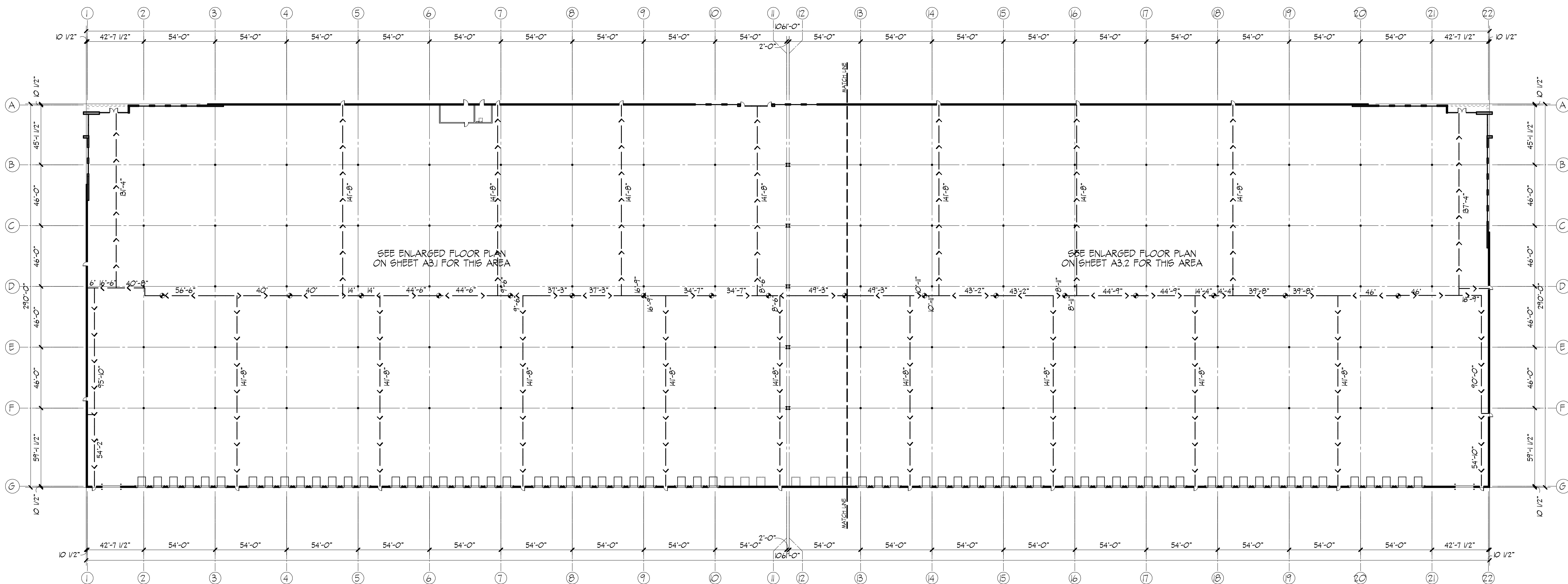


**SITE PLAN**

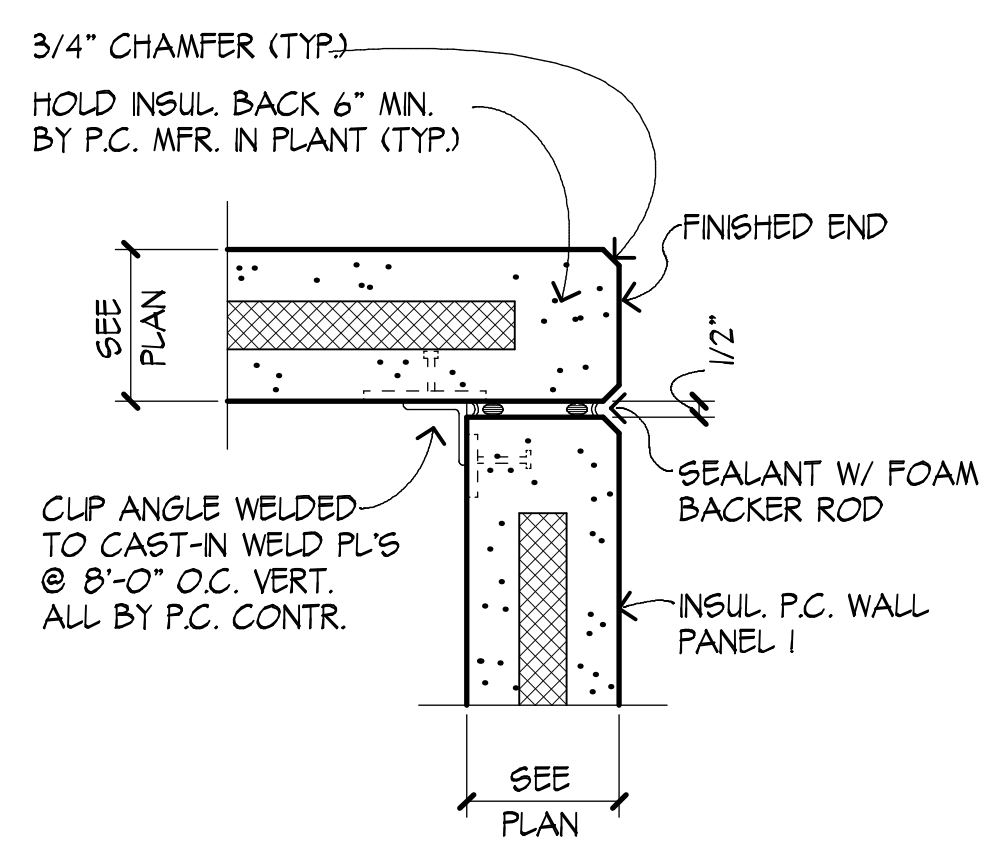
SITE PLAN: 1" = 40'-0"



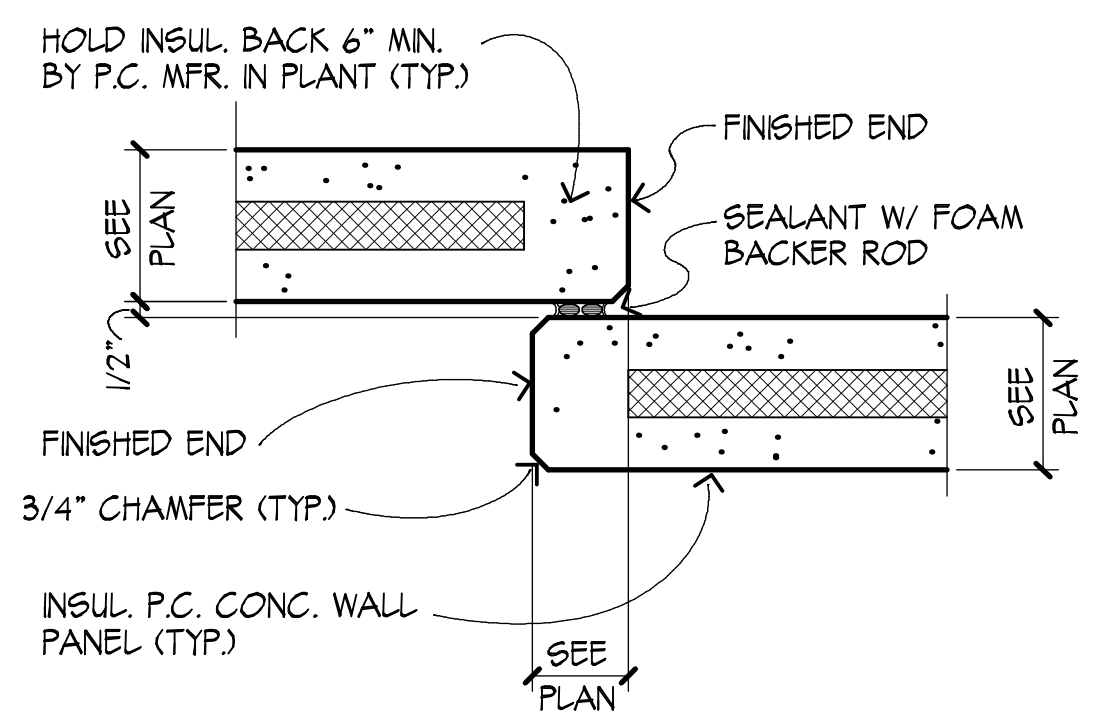




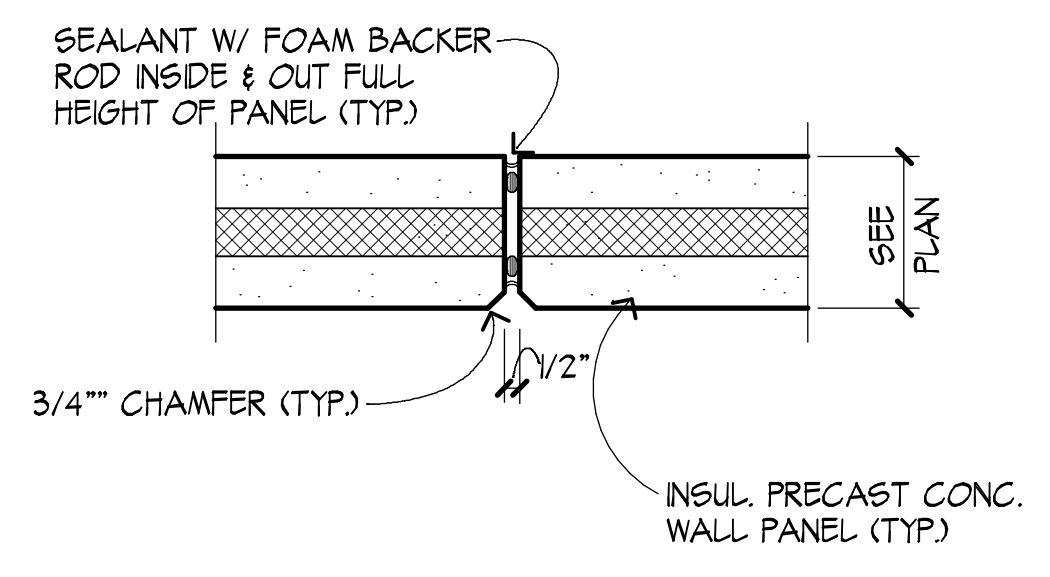
**OVERALL BUILDING FLOOR PLAN & EXIT PLAN**  
SCALE: 1" = 32'-0"  
A3.0



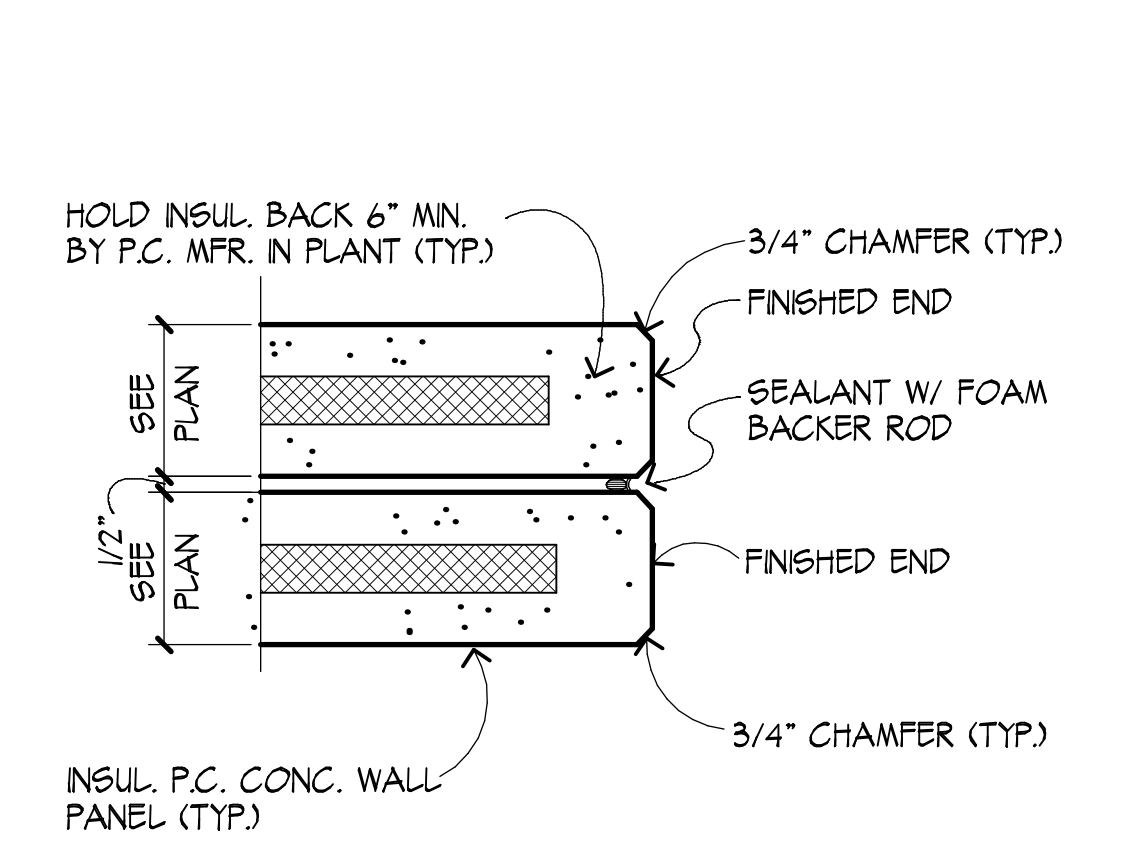
**P.C. BUTT JOINT**  
SCALE: 1" = 4'-0"  
A3.0



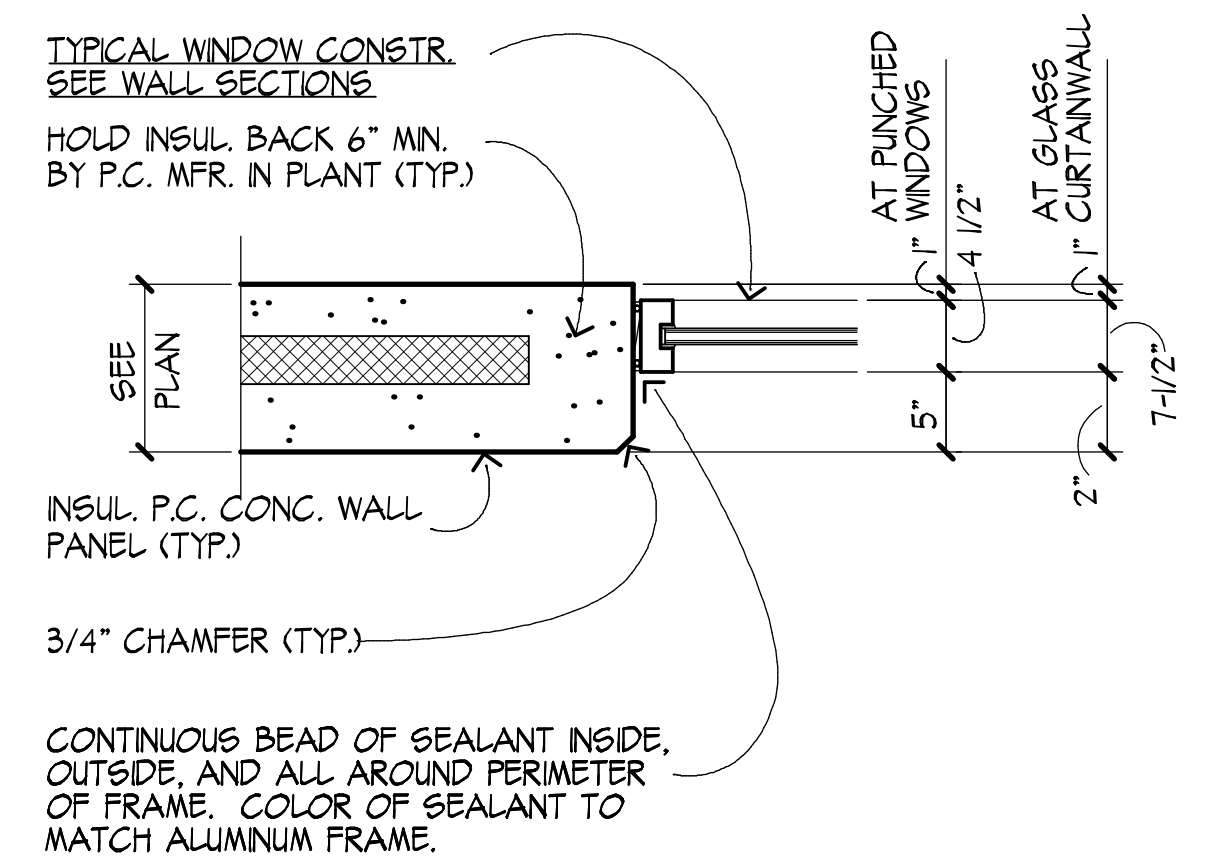
**P.C. OVERLAP JOINT DETAIL**  
SCALE: 1" = 4'-0"  
A3.0



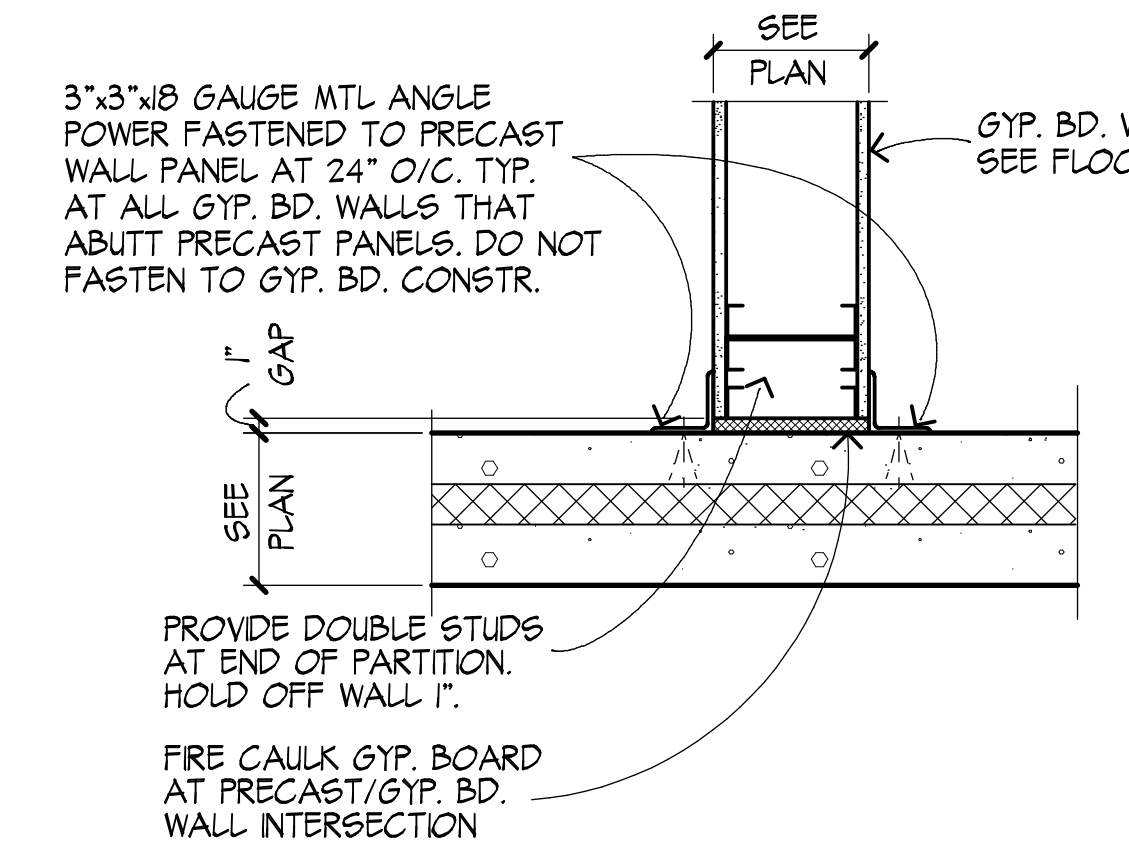
**TYP. P.C. PANEL JOINT**  
SCALE: 1" = 4'-0"  
A3.0



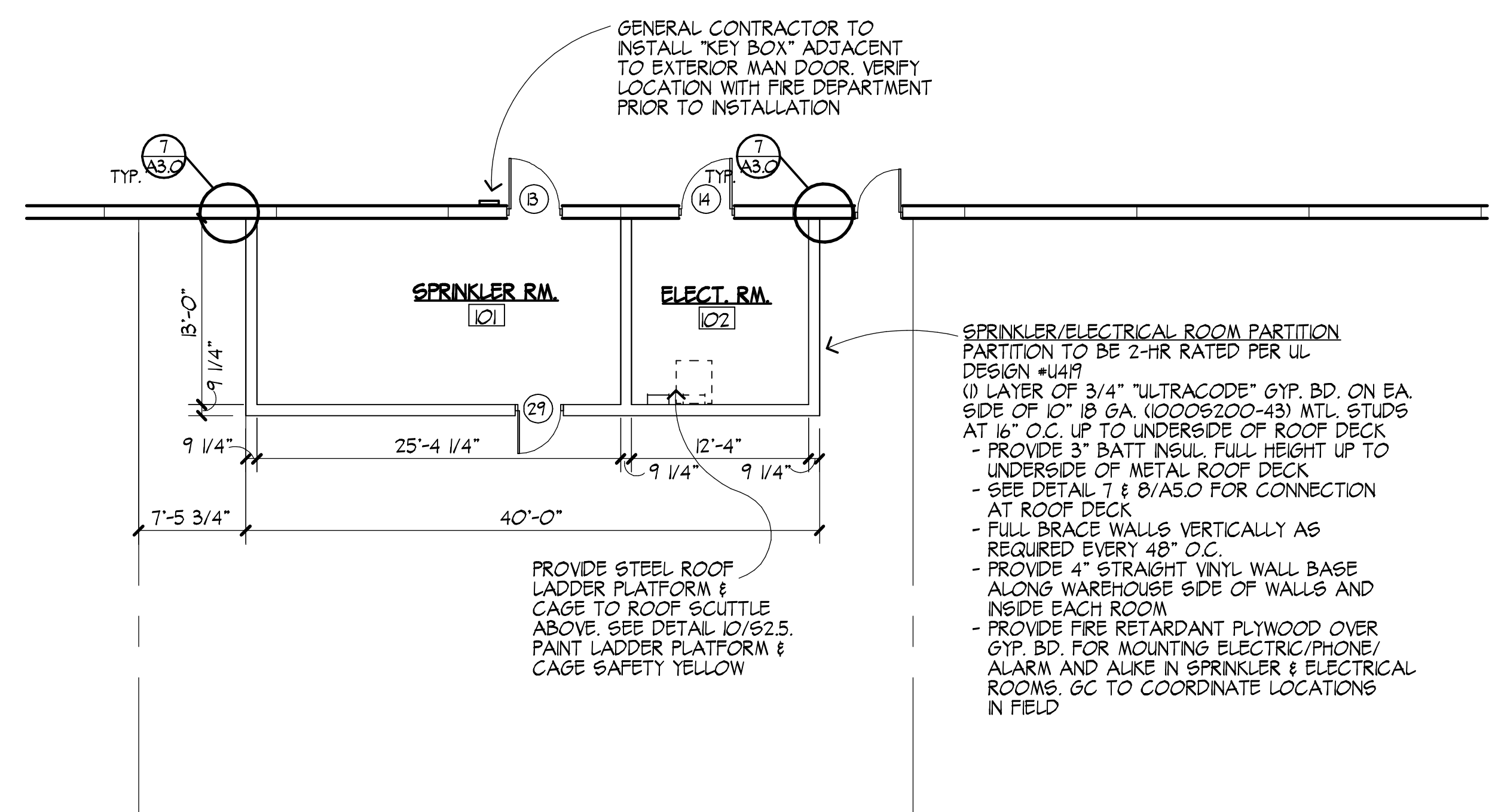
**P.C. OVERLAP JOINT DETAIL**  
SCALE: 1" = 4'-0"  
A3.0



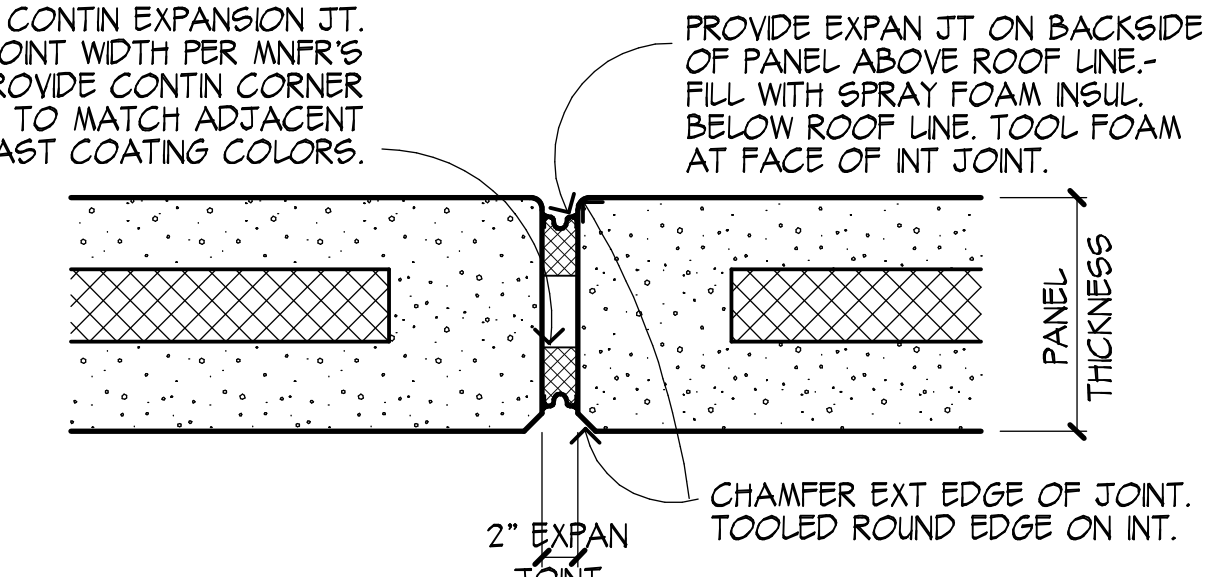
**TYPICAL WINDOW JAMB**  
SCALE: 1" = 4'-0"  
A3.0



**GYP. BD. DETAIL AT PC**  
SCALE: 1" = 1'-0"  
A3.0

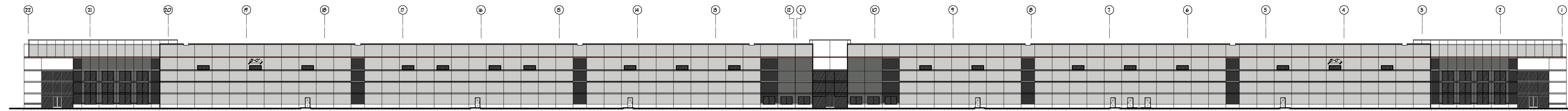


**ENLARGED FLOOR PLAN**  
SCALE: 1" = 8'-0"  
A3.0



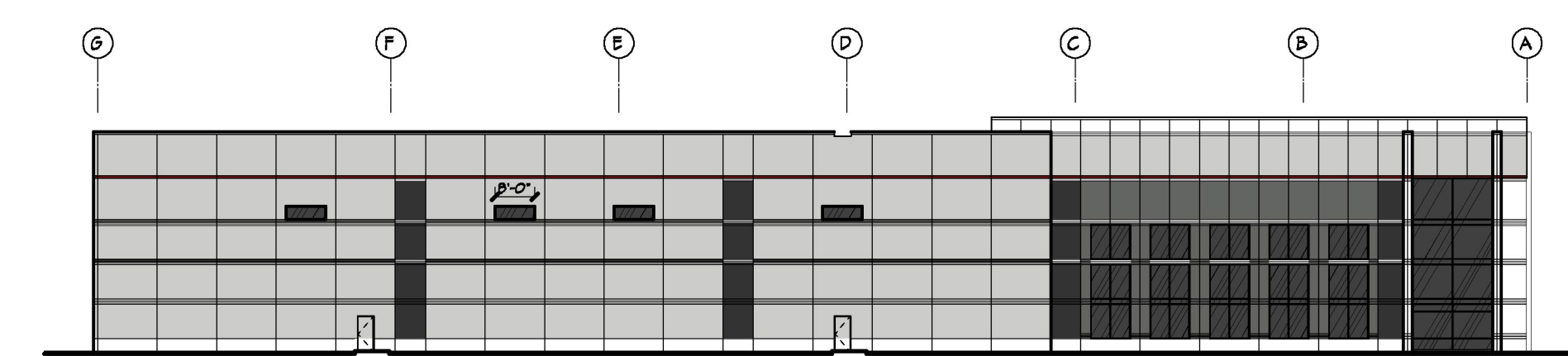
**PC EXPANSION JT.**  
SCALE: 1 1/2" = 4'-0"  
A4.0





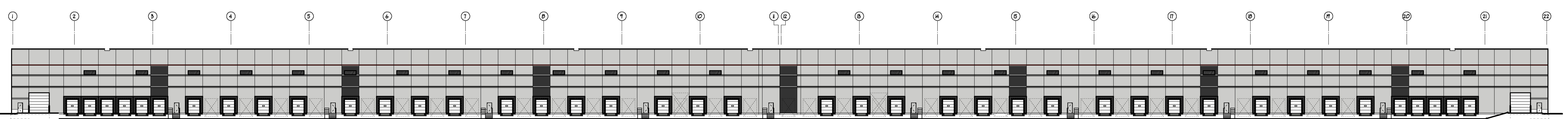
**WEST ELEVATION**

SCALE: 1/32" = 1'-0"



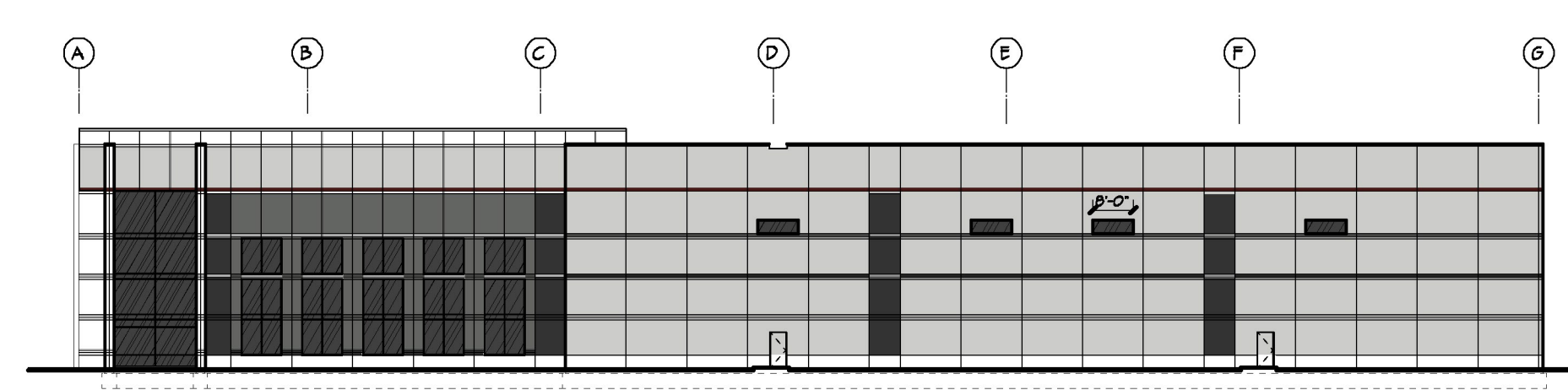
**NORTH ELEVATION**

SCALE: 1/32" = 1'-0"



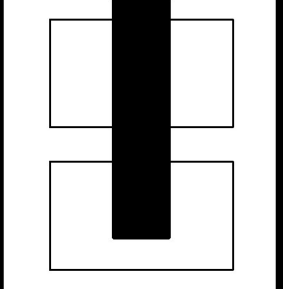
**EAST ELEVATION**

SCALE: 1/32" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/32" = 1'-0"





DEVON AVENUE

ILL. ROUTE 388 (BUSSE ROAD)

SITE DATA		
SITE AREA (+/-5.89 ACRES)	692,168 SF	
PERVIOUS AREA (+/-1.84 ACRES)	+/-80,150 SF	
FLOOR AREA RATIO	.43	
BUILDING AREA		
OFFICE	TBD	
WAREHOUSE AREA	296,635 SF	
ELECTRICAL/PUMP ROOM	603 SF	
TOTAL BUILDING	297,238 SF	
PARKING		
OFFICE (1/500 SF)	TBD	
WAREHOUSE (1/20,000 SF)	15 STALLS	
TOTAL REQUIRED	15 STALLS	
PARKING PROVIDED (9'x18')	306 STALLS	
ACCESSIBLE STALLS	8 STALLS	
TOTAL	314 STALLS	
DRIVE-IN DOORS	2	
EXTERIOR DOCKS	52	
FUTURE EXTERIOR DOCKS	67	
TRAILER STALLS	67	
BUILDING CLEAR HEIGHT	40'-0"	

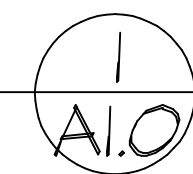
- GENERAL NOTES:
- SEE CIVIL ENGINEERING DRAWINGS FOR OTHER DIMENSIONS, NOTES AND DETAILS.
  - ALL DIMENSIONS ARE FROM BACK FACE OF CURB OR BUILDING UNLESS NOTED OTHERWISE.
  - EXACT LOCATION OR PLACEMENT OF NEW BLDG. INDICATED ABOVE SHALL BE DETERMINED BY LAND SURVEYOR HIRED BY G.C. AND SHALL COORDINATE & INFORM THE ARCHITECT OF ANY DISCREPANCY PRIOR TO STARTING WORK.

**BUILDING B  
SPEC OFF/WHSE.  
+297,238 SF**

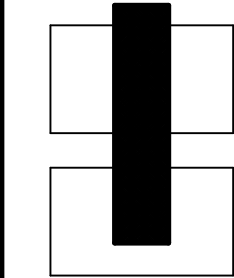
DETENTION BASIN

**SITE PLAN**

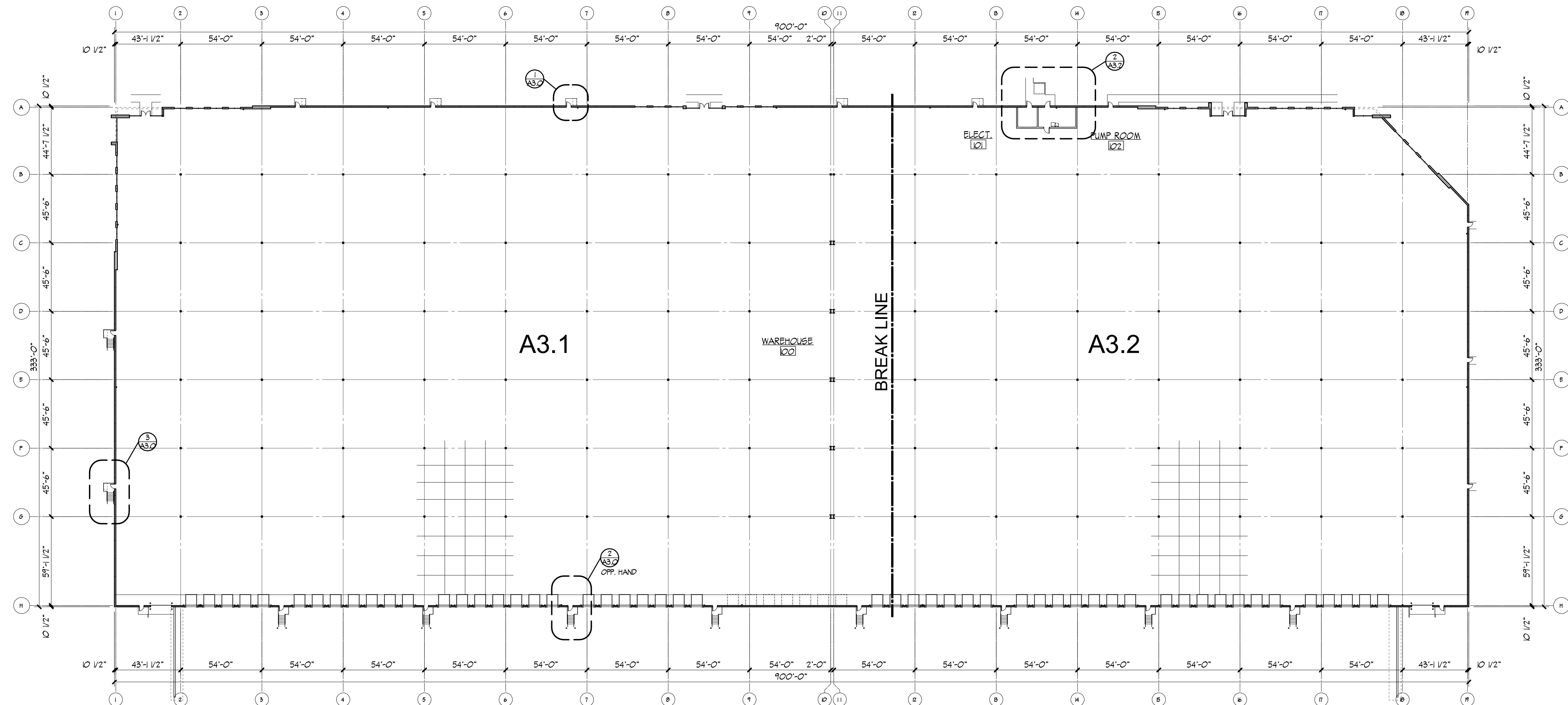
SITE PLAN: 1" = 40'-0"



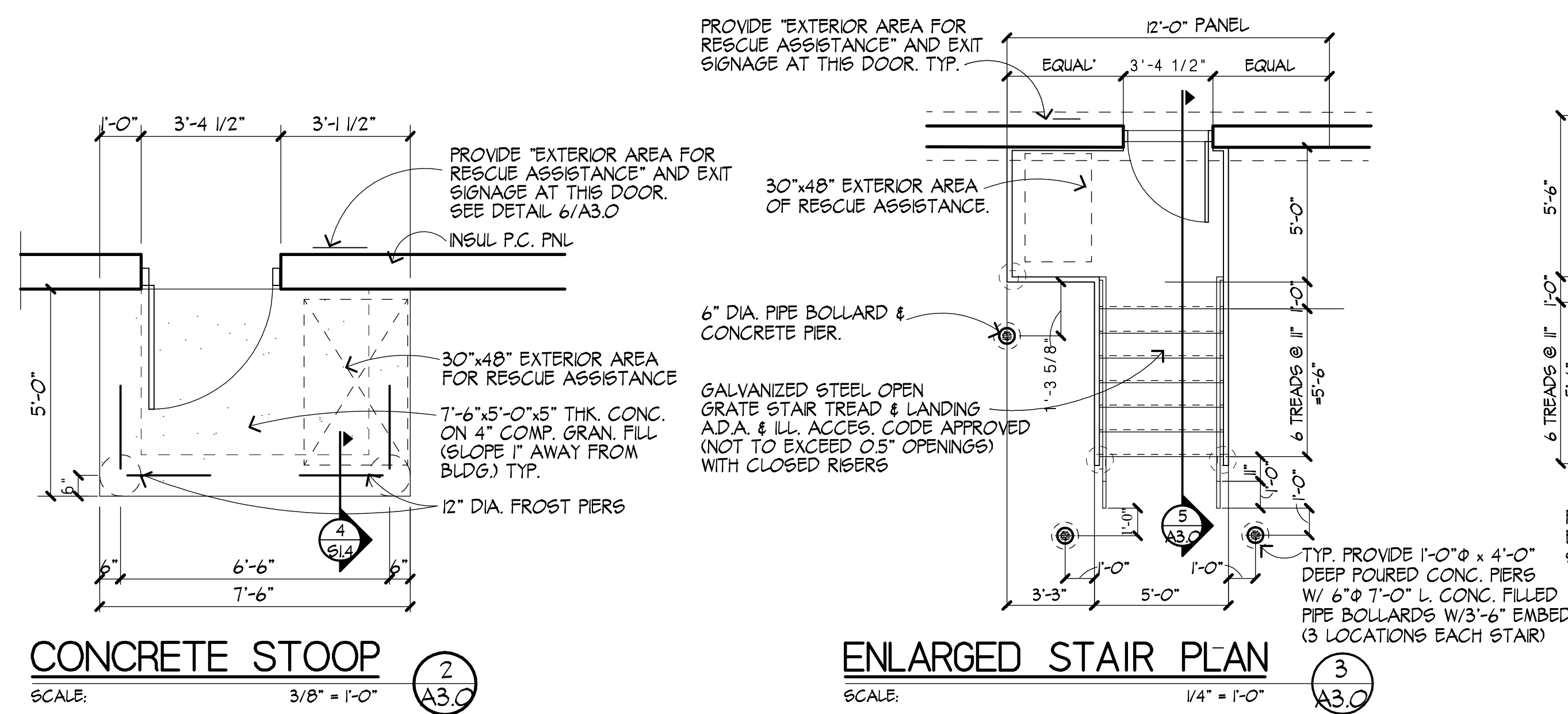
NORTH



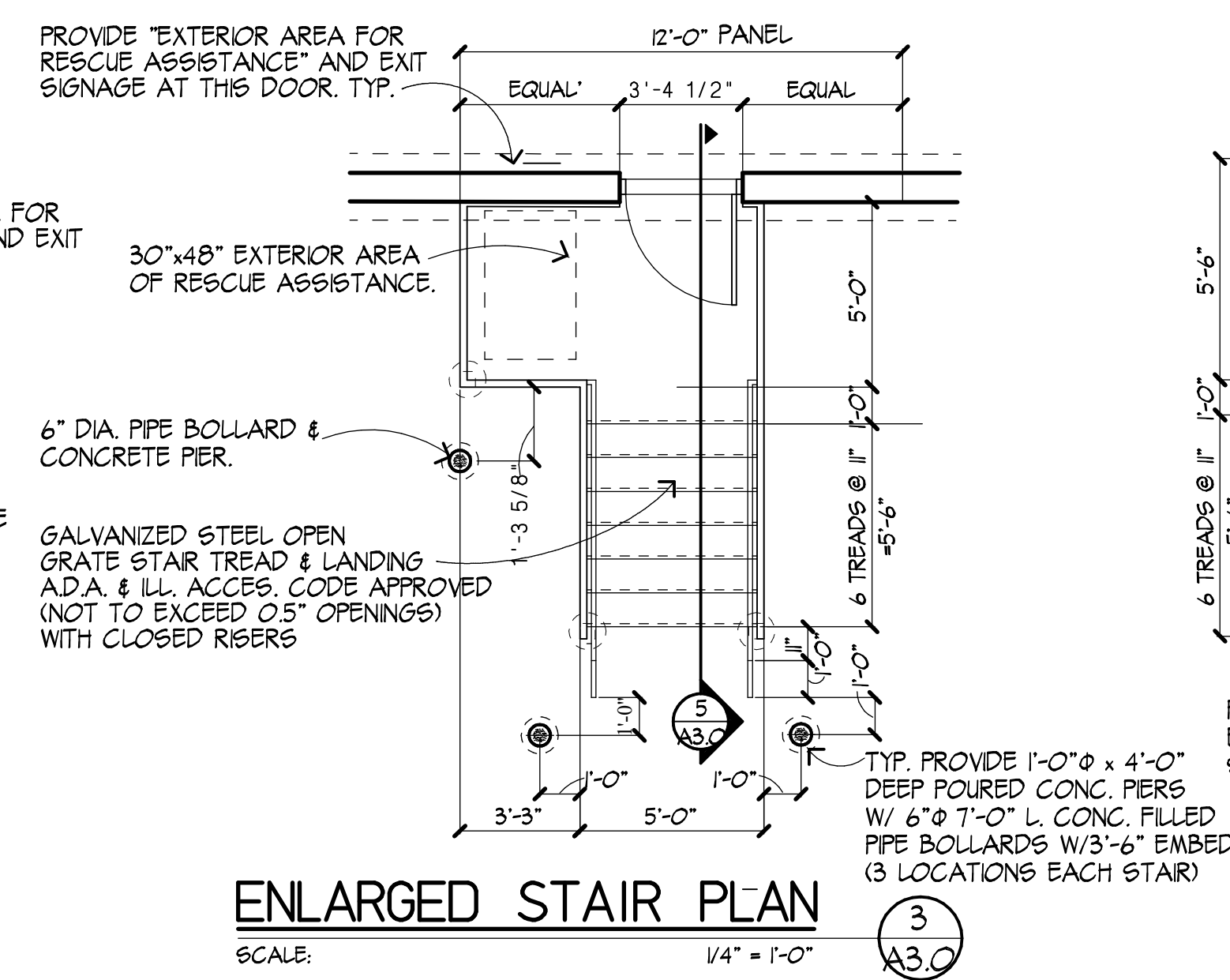




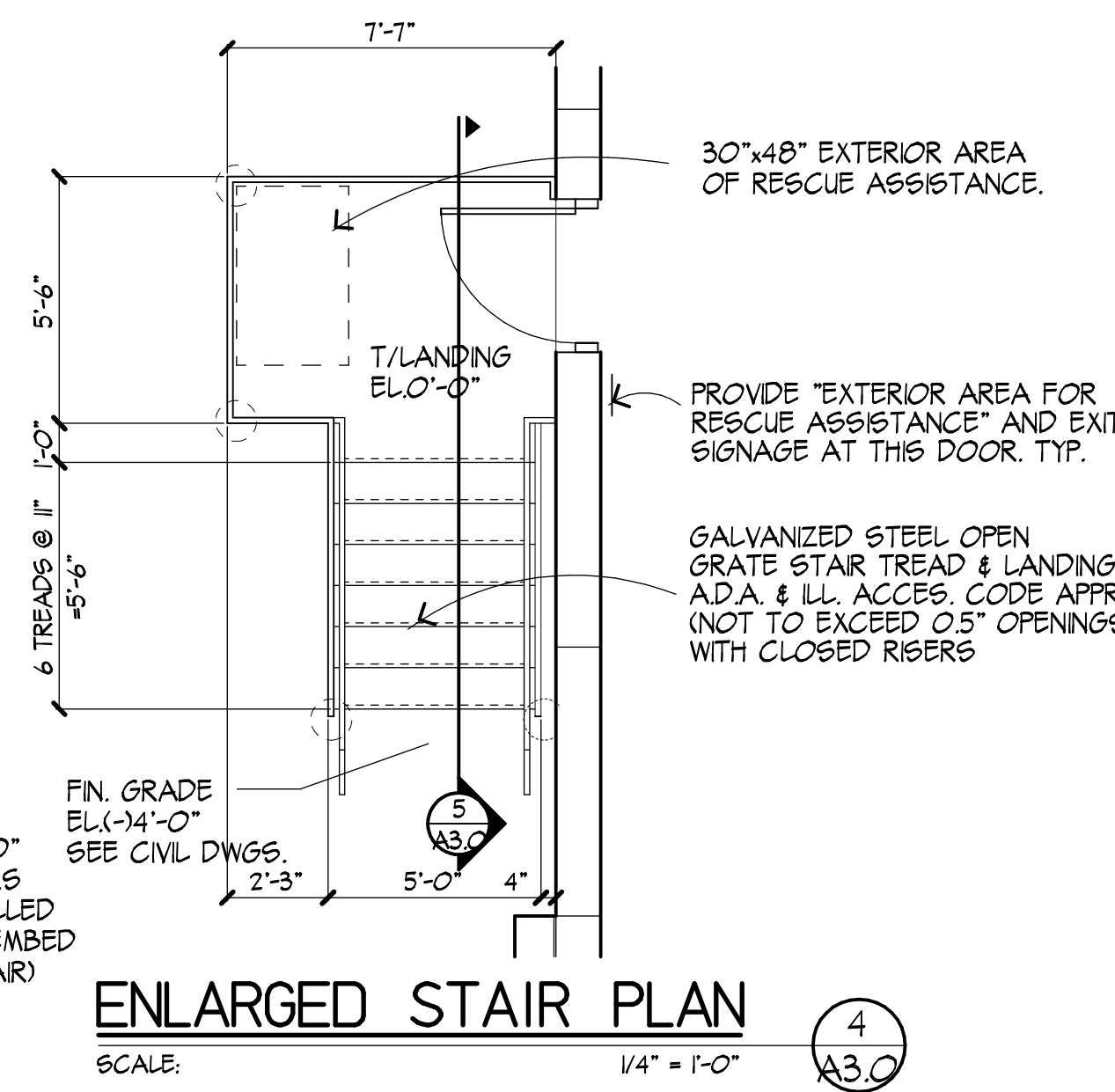
OVERALL FLOOR PLAN - EGRESS  
SCALE: 1/32" = 1'-0" A3.0



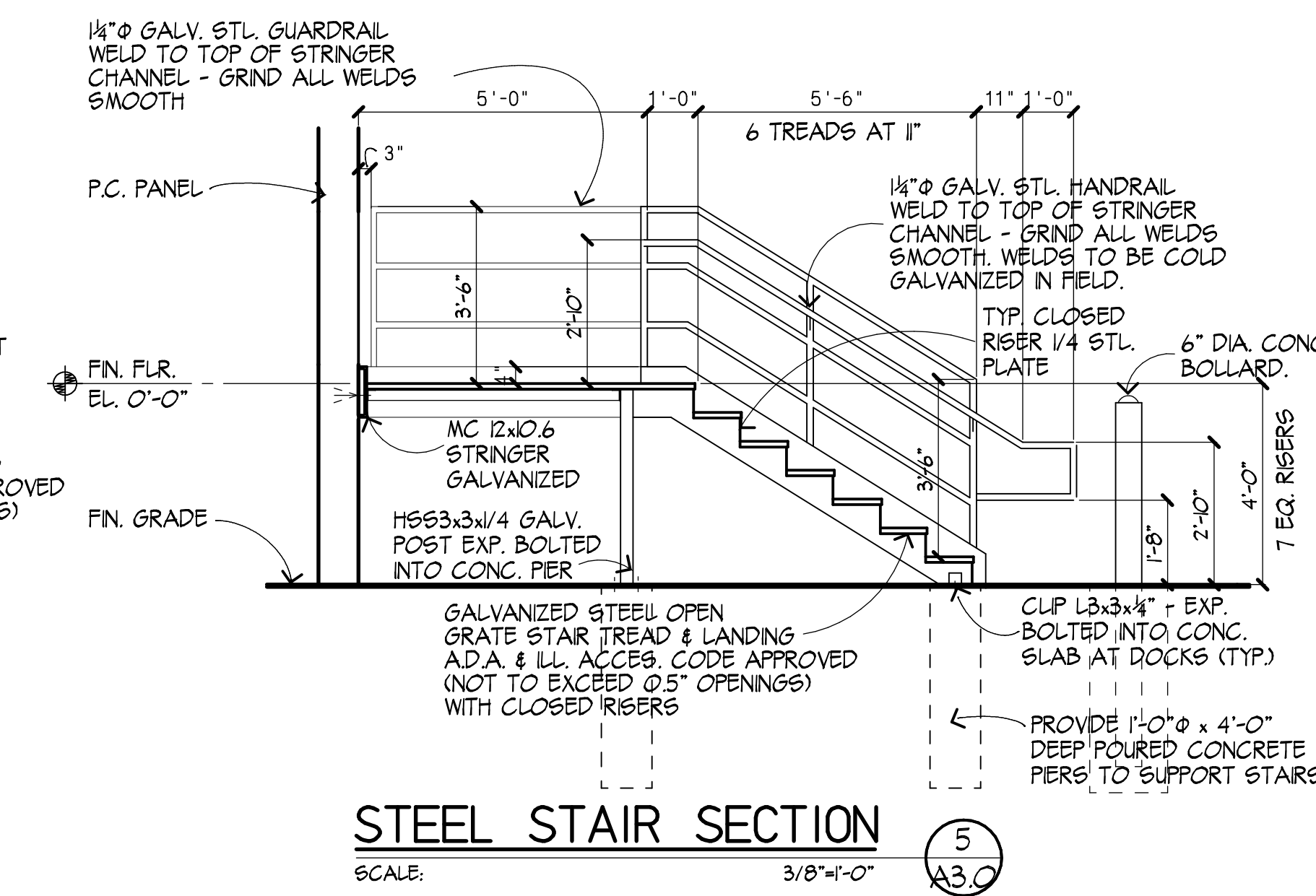
CONCRETE STOOP  
SCALE: 3/8" = 1'-0" A3.0



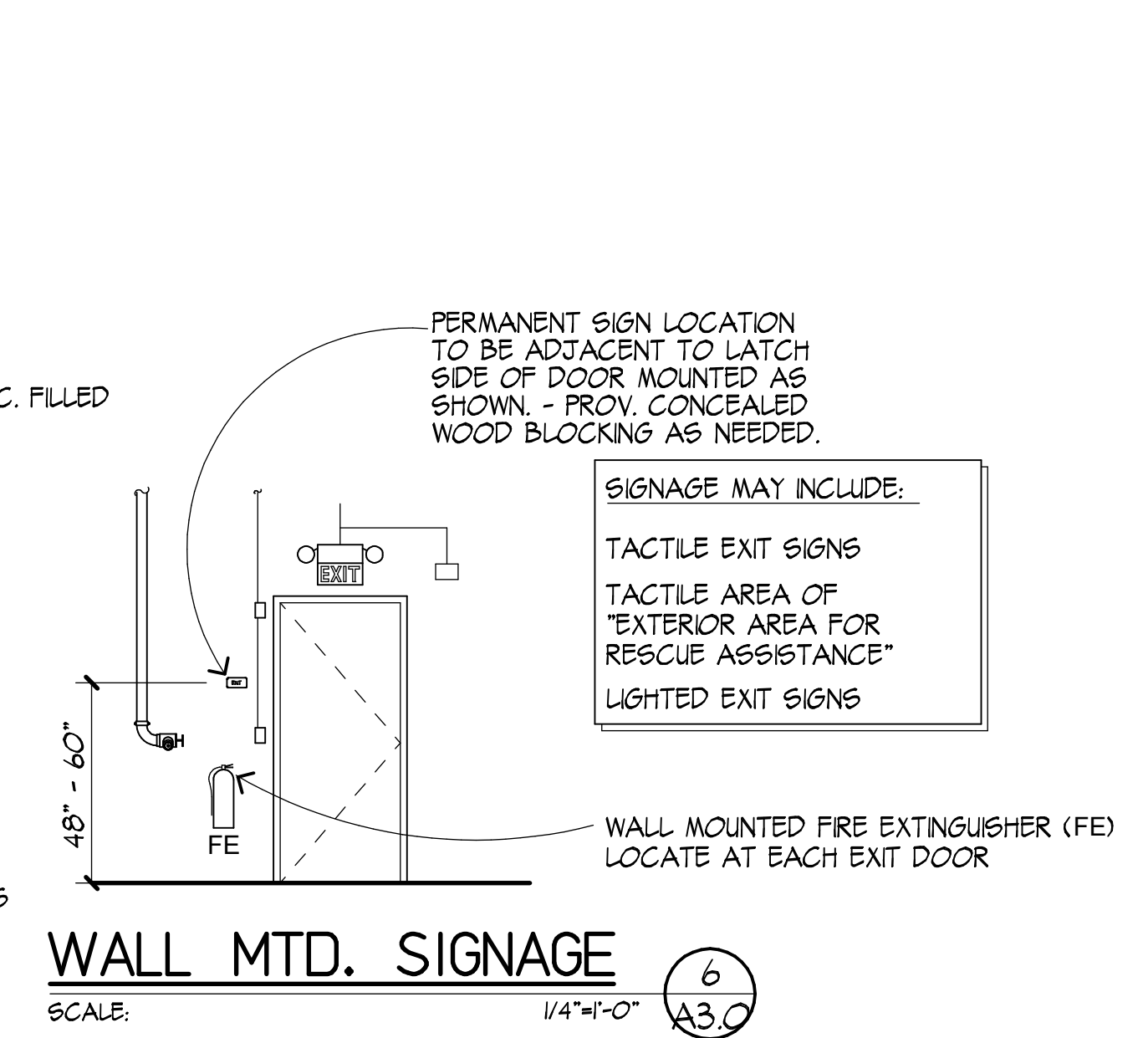
ENLARGED STAIR PLAN  
SCALE: 1/4" = 1'-0" A3.0



ENLARGED STAIR PLAN  
SCALE: 1/4" = 1'-0" A3.0

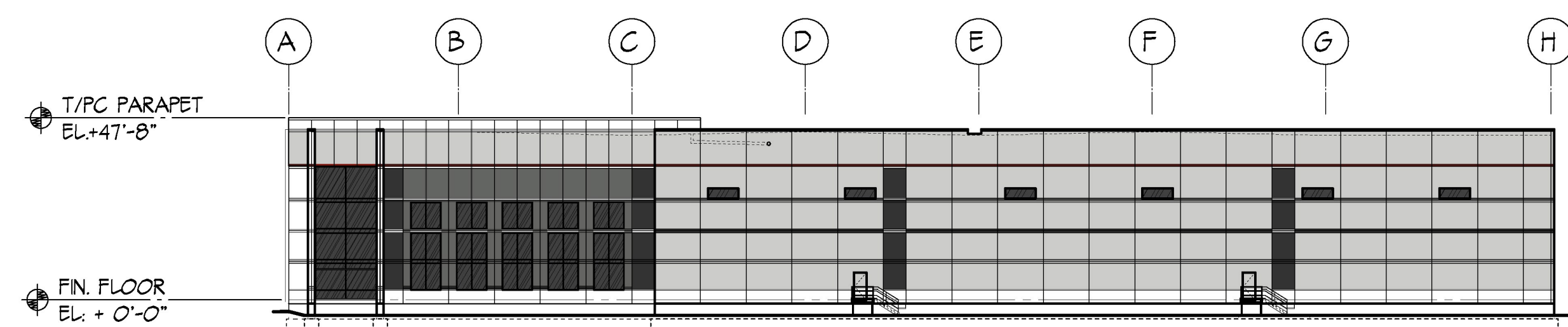


STEEL STAIR SECTION  
SCALE: 3/8" = 1'-0" A3.0

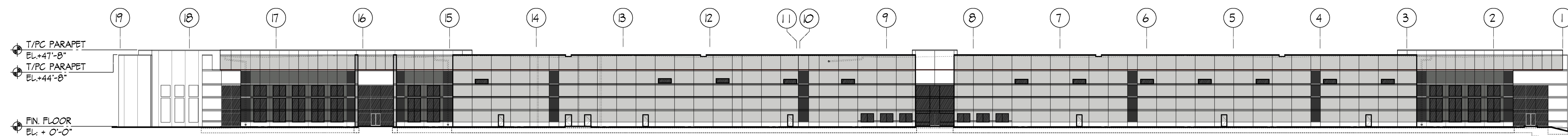


WALL MTD. SIGNAGE  
SCALE: 1/4" = 1'-0" A3.0

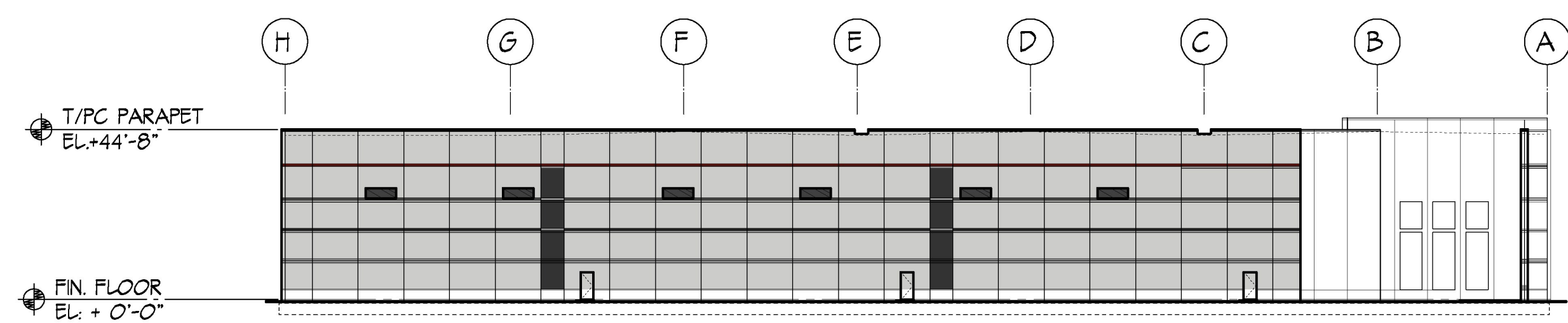




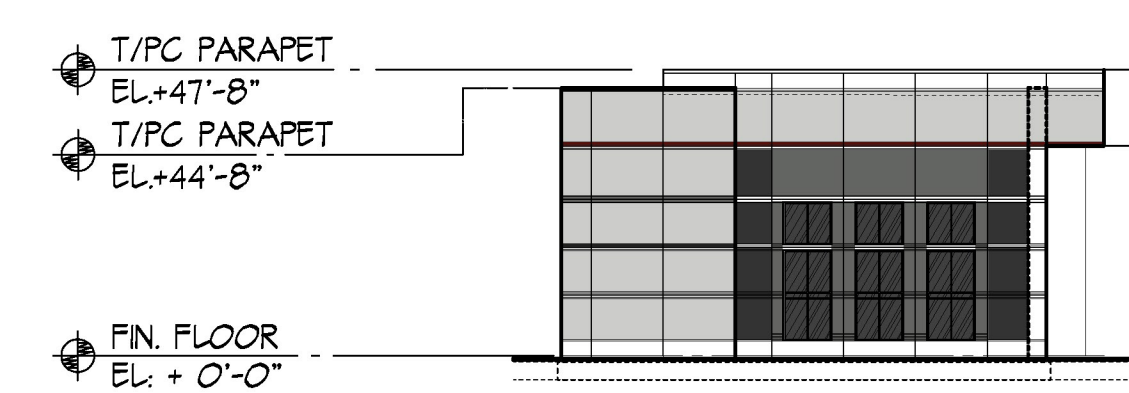
**NORTH ELEVATION**  
SCALE: 1/16" = 1'-0"



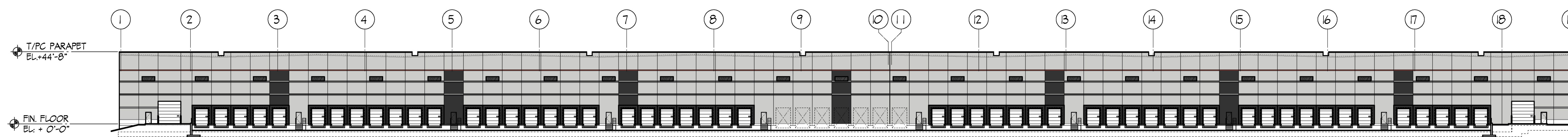
**EAST ELEVATION**  
SCALE: 1/32" = 1'-0"



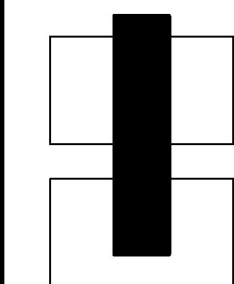
**SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"



**PARTIAL SOUTHEAST ELEVATION**  
SCALE: 1/16" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/32" = 1'-0"





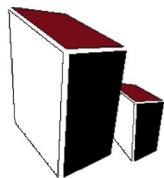


CONCEPTUAL PROTOTYPE RENDERING

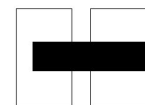
## MOHAWK TERRACE BUILDING A

BENSENVILLE, IL

05.25.2021



ML REALTY  
PARTNERS



HARRIS ARCHITECTS, INC.

[WWW.HARRISARCHITECTS.COM](http://WWW.HARRISARCHITECTS.COM)

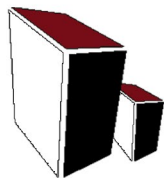
847.303.1155



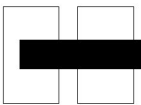


CONCEPTUAL PROTOTYPE RENDERING

**MOHAWK TERRACE BUILDING B**  
BENSENVILLE, IL  
05.25.2021



**ML REALTY**  
P A R T N E R S



**HARRIS ARCHITECTS, INC.**  
WWW.HARRISARCHITECTS.COM 847.303.1155



**Call  
Before  
You Dig**  
**JULIE**  
1-800-892-0123

# **BENCHMARKS**

SITE BENCHMARKS:  
(LOCATIONS SHOWN ON SURVEY)

DUPAGE COUNTY BENCHMARKS:

BENCHMARK C00 DUP83 3A  
SOUTH SIDE OF DEVON AVE, APPROXIMATELY 330 FEET WEST  
OF THE INTERSECTION OF SPRUCE AVE AND DEVON AVE  
ELEVATION=673.15 (NAVD 88)

BENCHMARK U 132 RESET  
LOCATED ON THE NORTHEAST SIDE OF A "T" INTERSECTION  
OF THORNDALE AV AND SIVERT DR.  
ELEVATION=703.19 (NAVD 88)



## UTILITY AND GOVERNING AGENCY CONTACTS

NATURAL GAS COMPANY  
NICOR GAS  
TEL: (847) 598-4011  
EMAIL: FSHAH@SOUTHERNCO.COM  
CONTACT: FORAM SHAH

POWER COMPANY  
COMED  
TEL: (866) 639-3532

TELEPHONE  
AT&T  
915 N. YORK ST.  
ELMHURST, IL 60126  
TEL: (331) 209-6685  
EMAIL: G11629@ATT.COM

COOK COUNTY DEPARTMENT OF TRANSPORTATION  
69 WEST WASHINGTON ST, 24TH FLOOR  
CHICAGO, IL 60602  
TEL: (312) 603-1601

CIVIL ENGINEER  
KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD RD, SUITE 600  
WARRENVILLE, IL 60555  
TEL: (630) 487-5550  
EMAIL: JAMIE.PUTNAM@KIMLEY-HORN.COM  
CONTACT: JAMIE PUTNAM, P.E.  
EMAIL: NATE.GROFF@KIMLEY-HORN.COM  
CONTACT: NATE GROFF, P.E.

LANDSCAPE ARCHITECT  
KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD RD, SUITE 600  
WARRENVILLE, IL 60555  
TEL: (630) 487-5550  
EMAIL: DANIEL.GROVE@KIMLEY-HORN.  
CONTACT: DANIEL GROVE, P.L.A.

SURVEYOR  
COMPASS SURVEYING, LTD.  
2631 GINGER WOODS PKWY, SUITE 100  
AURORA, ILLINOIS 60502  
TEL: (630) 820-9100  
CONTACT: CHRIS SALAZAR, P.L.S.


I, JAMES PUTNAM, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF ML REALTY BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

DATED THIS 28TH DAY OF MAY, A.D., 2021.

ILLINOIS LICENSED PROFESSIONAL ENGINEER 062-056317  
MY LICENSE EXPIRES ON NOVEMBER 30TH, 2021  
DESIGN FIRM REGISTRATION NUMBER: 184002012-0006



Date of Expiration: 11-30-21

<b>ML REALTY PARTNERS</b> <b>BENSENVILLE</b> <b>INDUSTRIAL PARK</b> IL-83 & DEVON AVENUE BENSENVILLE, IL 60106				<b>TITLE SHEET</b>		<b>Kimley»Horn</b> © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1000 WEST 10TH AVENUE SUITE 600 WARRENVILLE, IL 60555 PHONE: 630-497-5550 <a href="http://WWW.KIMLEY-HORN.COM">WWW.KIMLEY-HORN.COM</a>		SCALE: AS NOTED DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NJG		5/28/21 JWG DATE BY	
ORIGINAL ISSUE: 5/28/2021		KHA PROJECT NO. 168240005		SHEET NUMBER <b>C0.0</b>		ISSUED FOR BID REVISIONS		No.		5/28/21 JWG DATE BY	







**Call  
Before  
You Dig**  
**JULIE**  
1-800-892-0123

- SEE "CORPORATE PARK - PHASE 1 INFRASTRUCTURE"  
CIVIL PLANS FOR REFERENCED EXISTING CONDITIONS

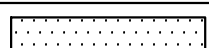

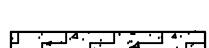
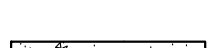
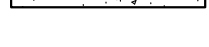
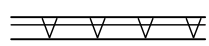



Drawing name: \\Kimley-horn.com\\VW\_CHS\\CHS\_LDEV\\168240005\_m\\realty\_bensenville\_ill\\2 Design\\CAD\\plansheets\\buildings 3 and 4\\C2.0 EXISTING CONDITIONS & DEMOLITION PLAN.dwg C2.0 May 28, 2021 12:34pm by Anna.Sampson



Drawing name: \\kimley-horn.com\WW\_CHE\CHS\DEVA\168240005\_m1\reel1\_bensenville\_1\2\_Design\CAD\plansheets\buildings 3 and 4\C3.0 SITE PLAN.dwg C3.0 May 28, 2021 12:34pm by Anna.Sampson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

## PAVING AND CURB LEGEND

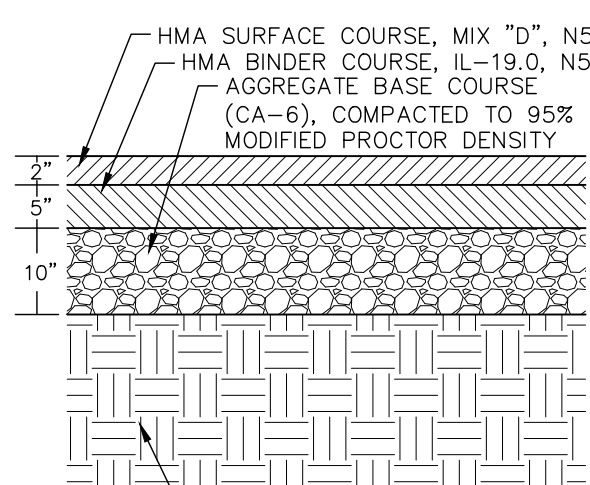
-  LIGHT DUTY ASPHALT PAVEMENT  
SEE THIS SHEET FOR PAVEMENT SECTION
-  HEAVY DUTY ASPHALT PAVEMENT  
SEE THIS SHEET FOR PAVEMENT SECTION
-  HEAVY DUTY TOP (ESALs1)  
SEE THIS SHEET FOR PAVEMENT SECTION
-  CONCRETE SIDEWALK  
SEE THIS SHEET FOR PAVEMENT SECTION
-  STANDARD PITCH CONCRETE CURB AND GUTTER
-  REVERSE PITCH CONCRETE CURB AND GUTTER
-  CONCRETE DEPRESSED CURB AND GUTTER

## FEMA NOTE

PER FLOOD INSURANCE RATE MAP PANEL NO. 17043C0079J, THE SITE IS LOCATED IN ZONE X, AREA OF MINIMAL FLOOD HAZARD.

## GENERAL NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
- RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

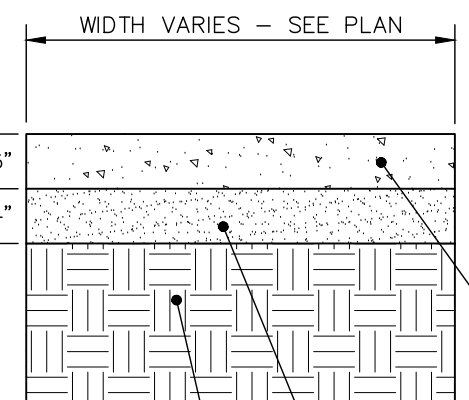


NOTE:  
SUBGRADE-SCARIFIED AND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY

- NOTE:
- PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY TESTING SERVICE CORPORATION DATED MARCH 31ST 2021. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.
  - SEE PAVING NOTES ON THE GENERAL NOTES SHEET FOR PRIME COAT AND TACK-COAT REQUIREMENTS.
  - EQUIVALENT SINGLE-AXLE LOAD TO BE CONFIRMED WITH CLIENT.

### HEAVY DUTY ASPHALT PAVEMENT SECTION N.T.S.

### CONCRETE SIDEWALK N.T.S.



AGGREGATE BASE COURSE (CA-6), COMPACTED TO 95% MODIFIED PROCTOR DENSITY

1/4" WIDE SAWCUT, 1" DEEP, 15' O.C. MAX.

P.C. CONCRETE PAVEMENT

CONSTRUCTION JOINT

PNA DIAMOND DOWELS @ 6' O.C.

COMPACTED SUB-GRADE OR TRENCH BACKFILL TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY

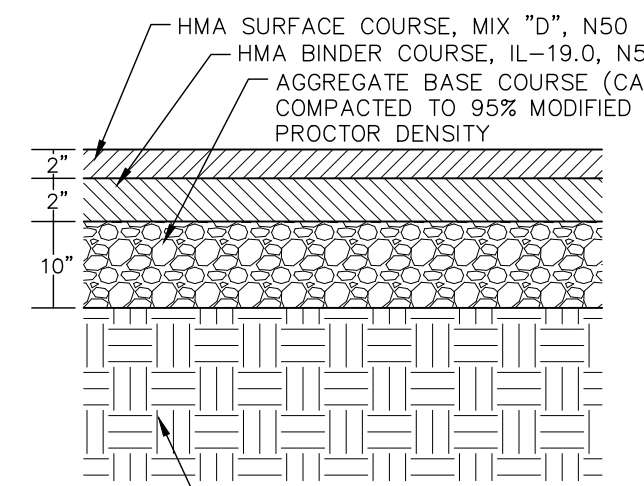
AGGREGATE BASE COURSE (CA-6), COMPACTED TO 95% MODIFIED PROCTOR DENSITY

#### NOTES:

- SUBGRADE PREP DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY TESTING SERVICE CORPORATION DATED MARCH 31ST 2021. REFER TO REPORT FOR ALL INFORMATION RELATED TO SUBGRADE PREP.
- PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM PNA, INC. ON APRIL 9TH, 2021. REFER TO RECOMMENDATION FOR ALL INFORMATION RELATED TO PAVING.
- 28-DAY COMPRESSIVE STRENGTH  $FC=4000$  PSI WAS ASSUMED, WHICH TRANSLATES TO  $MOR=570$  PSI FOR DESIGN. THE CONVERSION WAS BASED ON THE CORRELATION BETWEEN COMPRESSIVE STRENGTH AND FLEXURAL STRENGTH FOR CONCRETE AND A CONSERVATIVE ASSUMPTION OF THE COEFFICIENT ( $C=9$ ) FOR CONCRETE MADE WITH ROUGH-TEXTURED, ANGULAR-SHAPED AND TYPICALLY CRUSHED AGGREGATES.
- 4.0LBS/YD<sup>3</sup> FORTA FERRO FIBER
- AN ULTIMATE DRYING SHRINKAGE OF 650 MILLIONTHS ASSUMED FOR TYPICAL CONCRETE MIX PLACED ON A DRY BASE MATERIAL, PER DEFINITION OF A3 360R-10
- EDGE SUPPORT ASSUMED TO BE EITHER CURB OR THICKENED EDGE
- NO DOWELS AT CONTRACTION JOINTS, PNA DIAMOND DOWELS REQUIRED AT CONSTRUCTION JOINTS.
- THIN SAW BLADE, WITH NO JOINT SEALANT RECOMMENDED.

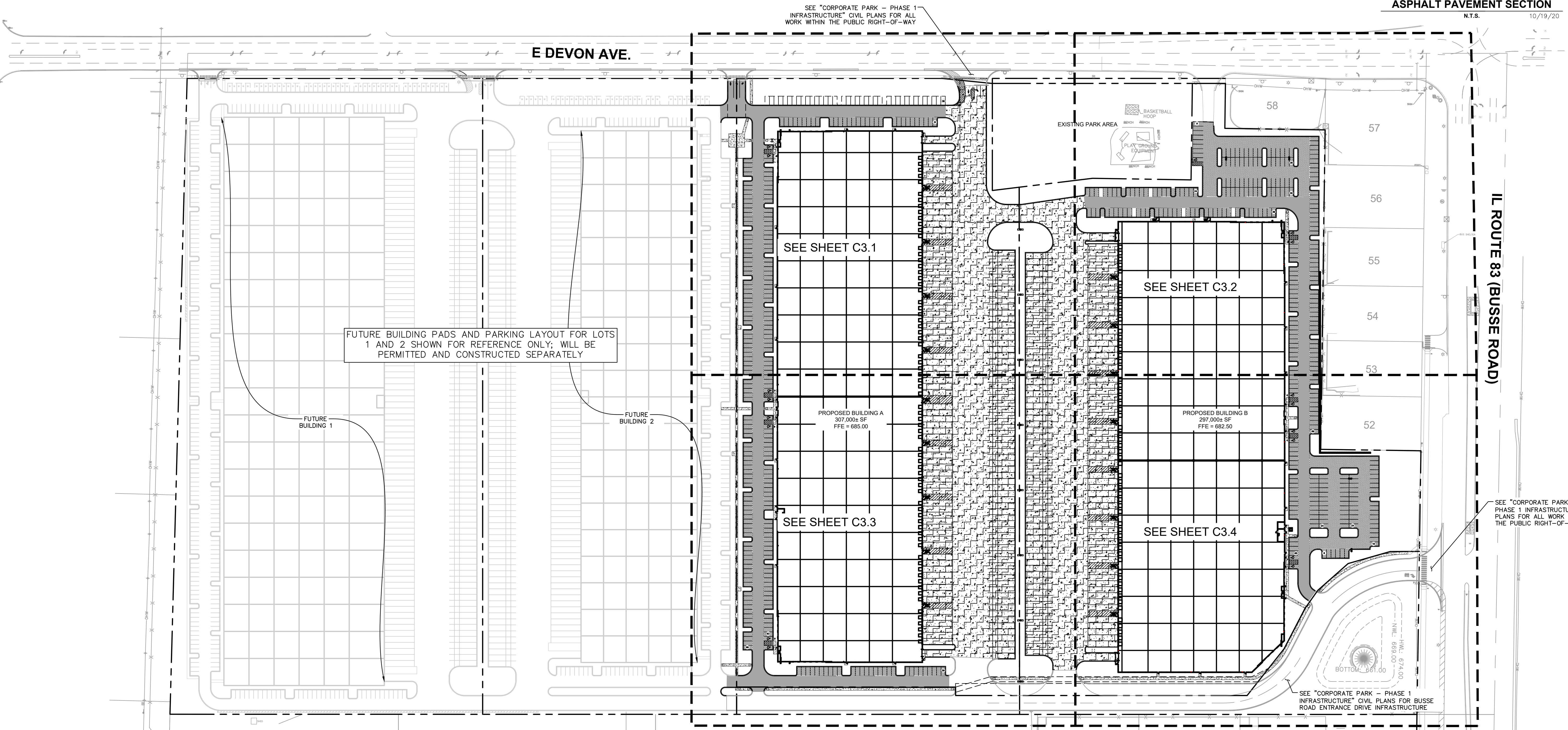
### HEAVY DUTY T.C.P. ESALs1 N.T.S.

### LIGHT DUTY ASPHALT PAVEMENT SECTION N.T.S.



#### NOTE:

- PAVEMENT THICKNESS, SUBGRADE PREP, ETC. DETERMINED FROM GEOTECHNICAL REPORT PERFORMED BY TESTING SERVICE CORPORATION DATED MARCH 31ST 2021. REFER TO REPORT FOR ALL INFORMATION RELATED TO PAVING.



## BUILDING A PARKING SUMMARY

PARKING SPACES PROVIDED	= 242 SPACES
FUTURE SPACES ANTICIPATED	= 38 SPACES
ADA STALLS REQUIRED	= 7 SPACES
ADA STALLS PROVIDED	= 8 SPACES
TOTAL PARKING SPACES PROVIDED	= 250 SPACES
DOCK TRAILER SPACES PROVIDED	= 72 SPACES
TRAILER PARKING SPACES PROVIDED	= 67 SPACES

## BUILDING B PARKING SUMMARY

PARKING SPACES PROVIDED	= 313 SPACES
FUTURE SPACES ANTICIPATED	= 0 SPACES
ADA STALLS REQUIRED	= 8 SPACES
ADA STALLS PROVIDED	= 8 SPACES
TOTAL PARKING SPACES PROVIDED	= 321 SPACES
DOCK TRAILER SPACES PROVIDED	= 59 SPACES
TRAILER PARKING SPACES PROVIDED	= 67 SPACES

SCALE:  
AS NOTED

DESIGNED BY: JWG

DRAWN BY: AES

CHECKED BY: NUG

ML REALTY PARTNERS

OVERALL SITE LAYOUT AND PAVING PLAN

ML REALTY PARTNERS  
BENSENVILLE INDUSTRIAL PARK  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

ORIGINAL ISSUE:

5/28/2021

KHA PROJECT NO.

168240005

SHEET NUMBER

C3.0

Kimley»Horn  
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600  
BENSENVILLE, IL 60106  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

ISSUED FOR BID

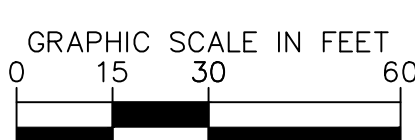
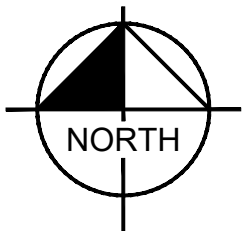
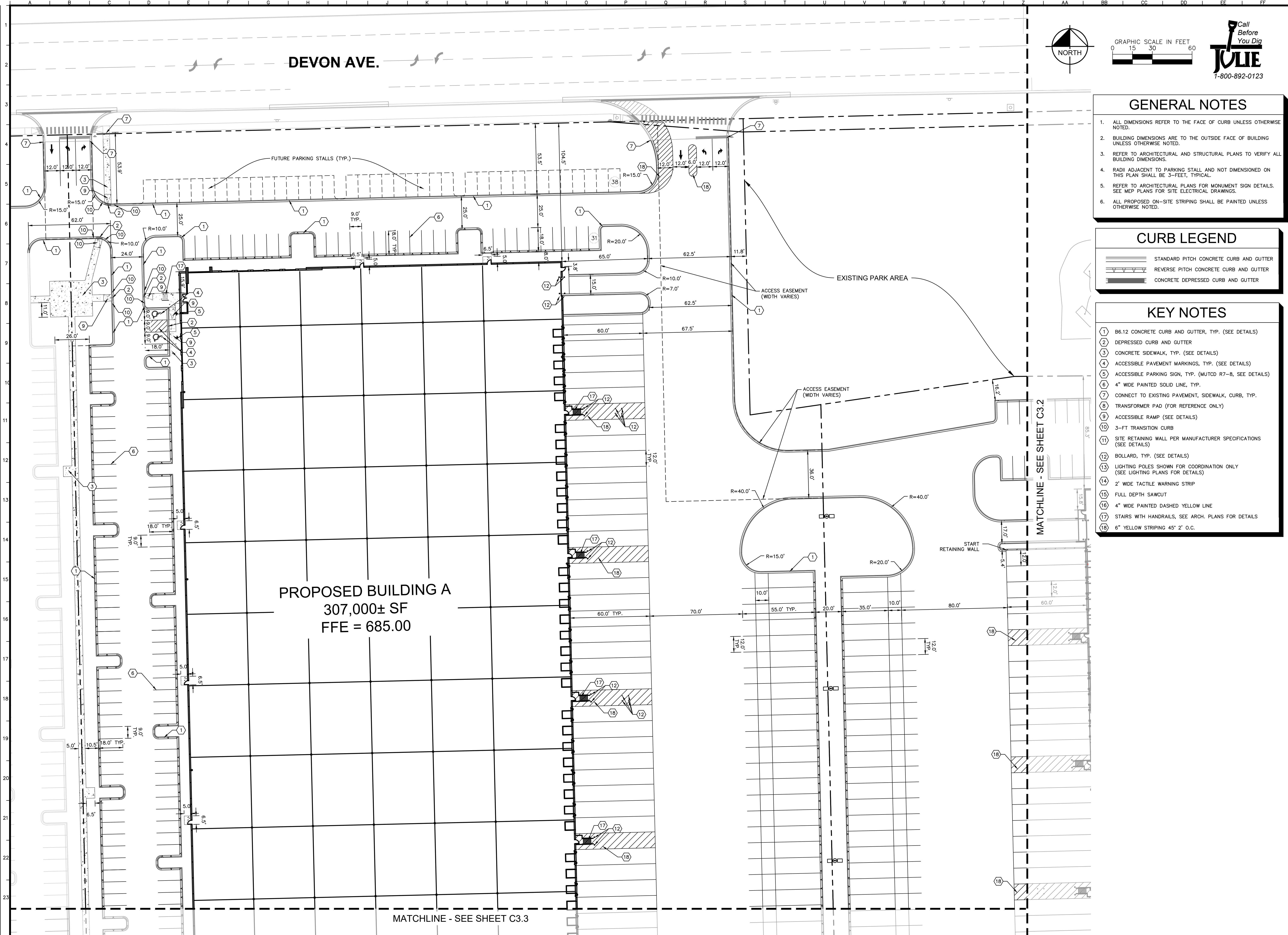
5/28/21


DATE

BY



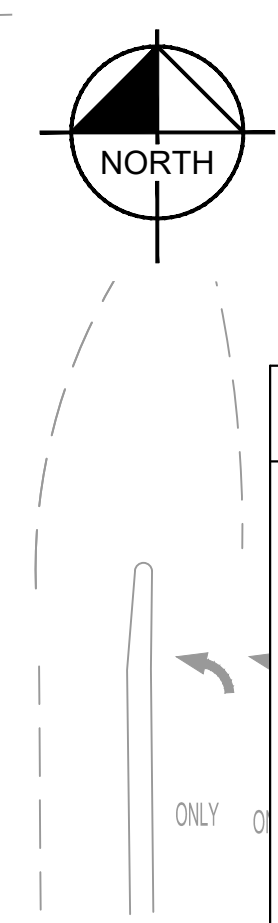
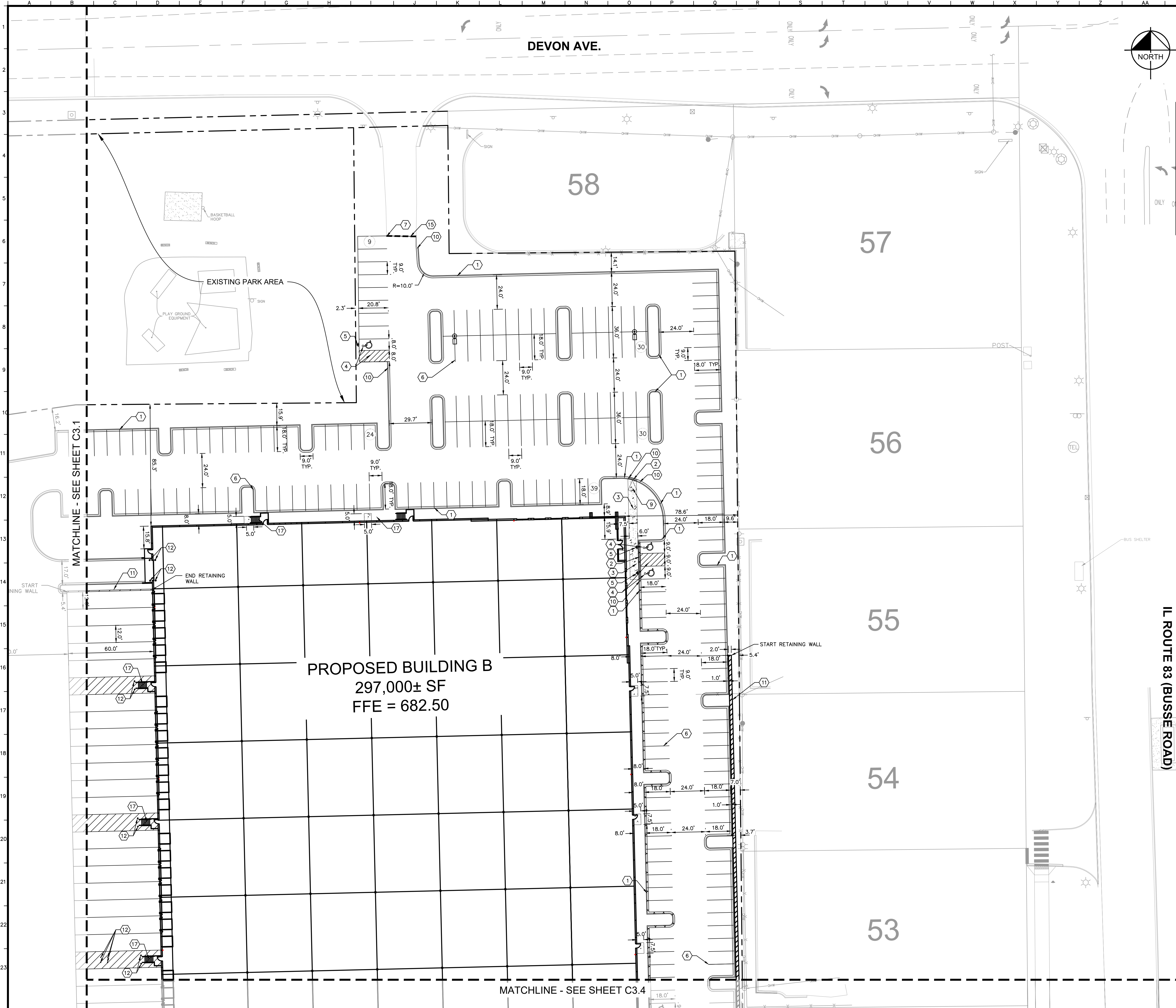
Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240005\_m\\rety\_bensenville\\2\_Design\\CAD\\plansheets\\buildings 3 and 4\\C3.0 SITE PLAN.dwg C3.1 May 28, 2021 12:34pm by Anna Sampson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.




ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		SITE PLAN - NORTHWEST	 ML REALTY PARTNERS	SCALE: AS NOTED	DESIGNED BY: JWG  DRAWN BY: AES  CHECKED BY: NUG	Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINTER ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
---	--	--------------------------	---	-----------------	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--



Drawing name: [W:\Kirmey-Horn.com\DEV\18240005\18240005-1\A130 SITE PLAN.dwg](#)  
 Drawing date: May 28, 2021 12:34pm  
 User: Anna-Sampson  
 Project: [C32](#)  
 Description: [Re-use of and improper reliance on this document without written authorization and adaptation by Kirmey-Horn and Associates, Inc. shall be without liability to Kirmey-Horn and Associates, Inc.](#)



GRAPHIC SCALE IN FEET




0 15 30 60



## GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

## CURB LEGEND

- |   |   |
|---|---|
|  | STANDARD PITCH CONCRETE CURB AND GUTTER |
|  | REVERSE PITCH CONCRETE CURB AND GUTTER  |
|  | CONCRETE DEPRESSED CURB AND GUTTER      |

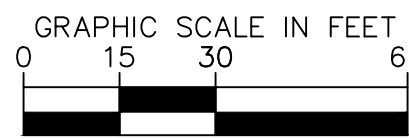
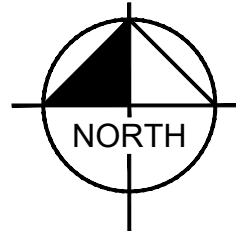
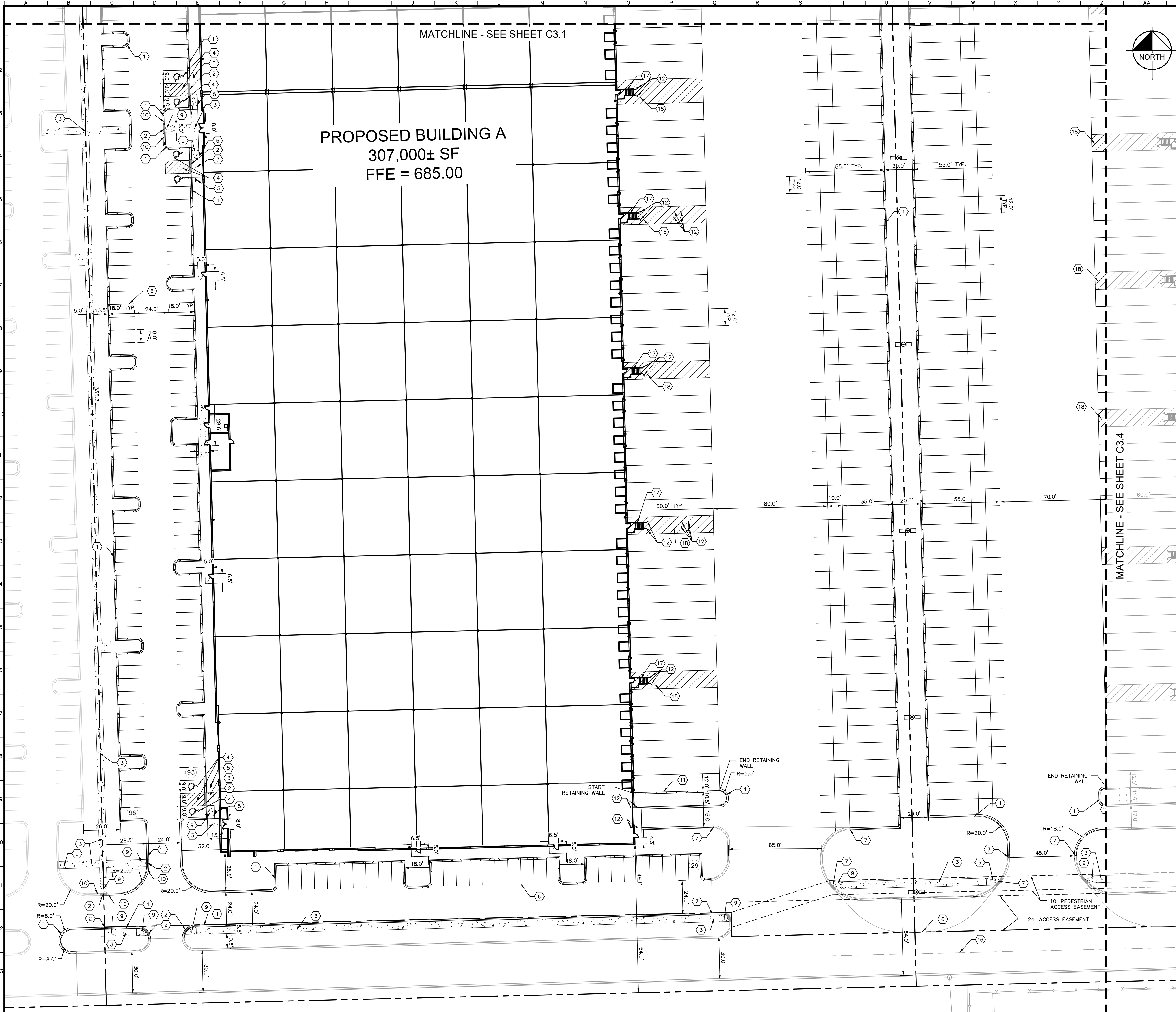
## KEY NOTES

- ① B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- ② DEPRESSED CURB AND GUTTER
- ③ CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- ④ ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ⑤ ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- ⑥ 4" WIDE PAINTED SOLID LINE, TYP.
- ⑦ CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- ⑧ TRANSFORMER PAD (FOR REFERENCE ONLY)
- ⑨ ACCESSIBLE RAMP (SEE DETAILS)
- ⑩ 3-FT TRANSITION CURB
- ⑪ SITE RETAINING WALL PER MANUFACTURER SPECIFICATIONS (SEE DETAILS)
- ⑫ BOLLARD, TYP. (SEE DETAILS)
- ⑬ LIGHTING POLES SHOWN FOR COORDINATION ONLY (SEE LIGHTING PLANS FOR DETAILS)
- ⑭ 2' WIDE TACTILE WARNING STRIP
- ⑮ FULL DEPTH SAWCUT
- ⑯ 4" WIDE PAINTED DASHED YELLOW LINE
- ⑰ STAIRS WITH HANDRAILS, SEE ARCH. PLANS FOR DETAILS
- ⑱ 6" YELLOW STRIPING 45° 2' O.C.

[illegible][illegible]



Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\168240005\_m\\res\\bensenville\\V2\_Design\\CAD\\plansheets\\buildings 3 and 4\\C3.0 SITE PLAN.dwg C3.3 May 28, 2021 12:34pm by Anna.Sampson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

### CURB LEGEND

- STANDARD PITCH CONCRETE CURB AND GUTTER
- REVERSE PITCH CONCRETE CURB AND GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER

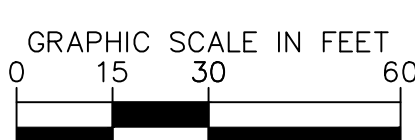
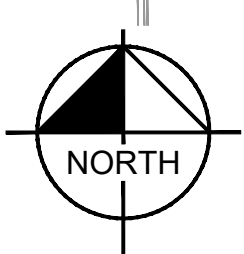
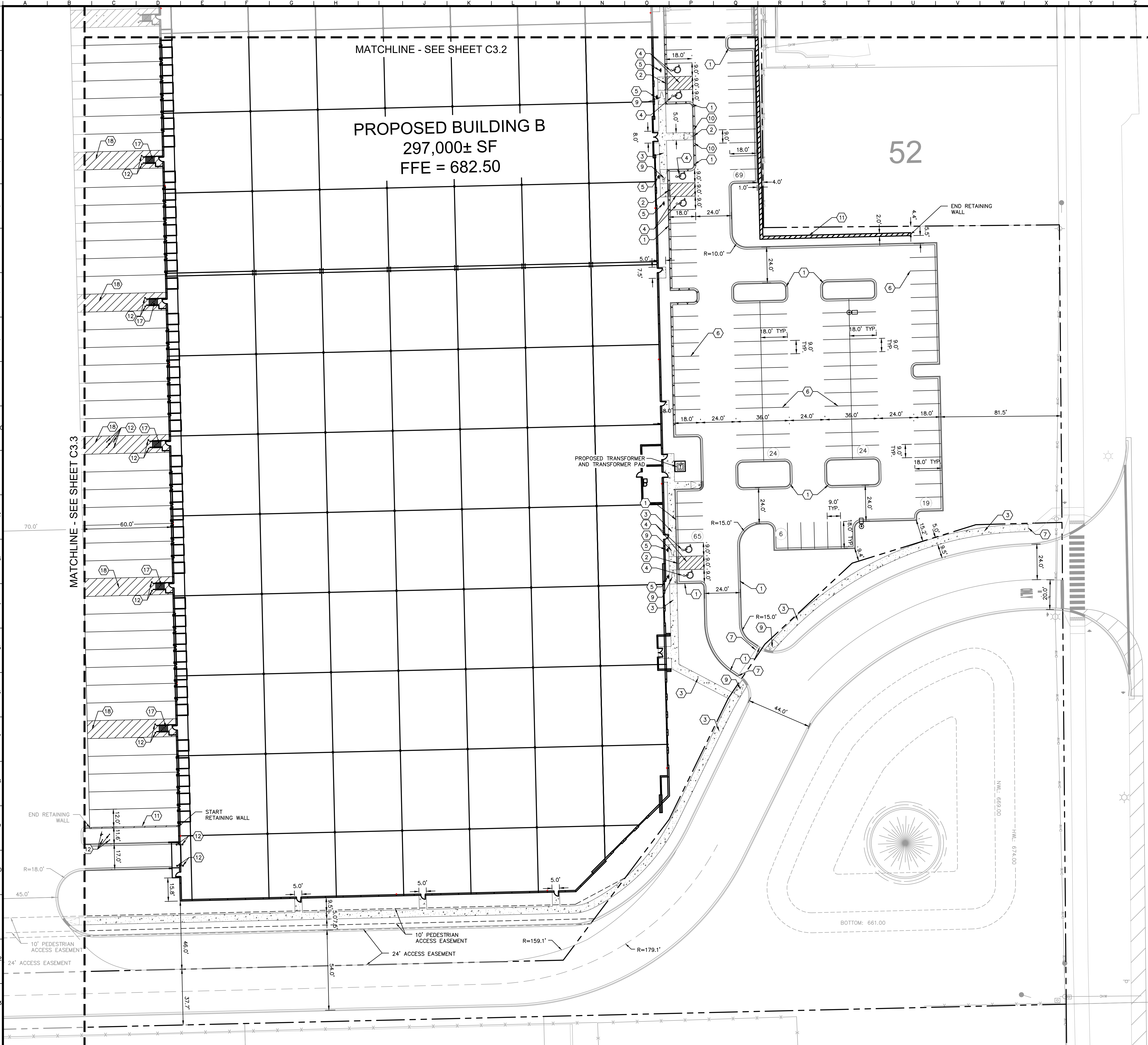
### KEY NOTES

- 1 B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 DEPRESSED CURB AND GUTTER
- 3 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 4 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 5 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 6 4" WIDE PAINTED SOLID LINE, TYP.
- 7 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 8 TRANSFORMER PAD (FOR REFERENCE ONLY)
- 9 ACCESSIBLE RAMP (SEE DETAILS)
- 10 3-FT TRANSITION CURB
- 11 SITE RETAINING WALL PER MANUFACTURER SPECIFICATIONS (SEE DETAILS)
- 12 BOLLARD, TYP. (SEE DETAILS)
- 13 LIGHTING POLES SHOWN FOR COORDINATION ONLY (SEE LIGHTING PLANS FOR DETAILS)
- 14 2' WIDE TACTILE WARNING STRIP
- 15 FULL DEPTH SAWCUT
- 16 4" WIDE PAINTED DASHED YELLOW LINE
- 17 STAIRS WITH HANDRAILS, SEE ARCH. PLANS FOR DETAILS
- 18 6" YELLOW STRIPING 45' 2' O.C.

ML REALTY PARTNERS		BENSENVILLE		INDUSTRIAL PARK		ORIGINAL ISSUE:	
SOUTHWEST		SOUTHWEST		SOUTHWEST		5/28/2021	
SOUTHWEST		SOUTHWEST		SOUTHWEST		KHA PROJECT NO.	
SOUTHWEST		SOUTHWEST		SOUTHWEST		168240005	
SOUTHWEST		SOUTHWEST		SOUTHWEST		SHEET NUMBER	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		SOUTHWEST		C3.3	
SOUTHWEST		SOUTHWEST		S			



Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240005\_m\\res\\bensenville\\V2\_Design\\CAD\\plansheets\\buildings 3 and 4\\C3.0 SITE PLAN.dwg C3.4 May 28, 2021 12:34pm by Anna Sampson  
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



### GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

### CURB LEGEND

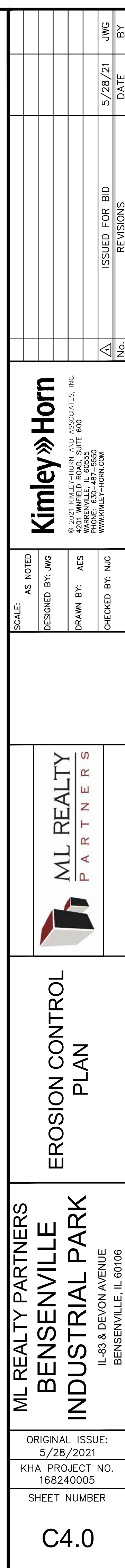
- STANDARD PITCH CONCRETE CURB AND GUTTER
- REVERSE PITCH CONCRETE CURB AND GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER

### KEY NOTES

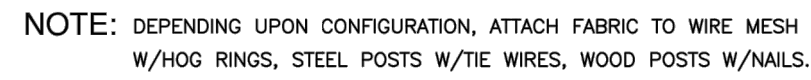
- 1 B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS)
- 2 DEPRESSED CURB AND GUTTER
- 3 CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- 4 ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- 5 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8, SEE DETAILS)
- 6 4" WIDE PAINTED SOLID LINE, TYP.
- 7 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 8 TRANSFORMER PAD (FOR REFERENCE ONLY)
- 9 ACCESSIBLE RAMP (SEE DETAILS)
- 10 3-FT TRANSITION CURB
- 11 SITE RETAINING WALL PER MANUFACTURER SPECIFICATIONS (SEE DETAILS)
- 12 BOLLARD, TYP. (SEE DETAILS)
- 13 LIGHTING POLES SHOWN FOR COORDINATION ONLY (SEE LIGHTING PLANS FOR DETAILS)
- 14 2' WIDE TACTILE WARNING STRIP
- 15 FULL DEPTH SAWCUT
- 16 4" WIDE PAINTED DASHED YELLOW LINE
- 17 STAIRS WITH HANDRAILS, SEE ARCH. PLANS FOR DETAILS
- 18 6" YELLOW STRIPING 45' 2' O.C.

ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		SHEET NUMBER <b>C3.4</b>	
ORIGINAL ISSUE: 5/28/2021 KHA PROJECT NO. 168240005		DATE 5/28/21 JWG	
SITING PLAN - SOUTHEAST		REVISIONS No.	
ML REALTY PARTNERS		DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NUG	
Kimley»Horn		SCALE: AS NOTED	
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		BY	

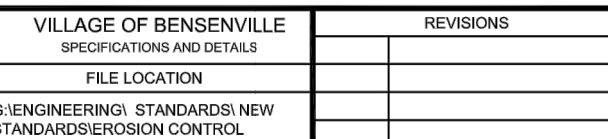








VILLAGE OF BENSENVILLE	REVISIONS	
SPECIFICATIONS AND DETAILS		
FILE LOCATION		
ENGINEERING/STANDARDS/NEW STANDARDS/EROSION CONTROL		



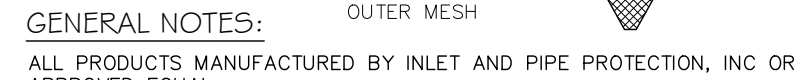
N.T.S. Sf



A	KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE	C	SPRING OATS 100 LBS/ACRE	*	WATERING NEEDED DURING JUNE AND JULY
		D	WHEAT OR CEREAL RYE 150 LBS/ACRE	**	WATERING NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD
B	KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + 2 TONS STRAW MULCH/ACRE	E	SOD		
		F	STRAW MULCH 2 TONS/ACRE		

- NOTES:
1. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  2. FOLLOW EROSION CONTROL TECHNOLOGY COUNCIL SPECIFICATION FOR PRODUCT SELECTION.
  3. PVIOUS LAND WITH SLOPES RUNNING GREATER THAN OR EQUAL TO 4:1 SHALL CONTAIN SLOPE STABILIZATION BLANKET

N.T.S.



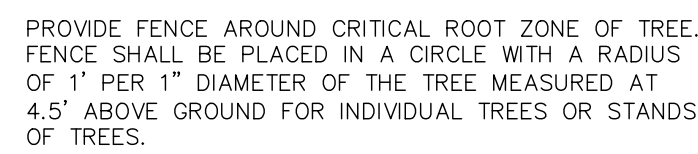
NOTE: INLET FILTERS ARE SLIGHTLY SMALLER THAN THE INLET GRATE SIZES. WHEN IDENTIFYING OR SPECIFYING FILTERS/CASTINGS PLEASE REFER TO THE DIAMETER "D" OR WIDTH "W" AND HEIGHT "H" OF FILTER FRAMES OR CASTING GRATES. YOU MAY ALSO REFER TO OUR CASTING CROSS REFERENCE GUIDE FOR IDOT STANDARDS

IDOT TYPE 1 ROUND INLET FILTER DEPICTED

NOTE: ROUND AND SQUARE INLET FILTERS AVAILABLE FOR MOST NEENAH AND EAST JORDAN BEEHIVE, ROLL CURB AND CURB BOX FRAME TYPES

ALL IPP INLET FILTERS TO CONFORM TO IDOT SPECIFICATIONS AS  
OUTLINED IN ARTICLE 1081.15 OF IDOT'S STANDARD SPECIFICATIONS GUIDE.

N.T.S. (IP)



N.T.S.





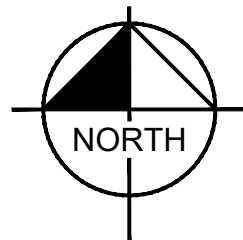
Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240000\_m\\redl\_bensenville\_1\\2\_Design\\CAD\\plansheets\\buildings 3 and 4\\C5.0 GRADING PLAN.dwg, C5.0 May 28, 2021 12:35pm by Anna Sampson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document, without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

### GRADING NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
2. ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO FLOW LINE ELEVATIONS UNLESS OTHERWISE NOTED.
3. ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
4. NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
5. MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
6. MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES.
7. WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
8. MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.

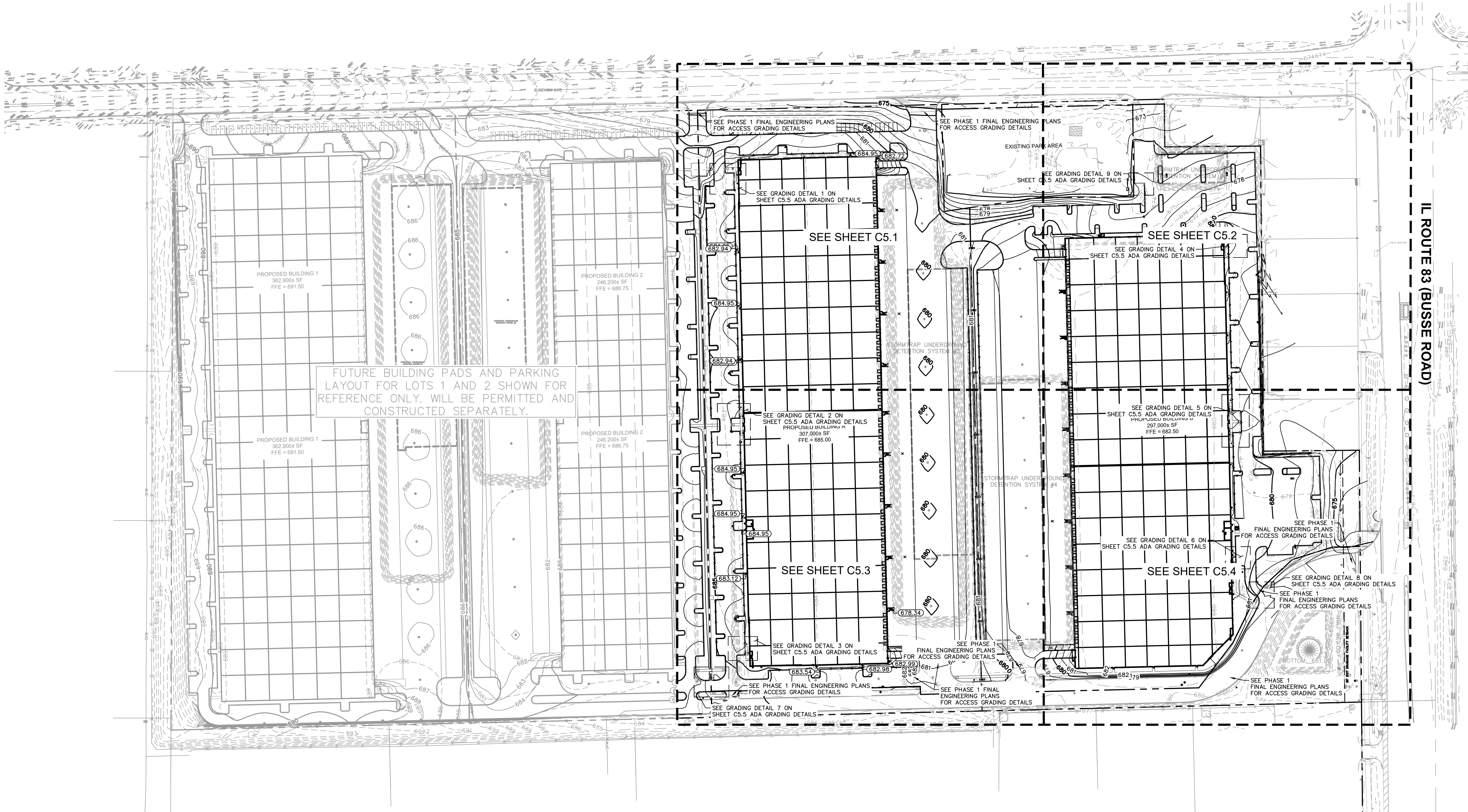
### GRADING LEGEND

- |                        |              |  |
|------------------------|--------------|--|
| TP = TOP OF PAVEMENT   | ---XXX---    | PROPOSED CONTOUR   |
| EP = EDGE OF PAVEMENT  | - - - - -    | EXISTING CONTOUR   |
| FL = FLOW LINE         | <b>RIDGE</b> | RIDGE LINE   |
| TC = TOP OF CURB       | X.XX%        | SLOPE AND FLOW DIRECTION                                   |
| ME = MATCH ELEVATION   | ←            | 100-YEAR OVERLAND OVERFLOW ROUTE                           |
| TF = TOP OF FOUNDATION | ↖            | DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE |
| R = RIM ELEVATION      | ---<---      | PROPOSED SWALE   |
| TW = TOP OF WALL       | =====        | PROPOSED RETAINING WALL                                    |
| FG = FINISHED GRADE    | =====        | REVERSED PITCH CURB AND GUTTER                             |
| TS = TOP OF STAIRS     | ---AR---     | ACCESSIBLE ROUTE   |
| BS = BOTTOM OF STAIRS  | =====        | RIP RAP (SEE DETAILS)                                      |



GRAPHIC SCALE IN FEET  
0 50 100 200

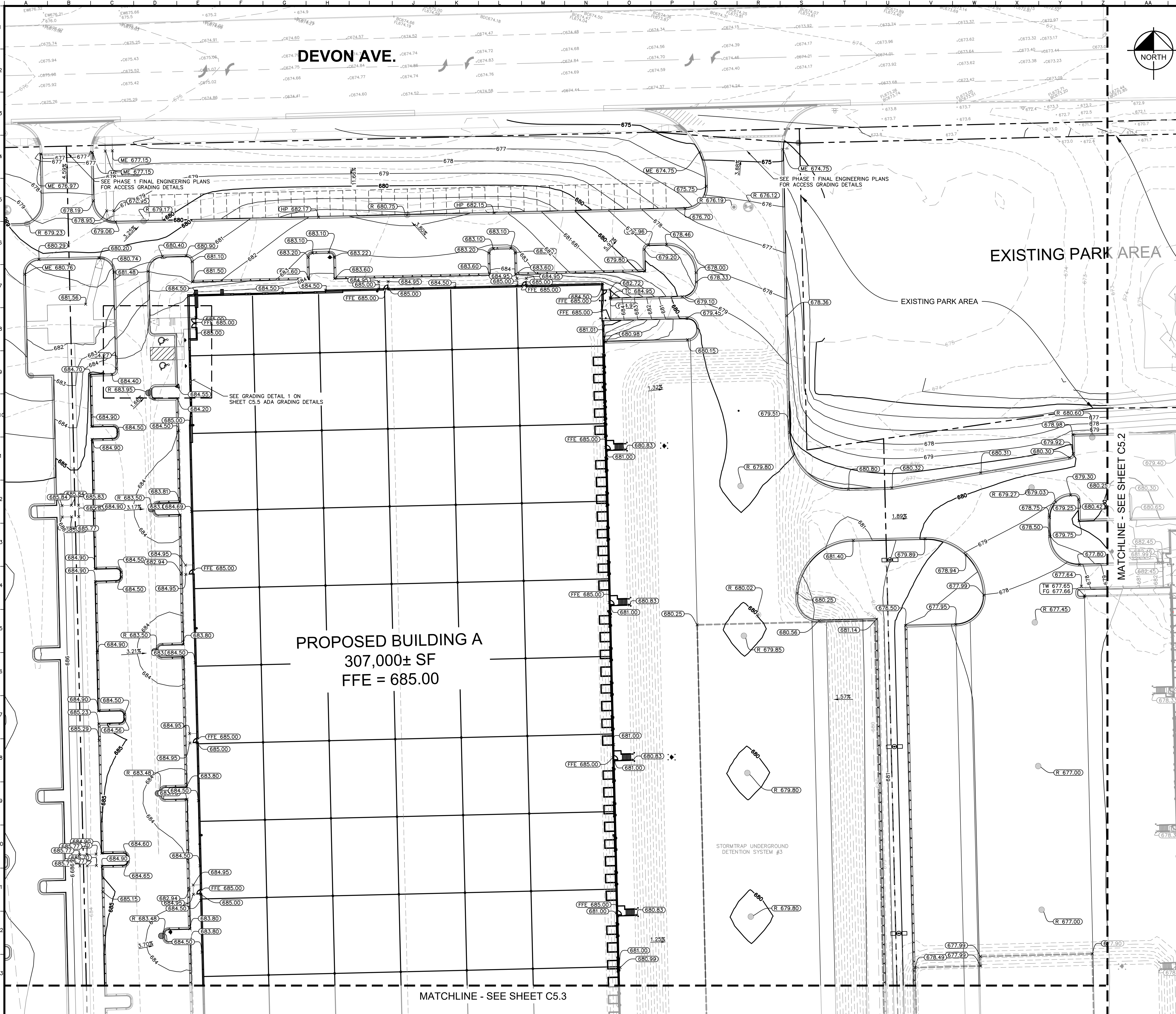
Call Before You Dig  
**811**  
1-800-892-0123



ML REALTY PARTNERS		BENSENVILLE INDUSTRIAL PARK		ORIGINAL ISSUE: 5/28/2021	
KIMLEY»HORN		OVERALL GRADING PLAN		KHA PROJECT NO. 168240005	
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NAG		ISSUED FOR BID 5/28/21 DATE	
SCALE: AS NOTED		SHEET NUMBER		C5.0	



Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240000\_m\\redl\_bensenville\\1\\2\_Design\\C5.0 GRADING PLAN.dwg C5.1 May 28, 2021 12:36pm by Anna Simpson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

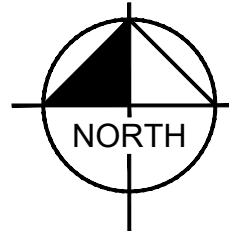


DEVON AVE.

EXISTING PARK AREA

PROPOSED BUILDING A  
307,000± SF  
FFE = 685.00

MATCHLINE - SEE SHEET C5.3



GRAPHIC SCALE IN FEET  
0 15 30 60

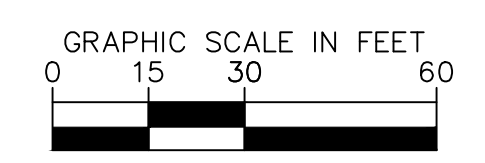
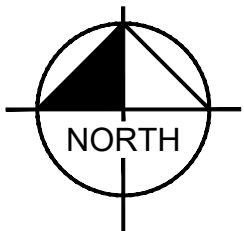
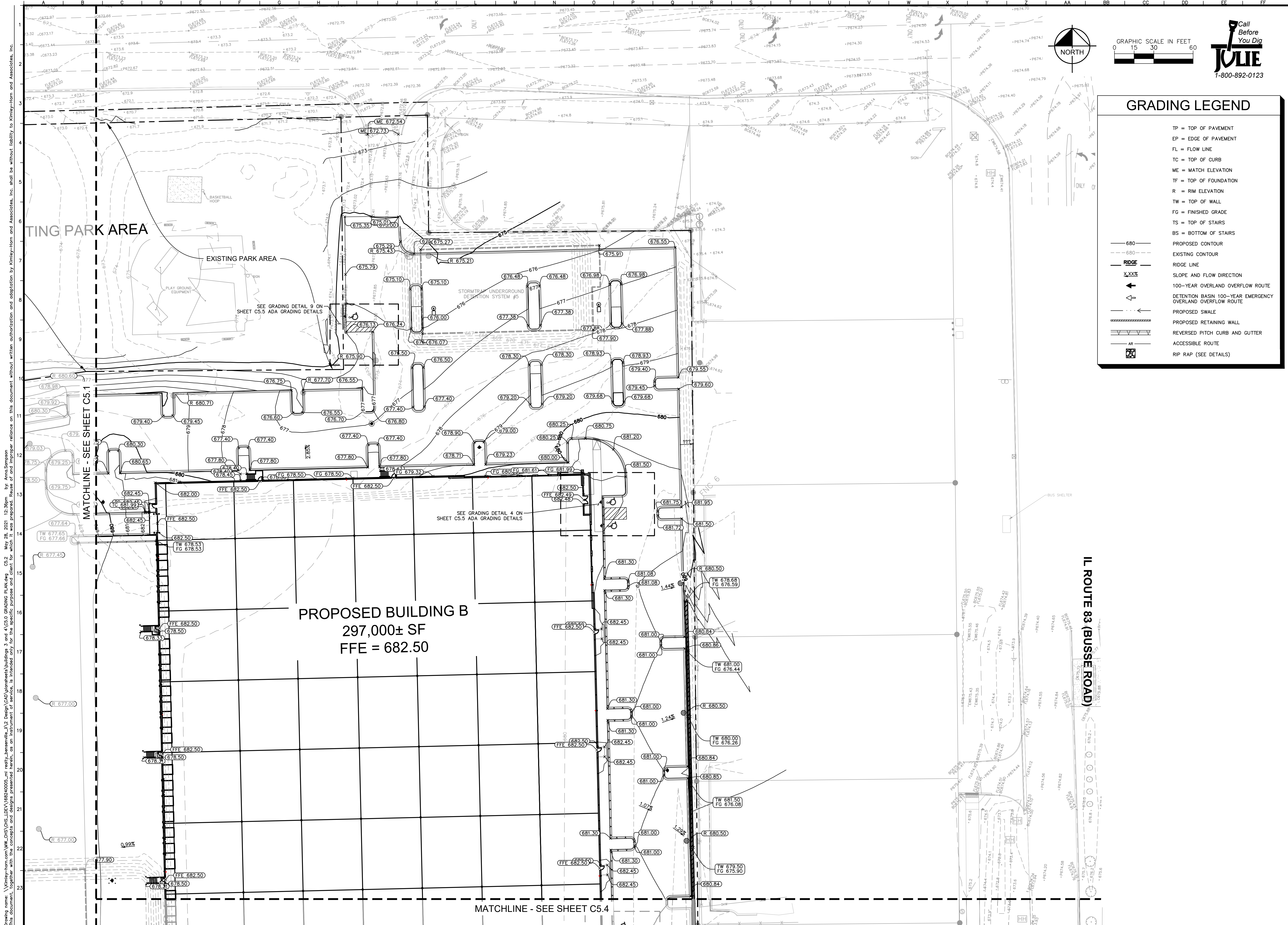
Call Before You Dig  
**1-800-892-0123**

### GRADING LEGEND

- TP = TOP OF PAVEMENT
- EP = EDGE OF PAVEMENT
- FL = FLOW LINE
- TC = TOP OF CURB
- ME = MATCH ELEVATION
- TF = TOP OF FOUNDATION
- R = RIM ELEVATION
- TW = TOP OF WALL
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- SLOPE AND FLOW DIRECTION
- 100-YEAR OVERLAND OVERFLOW ROUTE
- DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- REVERSED PITCH CURB AND GUTTER
- ACCESSIBLE ROUTE
- RIP RAP (SEE DETAILS)

ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		GRADING PLAN - NORTHWEST		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		JWC 5/28/21 DATE	
ORIGINAL ISSUE: 5/28/2021		KHA PROJECT NO. 168240005		ISSUED FOR BID		REVISIONS	
SHEET NUMBER		C5.1		BY		No.	





Call Before You Dig  
**1-800-892-0123**

### GRADING LEGEND

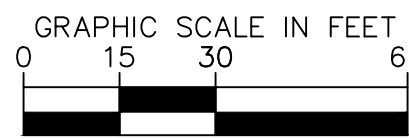
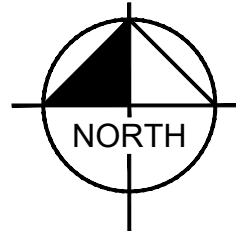
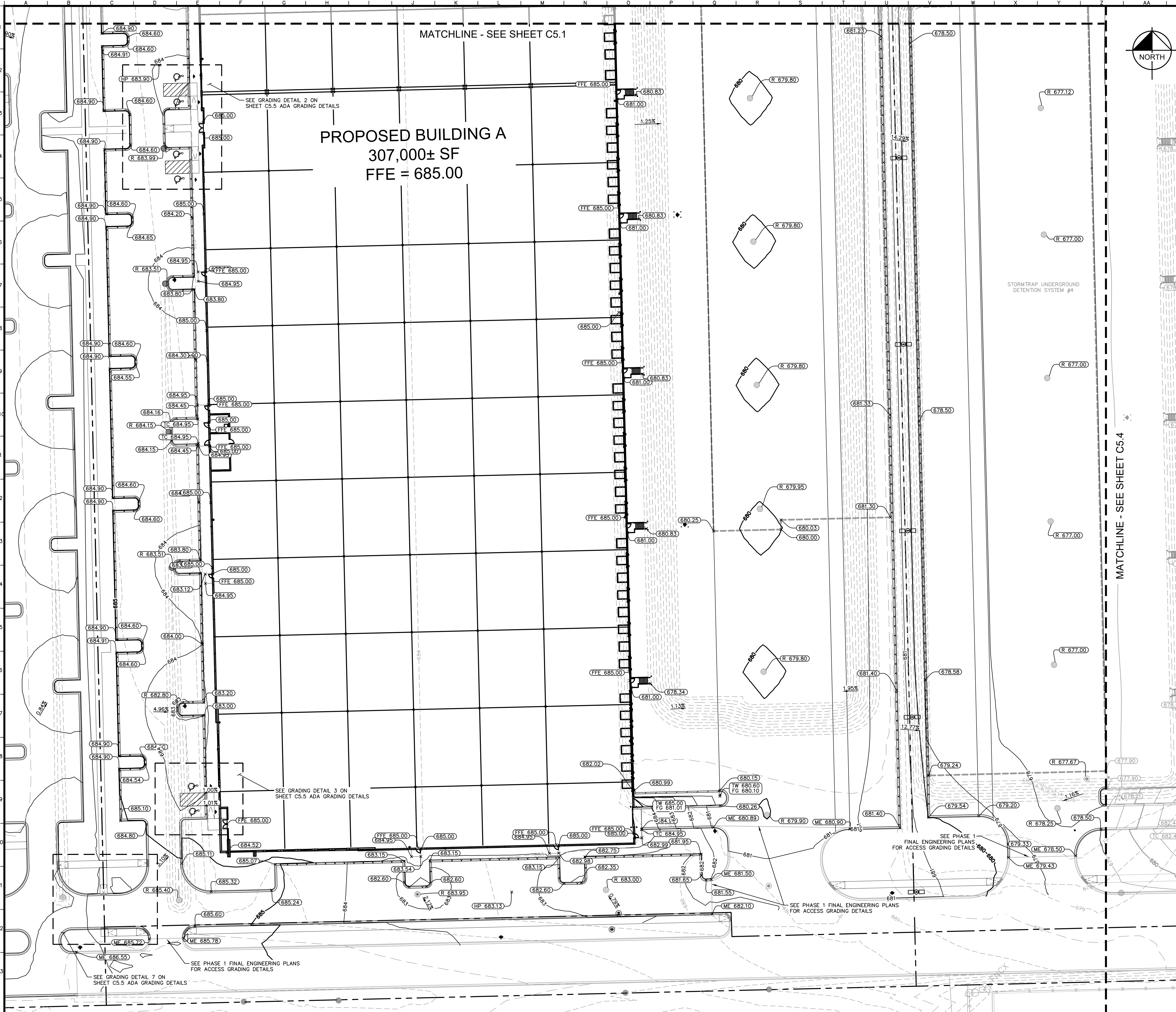
- TP = TOP OF PAVEMENT
- EP = EDGE OF PAVEMENT
- FL = FLOW LINE
- TC = TOP OF CURB
- ME = MATCH ELEVATION
- TF = TOP OF FOUNDATION
- R = RIM ELEVATION
- TW = TOP OF WALL
- FG = FINISHED GRADE
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- SLOPE AND FLOW DIRECTION
- 100-YEAR OVERLAND OVERFLOW ROUTE
- DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- REVERSED PITCH CURB AND GUTTER
- ACCESSIBLE ROUTE
- RIP RAP (SEE DETAILS)

Drawing name: \\kimley-horn.com\W\CHS\CHS\DEV\168240000\_m\res\Bensenville\A2 Design\CAD\plansheets\buildings 3 and 4\C5.0 GRADING PLAN.dwg C5.2 May 28, 2021 12:36pm by Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document, or any part thereof, for any other purpose without the written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ML REALTY PARTNERS <b>BENSENVILLE INDUSTRIAL PARK</b> IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		ML REALTY PARTNERS <b>GRADING PLAN - NORTHEAST</b>		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		JWG 5/28/21 DATE	
ORIGINAL ISSUE: 5/28/2021 KHA PROJECT NO. 168240005 SHEET NUMBER		C5.2		ISSUED FOR BID		REVISIONS	



Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\LDEV\\168240005\_m\\res\\bensenville\\A2\_Design\\CAD\\plansheets\\Buildings 3 and 4\\C5.0 GRADING PLAN.dwg C5.3 May 28, 2021 12:36pm by Anna Simpson  
This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



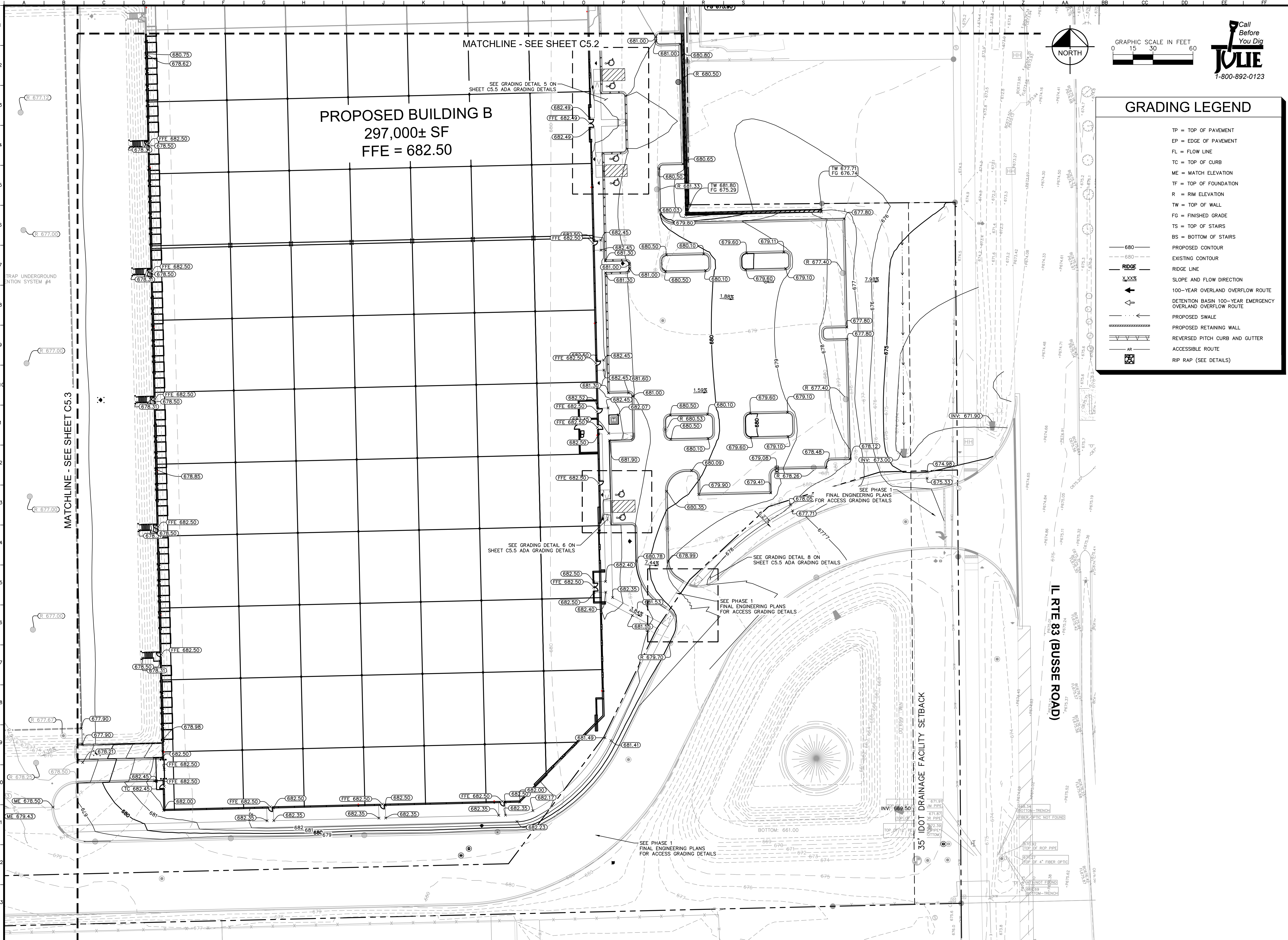
### GRADING LEGEND

- TP = TOP OF PAVEMENT
- EP = EDGE OF PAVEMENT
- FL = FLOW LINE
- TC = TOP OF CURB
- ME = MATCH ELEVATION
- TF = TOP OF FOUNDATION
- R = RIM ELEVATION
- TW = TOP OF WALL
- FG = FINISHED GRADE
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- PROPOSED CONTOUR
- EXISTING CONTOUR
- RIDGE LINE
- SLOPE AND FLOW DIRECTION
- 100-YEAR OVERLAND OVERFLOW ROUTE
- DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- REVERSED PITCH CURB AND GUTTER
- ACCESSIBLE ROUTE
- RIP RAP (SEE DETAILS)

ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK		GRADING PLAN - SOUTHWEST		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		JWG 5/28/21 DATE		BY	
ML REALTY PARTNERS		BENSENVILLE		INDUSTRIAL PARK		JWG		BY	
ORIGINAL ISSUE:		5/28/2021		KHA PROJECT NO.		168240005		SHEET NUMBER	
C5.3									



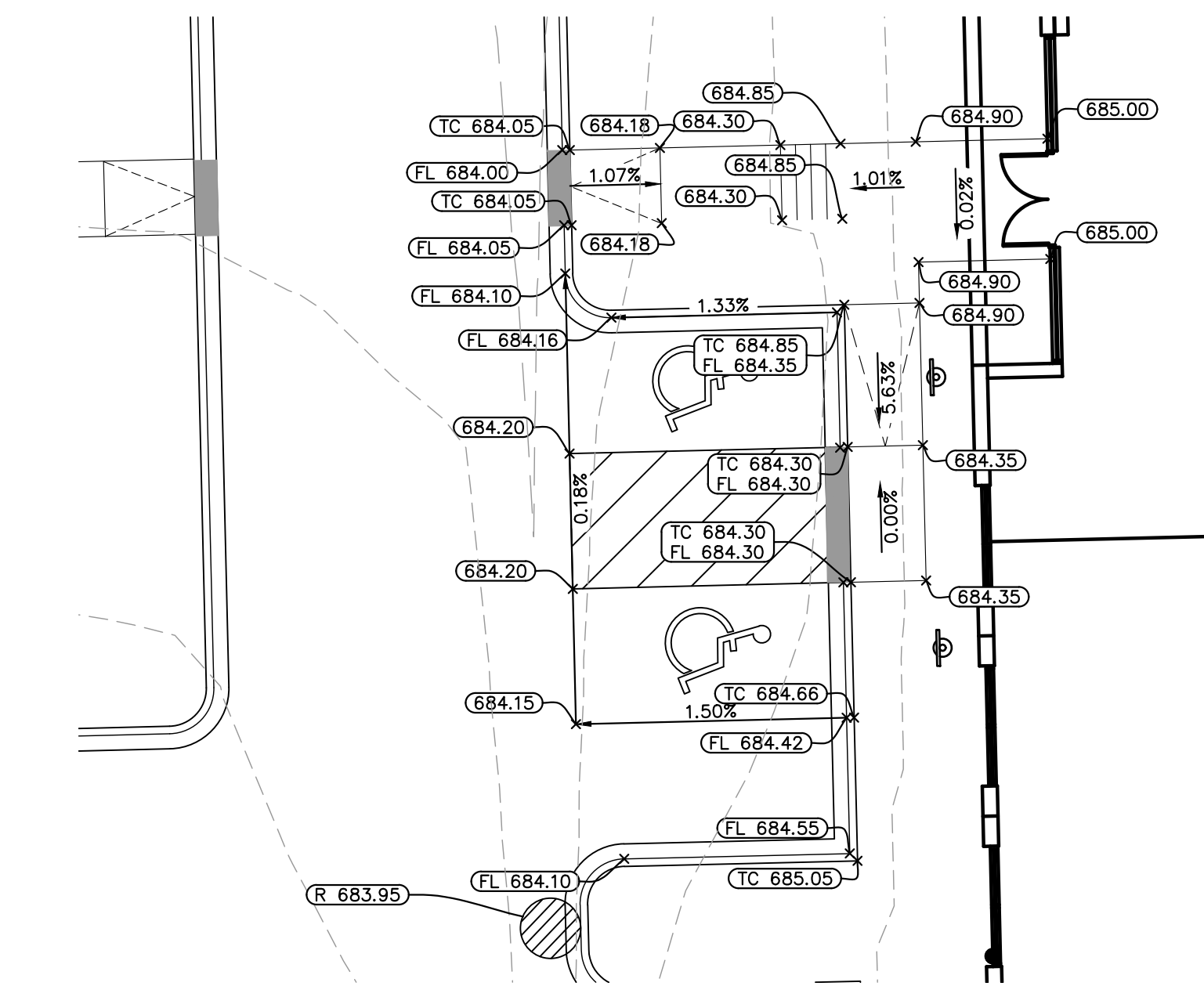
Drawing name: \\kimley-horn.com\WW\_CHS\CHS\_LDEV\168240000\_m\reality\_bensenville\2 Design\CAD\plansheets\buildings 3 and 4\C5.0 GRADING PLAN.dwg C5.4 May 28, 2021 12:36pm by Anna Simpson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



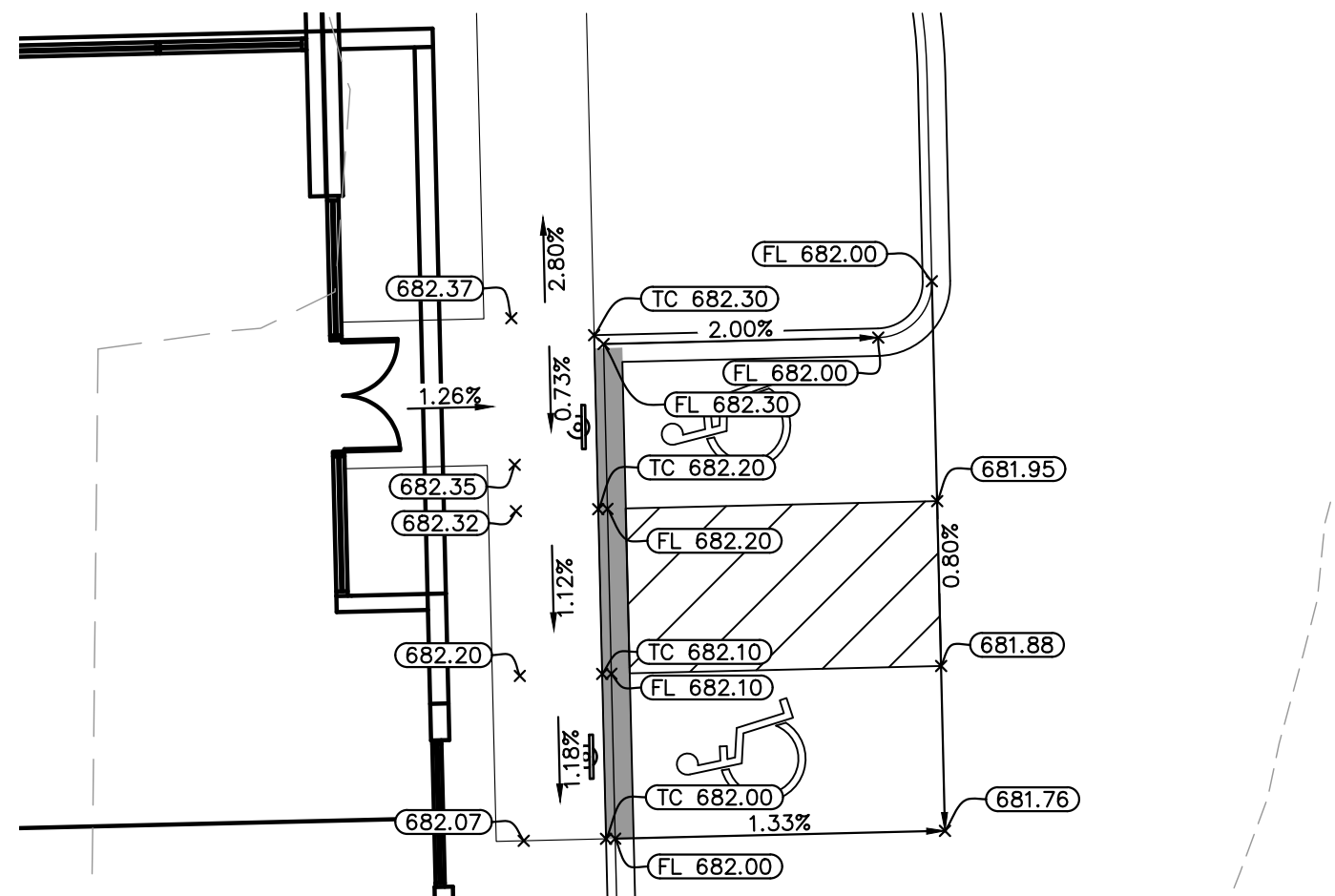
ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		GRADING PLAN - SOUTHEAST		ML REALTY PARTNERS		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		JWG 5/28/21 DATE	
ORIGINAL ISSUE: 5/28/2021		KHA PROJECT NO. 168240005		SHEET NUMBER C5.4		ISSUED FOR BID		REVISIONS	



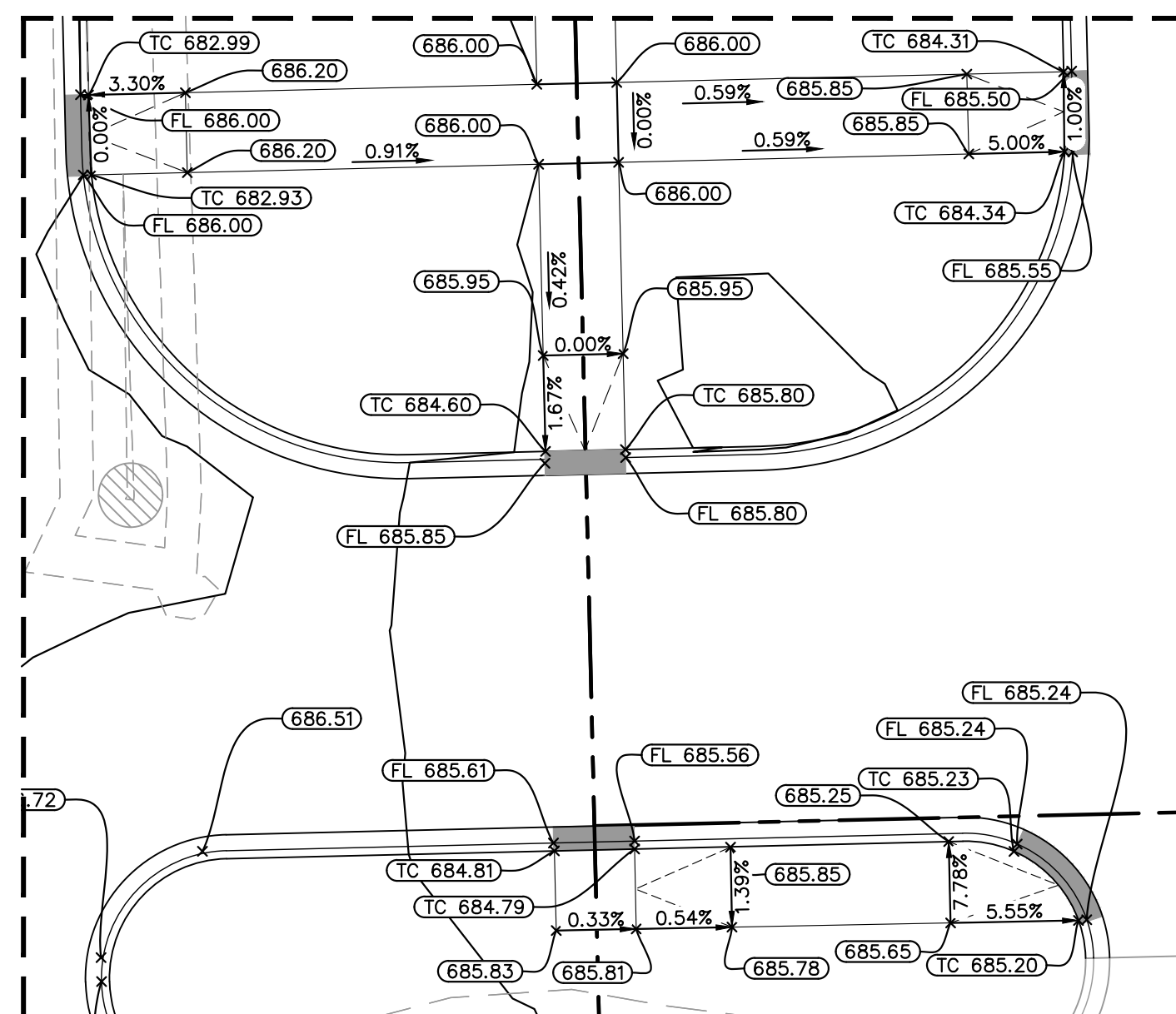
Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240000\_m\\redl\_bensenville\\2 Design\\CAD\\plansheets\\buildings 3 and 4\\C5.0 GRADING PLAN.dwg ADA GRADING May 28, 2021 12:37pm by Anna Sampson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



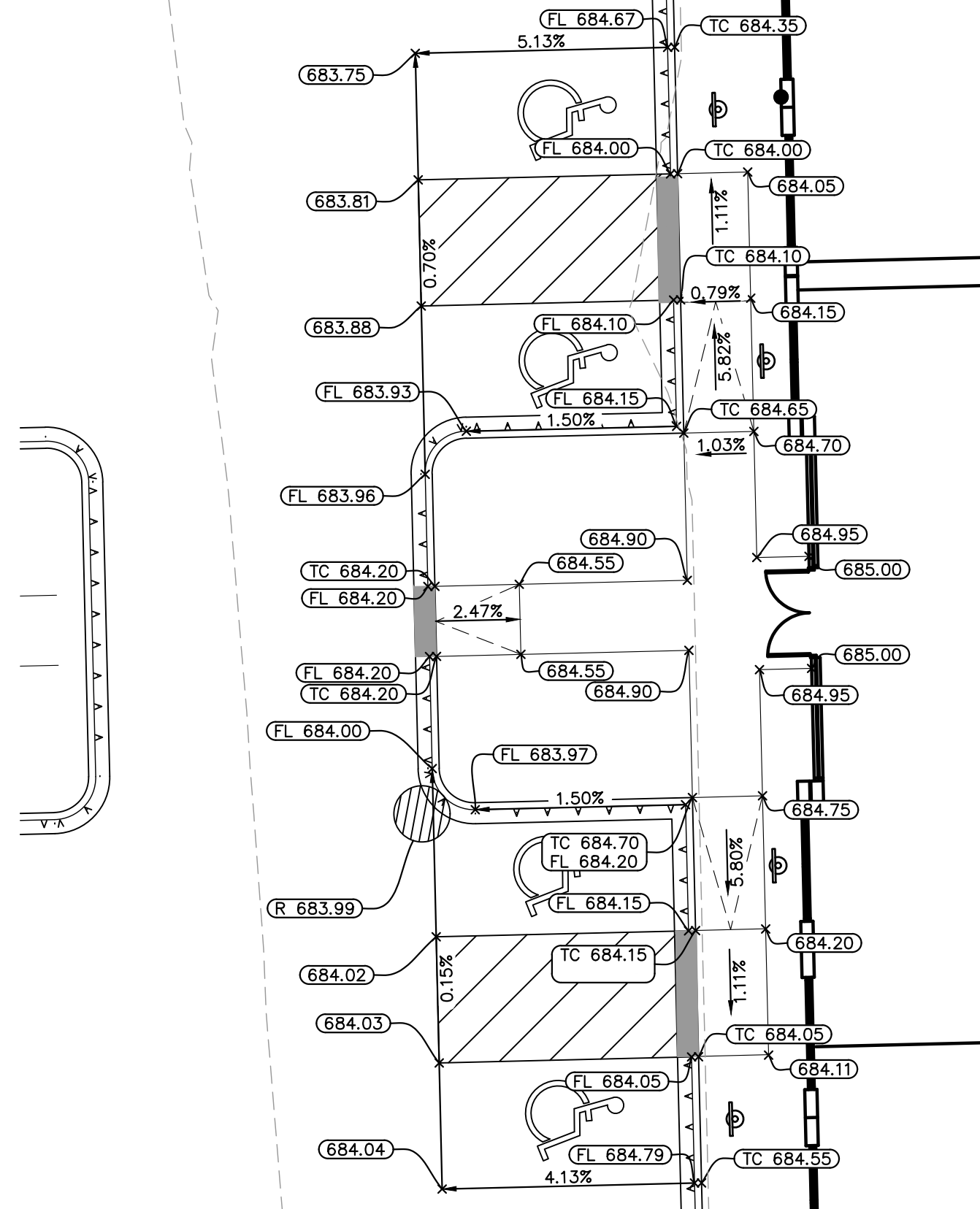
GRADING DETAIL 1  
SCALE: 1" = 10'



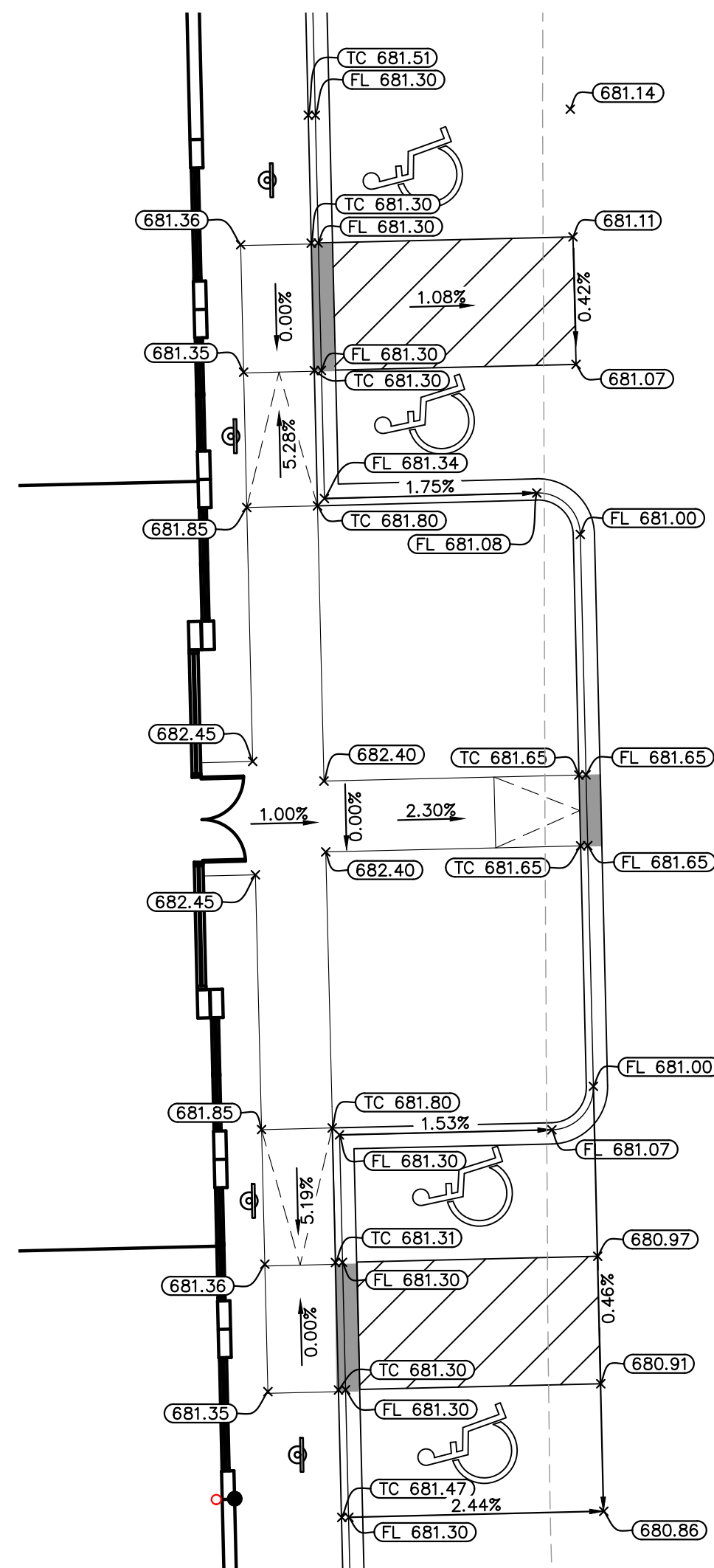
GRADING DETAIL 4  
SCALE: 1" = 10'



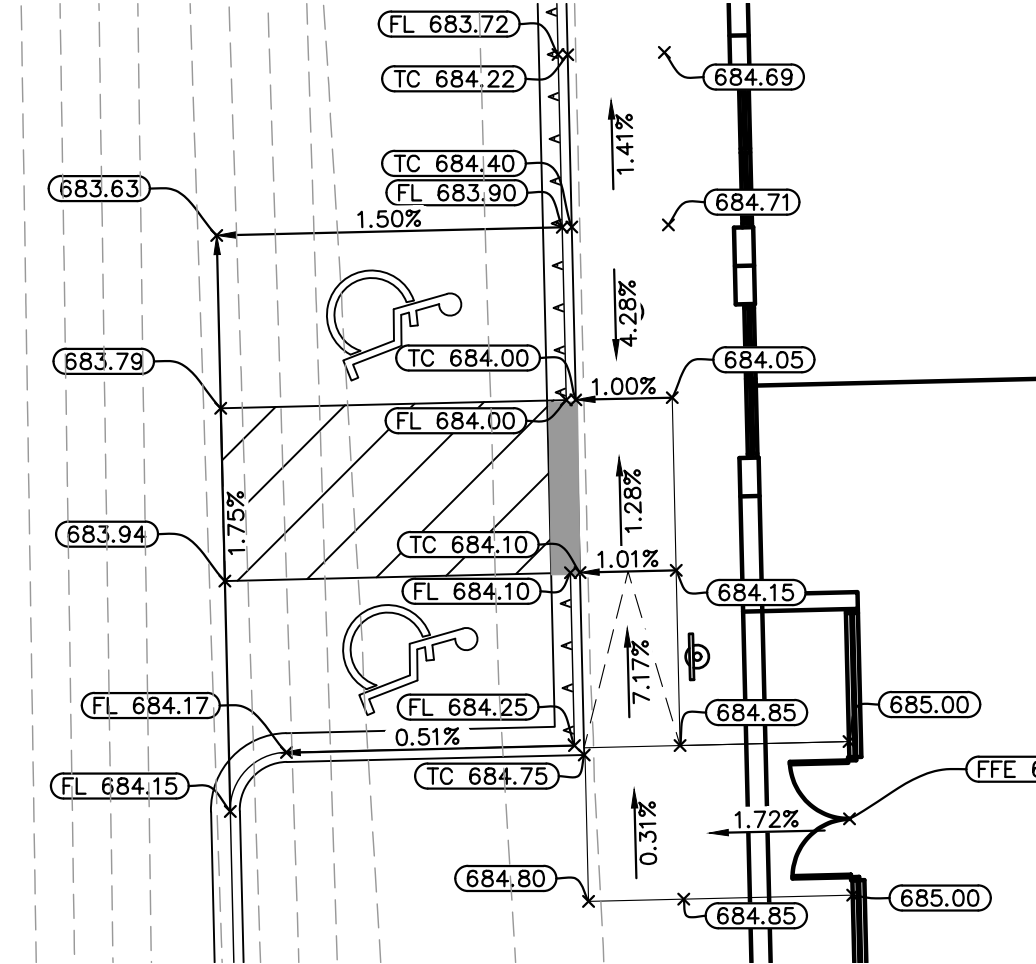
GRADING DETAIL 7  
SCALE: 1" = 10'



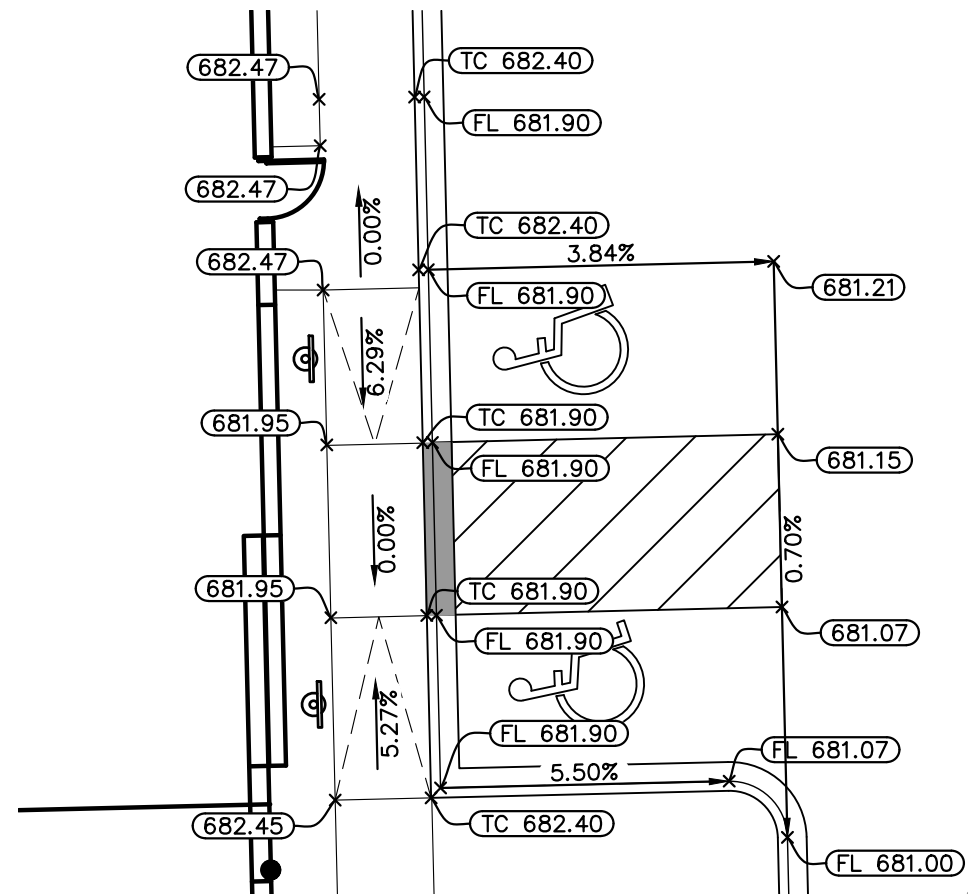
GRADING DETAIL 2  
SCALE: 1" = 10'



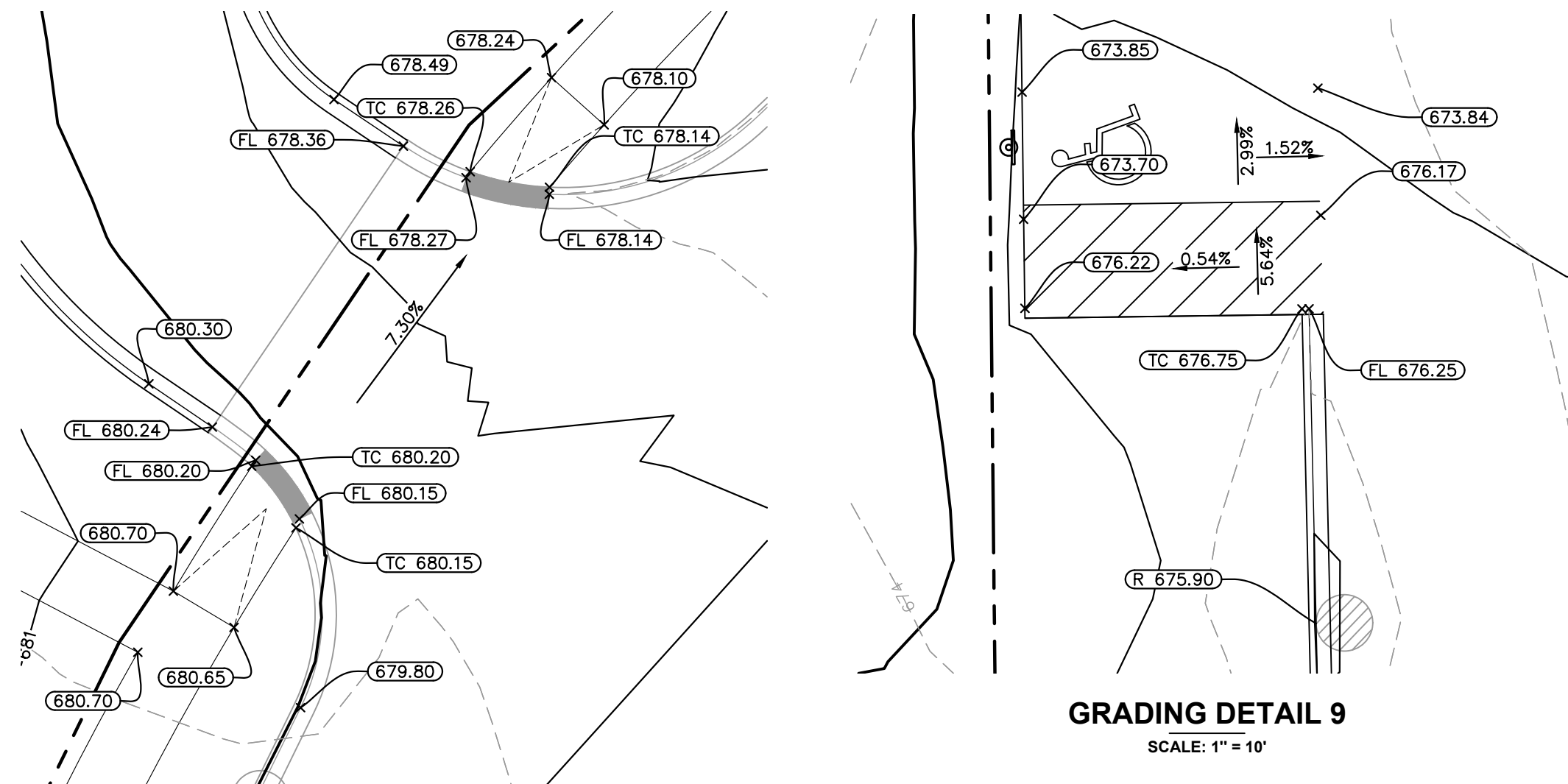
GRADING DETAIL 5  
SCALE: 1" = 10'



GRADING DETAIL 3  
SCALE: 1" = 10'

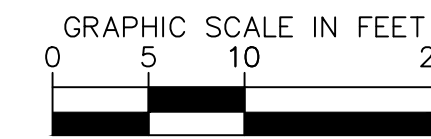
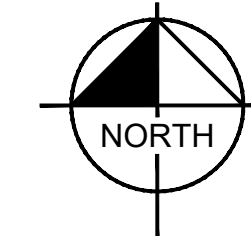


GRADING DETAIL 6  
SCALE: 1" = 10'



GRADING DETAIL 8  
SCALE: 1" = 10'

GRADING DETAIL 9  
SCALE: 1" = 10'



Call Before You Dig  
**7-1-1**  
1-800-892-0123

## GRADING LEGEND

- TP = TOP OF PAVEMENT
- EP = EDGE OF PAVEMENT
- FL = FLOW LINE
- TC = TOP OF CURB
- ME = MATCH ELEVATION
- TF = TOP OF FOUNDATION
- R = RIM ELEVATION
- TW = TOP OF WALL
- FG = FINISHED GRADE
- TS = TOP OF STAIRS
- BS = BOTTOM OF STAIRS
- PROPOSED CONTOUR
- EXISTING CONTOUR
- X—X—X— SLOPE AND FLOW DIRECTION
- 100-YEAR OVERLAND OVERFLOW ROUTE
- DETENTION BASIN 100-YEAR EMERGENCY OVERLAND OVERFLOW ROUTE
- PROPOSED SWALE
- PROPOSED RETAINING WALL
- REVERSED PITCH CURB AND GUTTER
- ACCESSIBLE ROUTE
- RIP RAP (SEE DETAILS)

ML REALTY PARTNERS  
**BENSENVILLE  
INDUSTRIAL PARK**  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

ADA GRADING  
DETAILS

ML REALTY  
PARTNERS

**Kimley»Horn**  
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600  
BENSENVILLE, IL 60106  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
DESIGNED BY: JWG  
DRAWN BY: AES  
CHECKED BY: NUG

NO.	REVISIONS	DATE	BY
1	ISSUED FOR BID	5/28/21	JWG


































ORIGINAL ISSUE:  
5/28/2021  
KHA PROJECT NO.  
168240005  
SHEET NUMBER

C5.5



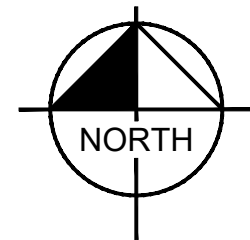
Drawing name: \\kimley-horn.com\WW\_CHS\CHS\_LDEV\168240000\_m\reel\_bensenville\1\2\_Design\CAD\plansheets\Buildings 3 and 4\C6.0 UTILITY PLAN.dwg C6.0 May 28, 2021 12:38pm by: Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

## UTILITY LEGEND

	EX. WATER LINE		PROPOSED SANITARY SEWER LINE
	EX. HYDRANT		PROPOSED SANITARY MANHOLE
	EX. WATER VALVE		PROPOSED STORM/SANITARY CLEANOUT
	EX. SANITARY SEWER LINE		PROPOSED WATER LINE
	EX. SANITARY SEWER MANHOLE		PROPOSED VALVE VAULT
	EX. SANITARY SEWER CLEANOUT		PROPOSED VALVE BOX
	EX. STORM DRAIN LINE		PROPOSED FIRE HYDRANT
	EX. STORM MANHOLE		PROPOSED LIGHT POLE
	EX. STORM STRUCTURE/INLET		PROPOSED TRANSFORMER PAD (FOR REFERENCE ONLY)
	EX. GAS LINE		RIP RAP (SEE DETAILS)
	EX. GAS METER		UG DETENTION CHAMBER
	EX. UNDERGROUND ELECTRIC LINE		PROPOSED FLARED END SECTION
	EX. UNDERGROUND TELEPHONE LINE		
	EX. LIGHT POLE		
	PROPOSED UNDERGROUND ELECTRIC LINE		
	GAS LINE (BY GAS COMPANY)		
	PROPOSED PHONE LINE		
	PROPOSED STORM SEWER LINE		
	PROPOSED OPEN LID STORM STRUCTURE (PAVEMENT USE NEENAH R-2540) (GRASS USE NEENAH R-4340-B BEEHIVE)		
	PROPOSED CLOSED LID STORM STRUCTURE (PAVEMENT USE NEENAH R-1772) (GRASS USE NEENAH R-1786)		
	PROPOSED COMBINATION CURB INLET (B6.12 C&G USE NEENAH R-3281-A)		

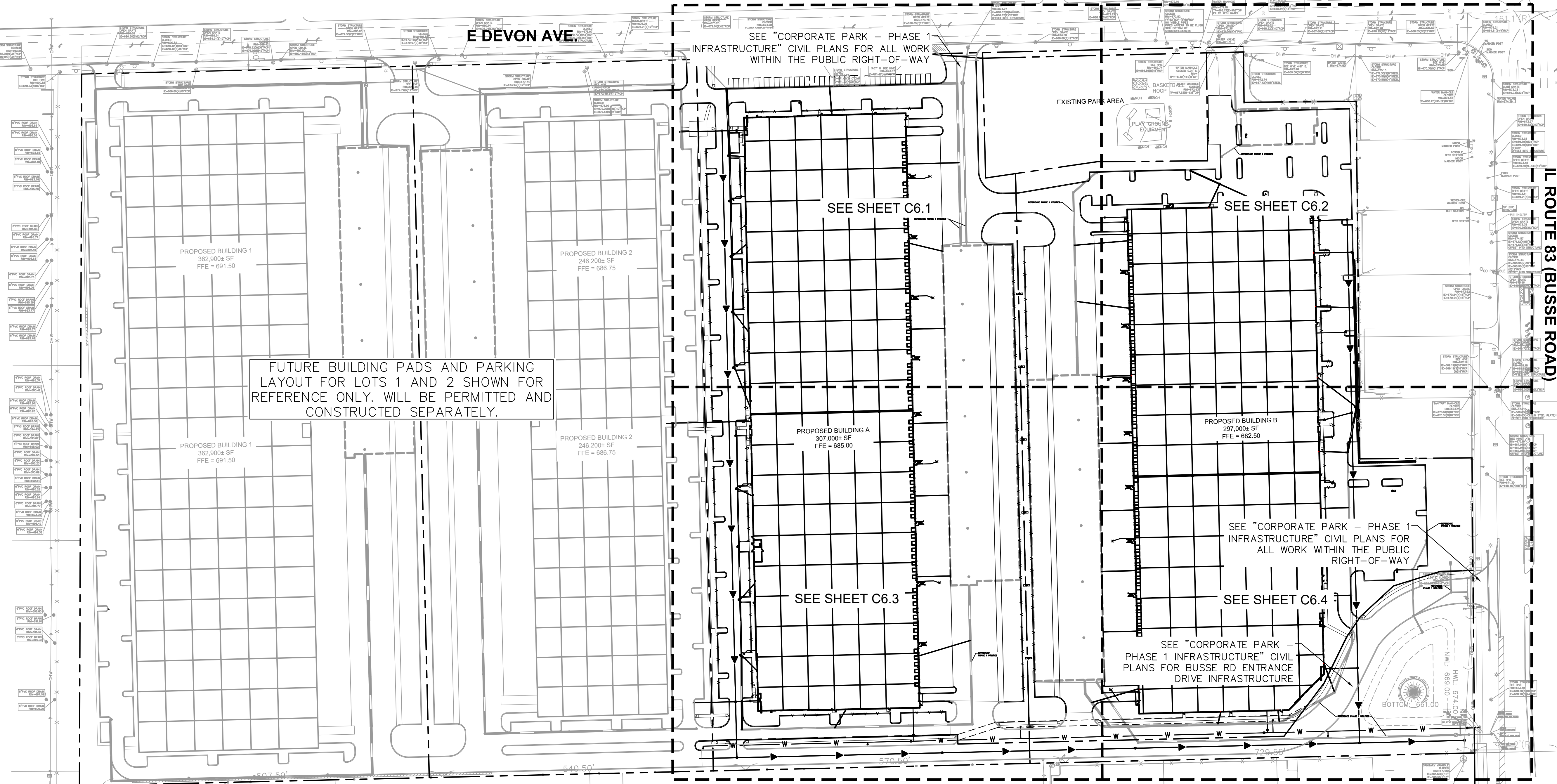
## UTILITY NOTES

1. ALL WATER LINES  $\geq 3"$  SHALL BE DUCTILE IRON PIPE, CLASS 52.
2. ALL SANITARY SEWER LINES SHALL BE PVC MEETING, ASTM D-3034 SDR 26 EXCEPT FOR SANITARY SEWER THAT CROSSES ABOVE WATER MAIN, THIS PIPE SHALL BE AWWA C900 (UNLESS WATER MAIN CASING IS UTILIZED), PROVIDE 42" MINIMUM COVER.
3. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
4. ALL ELECTRIC AND TELEPHONE EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
5. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
6. CONTRACTOR TO CALL "JULIE" (1-800-892-0123) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY.
7. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OTHER UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/ DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION. THE MUNICIPALITY SHALL BE NOTIFIED OF ANY AND ALL CHANGES TO THE DESIGN PLANS.
8. CONTRACTOR SHALL COMPLY COMPLETELY WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH PERFORMANCE CRITERIA AS REQUIRED BY OSHA.
9. CONTRACTOR TO AVOID DISRUPTION OF ANY ADJACENT TENANT'S TRAFFIC OPERATIONS DURING INSTALLATION OF UTILITIES.
10. ALL DIMENSIONS ARE TO CENTERLINE OF PIPE OR CENTER OF MANHOLE UNLESS NOTED OTHERWISE.
11. SEE ARCHITECTURAL AND MEP PLANS FOR EXACT UTILITY CONNECTION LOCATIONS AT BUILDING.
12. LIGHT POLES SHOWN FOR COORDINATION PURPOSES ONLY AND DO NOT REPRESENT ACTUAL SIZE. SEE SITE LIGHTING PLANS BY OTHERS FOR MORE INFORMATION.
13. SEE DETAILS FOR LOCATING STORM STRUCTURES WITHIN THE CURB LINE.



GRAPHIC SCALE IN FEET  
0 50 100 200

Call Before You Dig  
**JULIE**  
1-800-892-0123



SCALE: AS NOTED

DESIGNED BY: JWG

DRAWN BY: AES

CHECKED BY: NUG

**Kimley»Horn**

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINTER ROAD, SUITE 600  
BENSENVILLE, IL 60106  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

**ML REALTY PARTNERS**

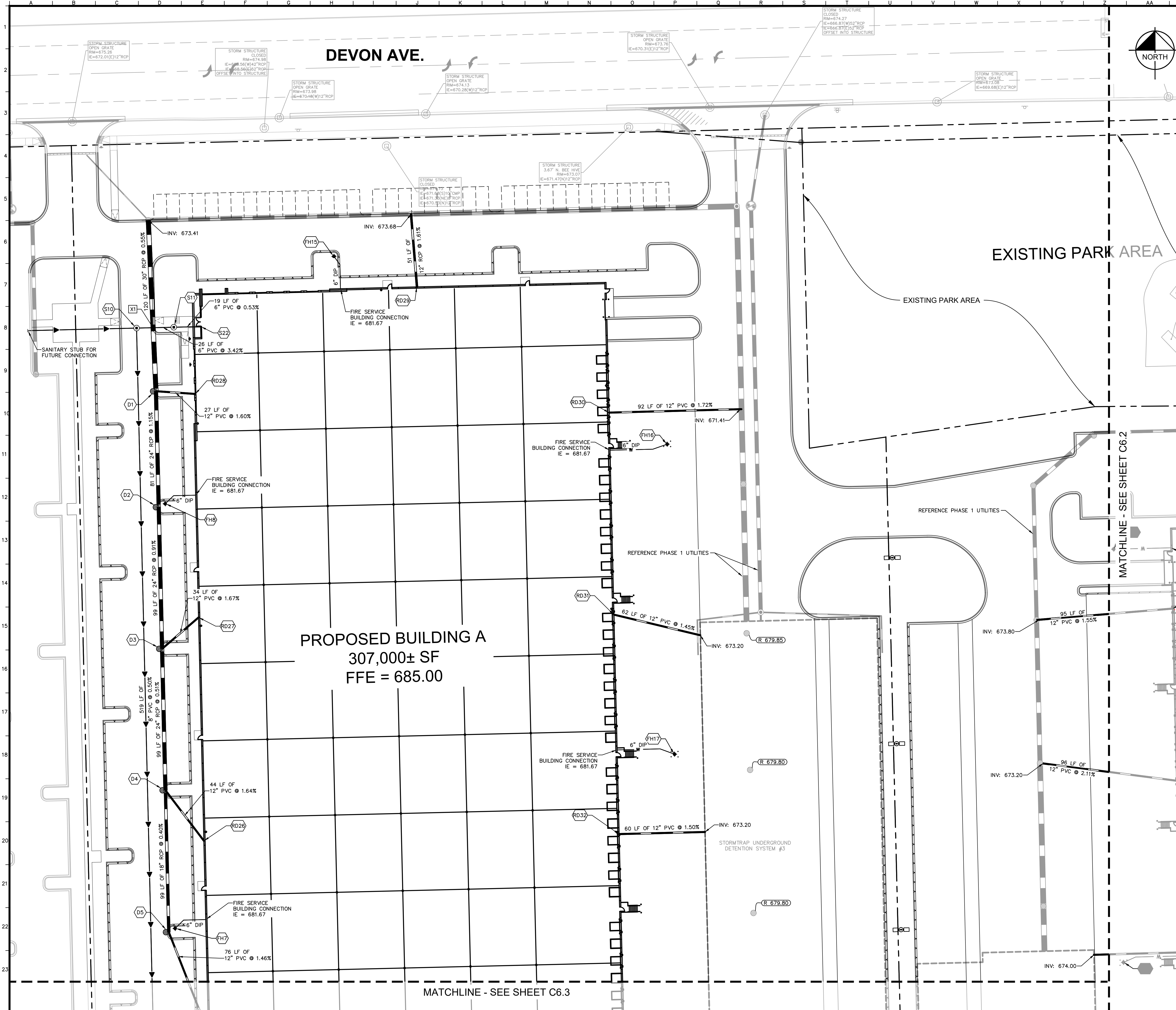
**OVERALL UTILITY PLAN**

**ML REALTY PARTNERS  
BENSENVILLE  
INDUSTRIAL PARK**  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

ORIGINAL ISSUE:  
5/28/2021  
KHA PROJECT NO.  
168240005  
SHEET NUMBER

**C6.0**





STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	5' DIA. OPEN LID MH RIM: 683.95 INV IN: 674.57 (S, 24") INV IN: 675.57 (E, 12") INV OUT: 674.07 (N, 30")
D2	5' DIA. OPEN LID MH RIM: 683.50 INV IN: 675.50 (S, 24") INV OUT: 675.50 (N, 24")
D3	6' DIA. OPEN LID MH RIM: 683.50 INV IN: 676.40 (S, 24") INV IN: 677.40 (NE, 12") INV OUT: 676.40 (N, 24")
D4	5' DIA. OPEN LID MH RIM: 683.48 INV IN: 677.40 (S, 18") INV IN: 677.90 (SE, 12") INV OUT: 676.90 (N, 24")
D5	4' DIA. OPEN LID MH RIM: 683.48 INV IN: 678.30 (S, 12") INV OUT: 677.80 (N, 18")

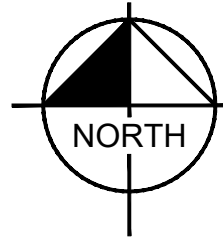
MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
RD25	ROOF DRAIN CONNECTION INV OUT: 679.41 (N, 12")
RD26	ROOF DRAIN CONNECTION INV OUT: 678.63 (NW, 12")
RD27	ROOF DRAIN CONNECTION INV OUT: 677.96 (SW, 12")
RD28	ROOF DRAIN CONNECTION INV OUT: 676.01 (W, 12")
RD29	ROOF DRAIN CONNECTION INV OUT: 674.50 (N, 12")
RD30	ROOF DRAIN CONNECTION INV OUT: 673.00 (E, 12")
RD31	ROOF DRAIN CONNECTION INV OUT: 674.10 (E, 12")
RD32	ROOF DRAIN CONNECTION INV OUT: 674.10 (E, 12")

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S10	4" DIA SANITARY MH RIM: 683.28 INV IN: 679.22 (E, 6") INV IN: 679.22 (W, 6") INV OUT: 679.22 (S, 8")
S11	4" DIA SANITARY MH RIM: 684.49 INV OUT: 680.10 (W, 6") INV OUT: 680.10 (E, 6")
S22	6-INCH SA LAT BLDG CONNECTION INV: 680.205 RIM: 680.75 INV IN: 680.20 (W, 6")


WATER STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
FH7	PROPOSED HYDRANT FG ELEV: 684.09
FH8	PROPOSED HYDRANT FG ELEV: 684.09
FH15	PROPOSED HYDRANT FG ELEV: 683.68
FH16	PROPOSED HYDRANT FG ELEV: 680.50
FH17	PROPOSED HYDRANT FG ELEV: 680.50

### UTILITY CROSSING LENGTH

NOTE	6" SAN 30" STORM	B/P = 679.60 S/P = 678.52
NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED IN A CONCRETE PROTECTIVE SLEEVE ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC 90/WMQ MEETING ASTM D2241 WITH 100% HDPE OR 100% PROPEL WITH 100% HDPE. ACCEPTABLE SEWER PIPE WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.		



GRAPHIC SCALE IN FEET

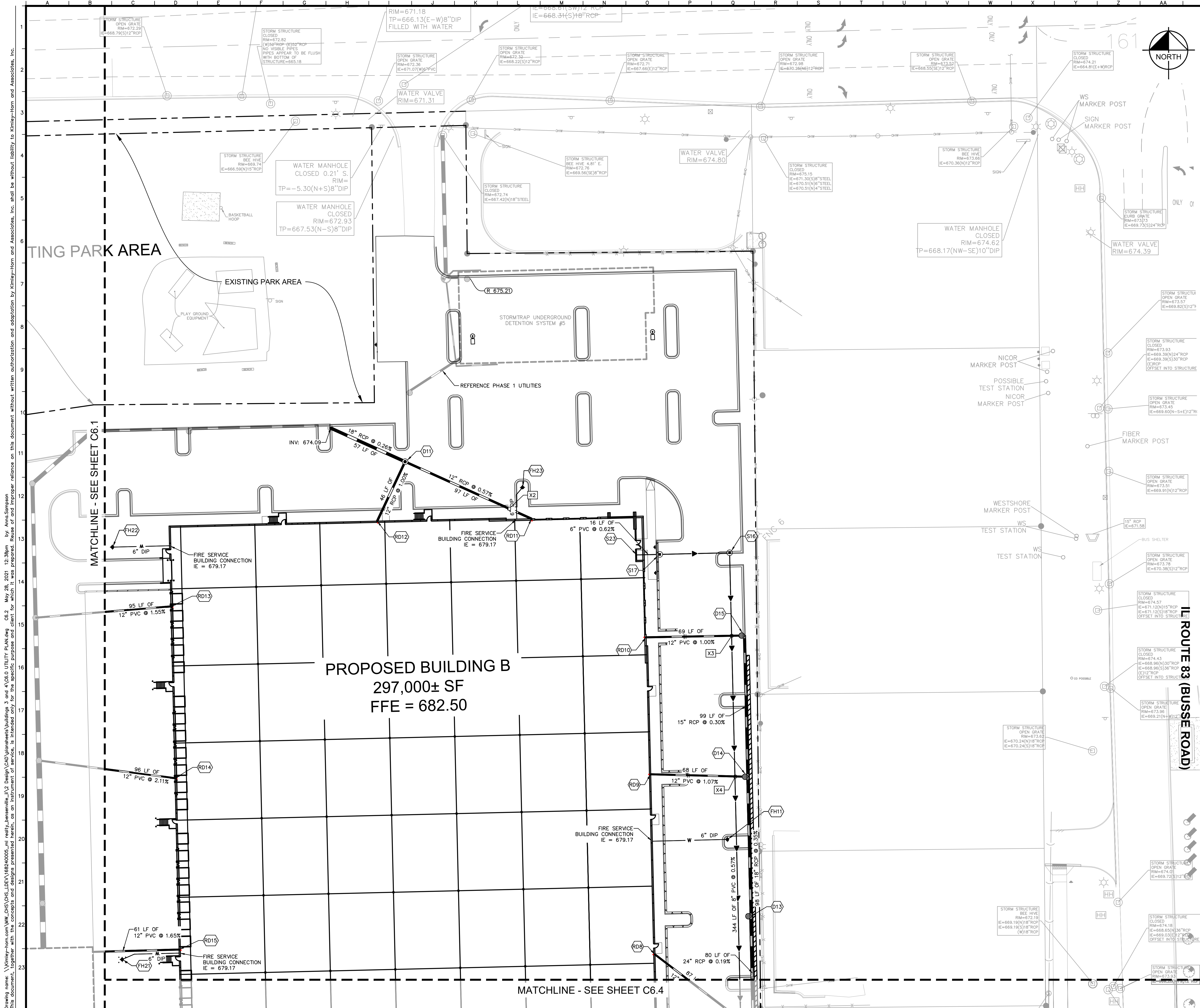


0 15 30 60

[illegible]



Drawing name: \\kimley-horn.com\WW\_CAD\CHS\168240000\_m\res\Bensenville\1\2 Design\CAD\plansheets\buildings 3 and 4\C6.2 May 28, 2021 12:38pm By: Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**UTILITY CROSSING LEGEND**

X2	6" WATER 12" STORM	B/P = 679.13 T/P = 676.37
X3	12" STORM 8" SAN.	B/P = 677.57 T/P = 677.04
X4	12" STORM 8" SAN.	B/P = 677.60 T/P = 676.51

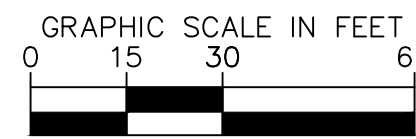
NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/WMQ MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3159 OR DUCTILE IRON PIPE, RCP, STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D11	4' DIA. CLOSED LID MH RIM: 676.27 INV IN: 674.74 (SW, 12") INV IN: 674.75 (SE, 12") INV OUT: 674.24 (NW, 18")
D13	4' DIA. OPEN LID MH RIM: 680.50 INV IN: 676.76 (N, 18") INV OUT: 676.26 (S, 24")
D14	4' DIA. OPEN LID MH RIM: 680.50 INV IN: 677.15 (N, 15") INV IN: 677.53 (W, 12") INV OUT: 677.10 (S, 18")
D15	4' DIA. OPEN LID MH RIM: 680.50 INV IN: 676.40 (W, 12") INV IN: 677.50 (W, 12") INV OUT: 677.45 (S, 15")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
RD8	ROOF DRAIN CONNECTION INV OUT: 677.32 (SE, 12")
RD9	ROOF DRAIN CONNECTION INV OUT: 678.26 (E, 12")
RD10	ROOF DRAIN CONNECTION INV OUT: 678.19 (E, 12")
RD11	ROOF DRAIN CONNECTION INV OUT: 675.30 (NW, 12")
RD12	ROOF DRAIN CONNECTION INV OUT: 675.20 (NE, 12")
RD13	ROOF DRAIN CONNECTION INV OUT: 675.28 (W, 12")
RD14	ROOF DRAIN CONNECTION INV OUT: 675.23 (W, 12")
RD15	ROOF DRAIN CONNECTION INV OUT: 675.00 (W, 12")

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S16	4' DIA SANITARY MH RIM: 681.86 INV IN: 676.70 (W, 6") INV OUT: 676.70 (S, 8")
S17	4' DIA SANITARY MH RIM: 680.31 INV OUT: 676.95 (E, 6") INV OUT: 677.05 (W, 6")
S23	6-INCH SA LAT BLDG CONNECTION INV: 677.062 RIM: 677.61 INV IN: 676.95 (E, 6")

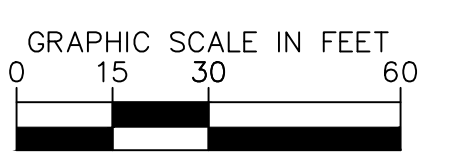
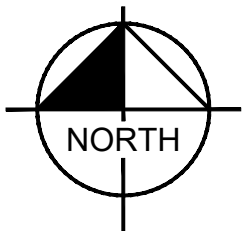
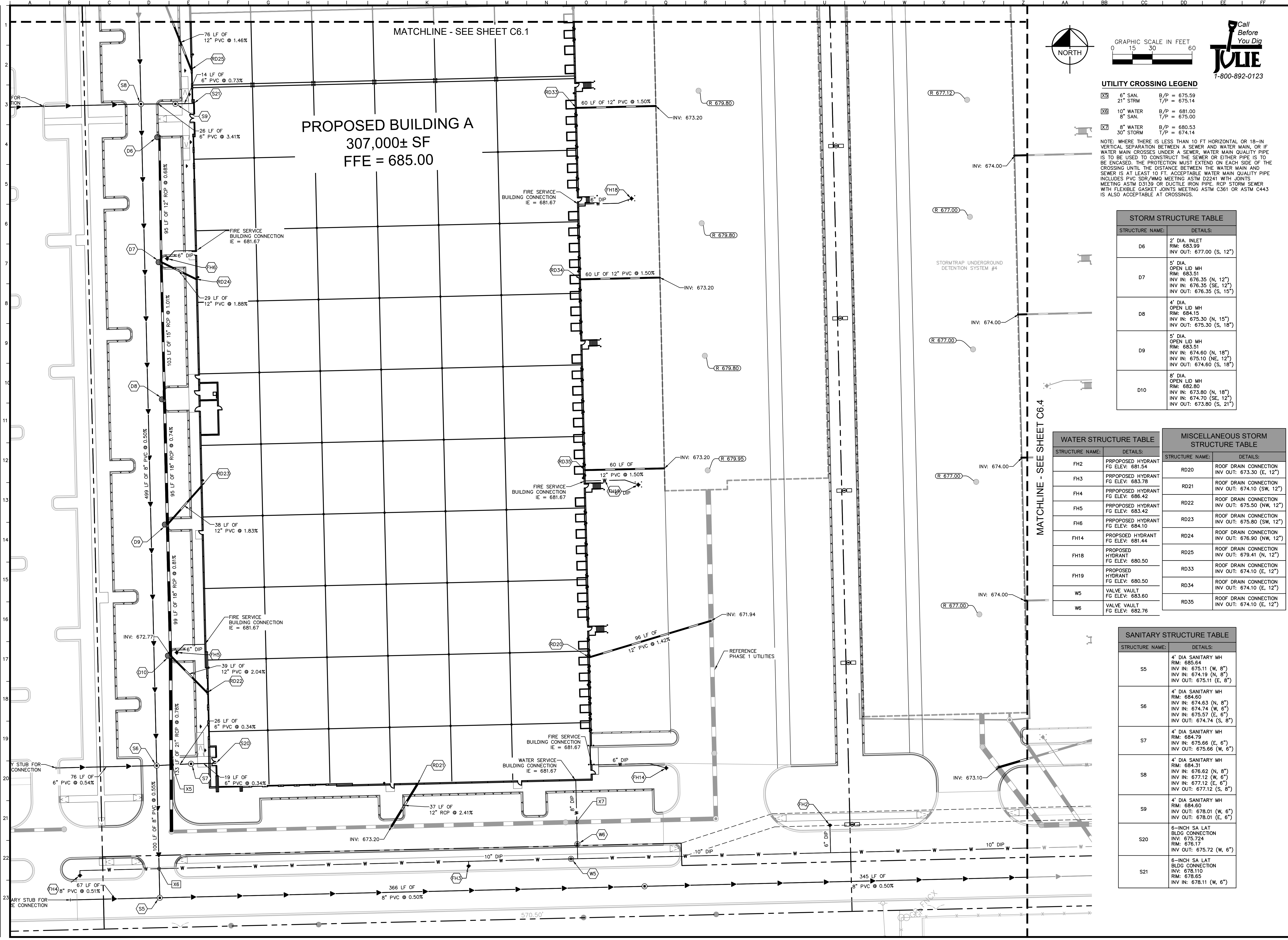
WATER STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
FH11	PROPOSED HYDRANT FG ELEV: 680.97
FH21	PROPOSED HYDRANT FG ELEV: 678.08
FH22	PROPOSED HYDRANT FG ELEV: 680.21
FH23	PROPOSED HYDRANT FG ELEV: 679.46



SCALE: AS NOTED	DESIGNED BY: JWG	DRAWN BY: AES	CHECKED BY: NUG
Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WATFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-2550 WWW.KIMLEY-HORN.COM			
ML REALTY PARTNERS UTILITY PLAN - NORTHEAST			
ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106			
ORIGINAL ISSUE: 5/28/2021 KHA PROJECT NO. 168240005 SHEET NUMBER C6.2			
ISSUED FOR BID 5/28/21 DATE JWG BY			



Drawing name: \\kimley-horn.com\\NW\\CHS\\CHS\\168240005\_m\\res\\L\_bensenville\\2\_Design\\CAD\\plansheets\\Buildings 3 and 4\\C6.3 UTILITY PLAN.dwg C6.3 May 28, 2021 12:39pm By: Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



UTILITY CROSSING LEGEND

	6" SAN. 21" STRM	B/P = 675.59 T/P = 675.14
	10" WATER 8" SAN.	B/P = 681.00 T/P = 675.00
	8" WATER 30" STORM	B/P = 680.53 T/P = 674.14

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENGAGED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/WMQ MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3139 OR DUCTILE IRON PIPE, RCP, STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

STORM STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
D6	2' DIA. INLET RIM: 683.99 INV OUT: 677.00 (S, 12")
D7	5' DIA. OPEN LID MH RIM: 683.51 INV IN: 676.35 (N, 12") INV IN: 676.35 (SE, 12") INV OUT: 676.35 (S, 15")
D8	4' DIA. OPEN LID MH RIM: 684.15 INV IN: 675.30 (N, 15") INV OUT: 675.30 (S, 18")
D9	5' DIA. OPEN LID MH RIM: 683.51 INV IN: 674.60 (N, 18") INV IN: 675.10 (NE, 12") INV OUT: 674.60 (S, 18")
D10	8' DIA. OPEN LID MH RIM: 682.80 INV IN: 673.80 (N, 18") INV IN: 674.70 (SE, 12") INV OUT: 673.80 (S, 21")

WATER STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
FH2	PROPOSED HYDRANT FG ELEV: 681.54
FH3	PROPOSED HYDRANT FG ELEV: 683.78
FH4	PROPOSED HYDRANT FG ELEV: 686.42
FH5	PROPOSED HYDRANT FG ELEV: 683.42
FH6	PROPOSED HYDRANT FG ELEV: 684.10
FH14	PROPOSED HYDRANT FG ELEV: 681.44
FH18	PROPOSED HYDRANT FG ELEV: 680.50
FH19	PROPOSED HYDRANT FG ELEV: 680.50
W5	VALVE VAULT FG ELEV: 683.60
W6	VALVE VAULT FG ELEV: 682.76

MISCELLANEOUS STORM STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
RD20	ROOF DRAIN CONNECTION INV OUT: 673.30 (E, 12")
RD21	ROOF DRAIN CONNECTION INV OUT: 674.10 (SW, 12")
RD22	ROOF DRAIN CONNECTION INV OUT: 675.50 (NW, 12")
RD23	ROOF DRAIN CONNECTION INV OUT: 675.80 (SW, 12")
RD24	ROOF DRAIN CONNECTION INV OUT: 676.90 (NW, 12")
RD25	ROOF DRAIN CONNECTION INV OUT: 679.41 (N, 12")
RD33	ROOF DRAIN CONNECTION INV OUT: 674.10 (E, 12")
RD34	ROOF DRAIN CONNECTION INV OUT: 674.10 (E, 12")
RD35	ROOF DRAIN CONNECTION INV OUT: 674.10 (E, 12")

SANITARY STRUCTURE TABLE

STRUCTURE NAME:	DETAILS:
S5	4' DIA SANITARY MH RIM: 685.64 INV IN: 675.11 (W, 8") INV IN: 674.19 (N, 8") INV OUT: 675.11 (E, 8")
S6	4' DIA SANITARY MH RIM: 684.60 INV IN: 674.63 (N, 8") INV IN: 674.74 (W, 6") INV IN: 675.57 (E, 6") INV OUT: 674.74 (S, 8")
S7	4' DIA SANITARY MH RIM: 684.79 INV IN: 675.66 (E, 6") INV OUT: 675.66 (W, 6")
S8	4' DIA SANITARY MH RIM: 684.31 INV IN: 676.62 (N, 8") INV IN: 677.12 (W, 6") INV IN: 677.12 (E, 6") INV OUT: 677.12 (S, 8")
S9	4' DIA SANITARY MH RIM: 684.60 INV OUT: 678.01 (W, 6") INV OUT: 678.01 (E, 6")
S20	6-INCH SA LAT BLDG CONNECTION INV: 675.724 RIM: 676.17 INV OUT: 675.72 (W, 6")
S21	6-INCH SA LAT BLDG CONNECTION INV: 678.110 RIM: 678.65 INV IN: 678.11 (W, 6")

DESIGNED BY: JNG  
DRAWN BY: AES  
CHECKED BY: NUG

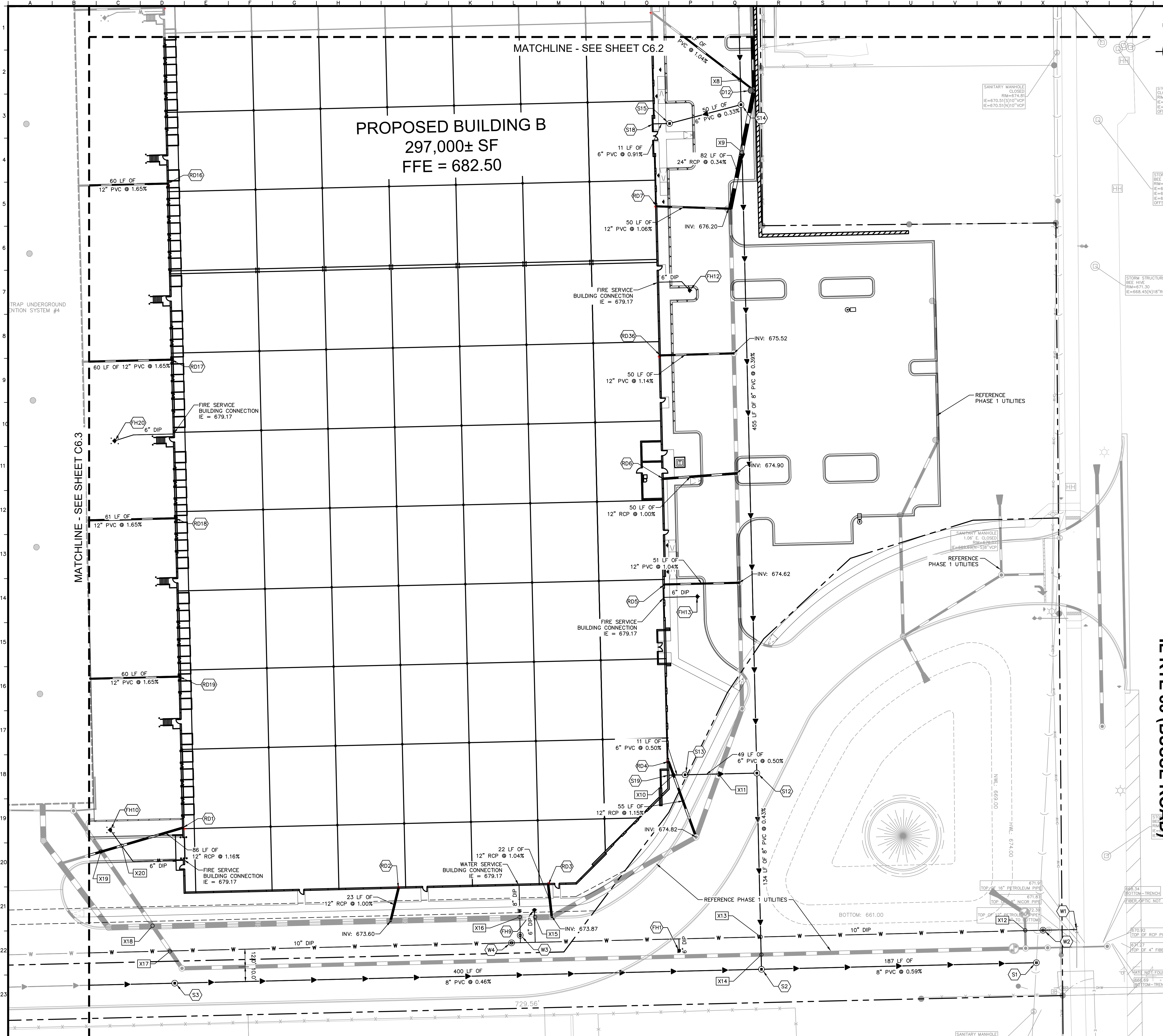
UTILITY PLAN -  
SOUTHWEST

ORIGINAL ISSUE:  
5/28/2021  
KHA PROJECT NO.  
168240005  
SHEET NUMBER  
C6.3

ML REALTY PARTNERS  
BENSENVILLE  
INDUSTRIAL PARK  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

ISSUED FOR BID  
5/28/21  
DATE





FORM STRUCTURE USED  
#H274.13  
668.63(SW)18" RCP  
668.63(ND)E IN SHEL  
SET INTO STRUCTURE

GRAPHIC SCALE IN FEET

0    15    30    60

Call Before You Dig

**JULIE**

1-800-892-0123

**UTILITY CROSSING LEGEND**

X8	8" STORM XX SAN.	B/P = 676.51 T/P = 675.49	X14	8" SAN.	B/P = 672.45 T/P = 672.28
X9	24" STORM 8" SAN.	B/P = 675.72 T/P = 675.27	X15	6" WATER 36" STORM	B/P = 677.18 T/P = 675.68
X10	6" SAN. 12" STORM	B/P = 676.53 T/P = 676.51	X16	8" WATER 36" STORM	B/P = 677.16 T/P = 675.66
X11	6" SAN. 30" STORM	B/P = 676.37 T/P = 675.87	X17	10" WATER 24" STORM	B/P = 673.93 T/P = 672.25
X12	12" STORM 10" WATER	B/P = 669.13 T/P = 667.81	X18	36" STORM 24" STORM	B/P = XXX.XX T/P = XXX.XX
X13	8" SAN. 10" WATER	B/P = 672.45 T/P = 670.17	X19	12" STORM 24" STORM	B/P = 673.27 T/P = 672.25
			X20	6" WATER 12" STORM	B/P = 676.10 T/P = 674.60

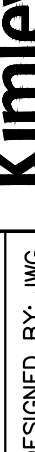

NOTE: WHERE THERE IS LESS THAN 10 FT HORIZONTAL OR 18-IN VERTICAL SEPARATION BETWEEN A SEWER AND WATER MAIN, OR IF WATER MAIN CROSSES UNDER A SEWER, WATER MAIN QUALITY PIPE IS TO BE USED TO CONSTRUCT THE SEWER OR EITHER PIPE IS TO BE ENCASED. THE PROTECTION MUST EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE DISTANCE BETWEEN THE WATER MAIN AND SEWER IS AT LEAST 10 FT. ACCEPTABLE WATER MAIN QUALITY PIPE INCLUDES PVC SDR/YM/Q MEETING ASTM D2241 WITH JOINTS MEETING ASTM D3139 OR DUCTILE IRON PIPE. RCP STORM SEWER WITH FLEXIBLE GASKET JOINTS MEETING ASTM C361 OR ASTM C443 IS ALSO ACCEPTABLE AT CROSSINGS.

STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D12	7" DIA. OPEN LID MH RIM: 680.50 INV IN: 676.41 (NW, 12") INV IN: 676.11 (N, 24") INV OUT: 676.11 (S, 24")

MISCELLANEOUS STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
RD1	ROOF DRAIN CONNECTION INV OUT: 674.10 (W, 12")
RD2	ROOF DRAIN CONNECTION INV OUT: 673.83 (S, 12")
RD3	ROOF DRAIN CONNECTION INV OUT: 674.10 (S, 12")
RD4	ROOF DRAIN CONNECTION INV OUT: 675.45 (S, 12")
RD5	ROOF DRAIN CONNECTION INV OUT: 675.15 (E, 12")
RD6	ROOF DRAIN CONNECTION INV OUT: 675.40 (E, 12")
RD7	ROOF DRAIN CONNECTION INV OUT: 676.73 (E, 12")
RD16	ROOF DRAIN CONNECTION INV OUT: 675.00 (W, 12")
RD17	ROOF DRAIN CONNECTION INV OUT: 675.00 (W, 12")
RD18	ROOF DRAIN CONNECTION INV OUT: 675.00 (W, 12")
RD19	ROOF DRAIN CONNECTION INV OUT: 675.00 (W, 12")
RD36	ROOF DRAIN CONNECTION INV OUT: 676.09 (E, 12")

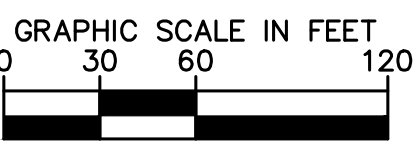
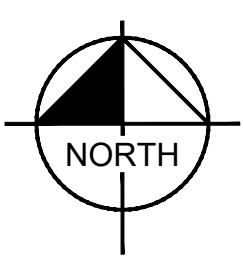
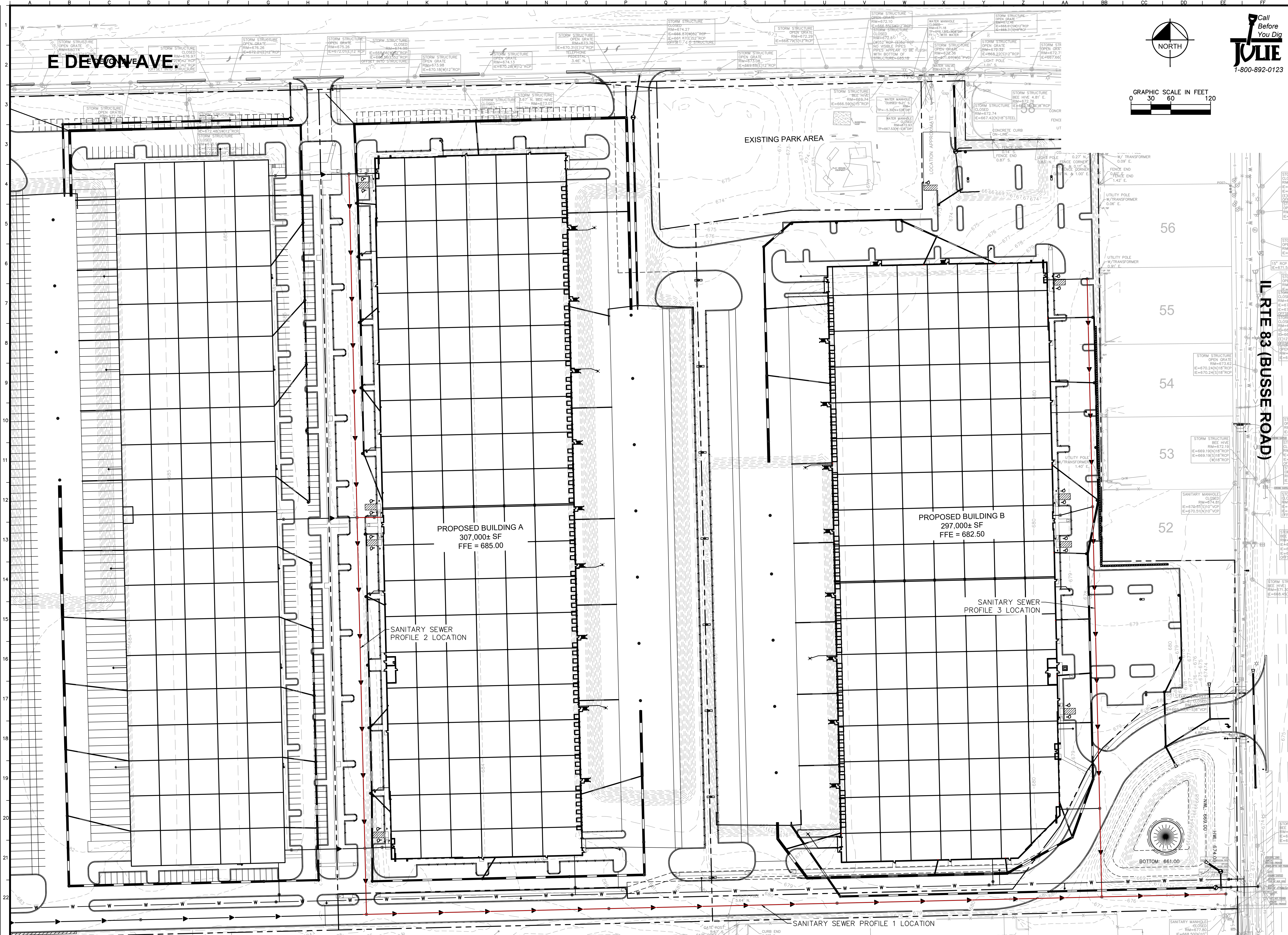
WATER STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
FH1	PROPOSED HYDRANT FG ELEV: 679.62
FH9	PROPOSED HYDRANT FG ELEV: 681.03
FH10	PROPOSED HYDRANT FG ELEV: 679.31
FH12	PROPOSED HYDRANT FG ELEV: 681.54
FH13	PROPOSED HYDRANT FG ELEV: 681.71
FH20	PROPOSED HYDRANT FG ELEV: 678.08
W1	TEE INTO PROPOSED WATERMAIN FG ELEV: 675.40
W2	VALVE VAULT FG ELEV: 675.40
W3	VALVE VAULT FG ELEV: 678.63
W4	VALVE VAULT FG ELEV: 678.81

SANITARY STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
S1	CONNECT TO EXISTING SANITARY SEWER W/ DOGHOUSE MH. CONTRACTOR SHALL FIELD VERIFY SIZE, DEPTH, & LOCATION OF EX SANITARY SEWER PRIOR TO ORDERING MATERIALS. RIM: 675.24 INV IN: 668.62 (W, 8")
S2	4" DIA SANITARY MH RIM: 677.12 INV IN: 669.72 (W, 8") INV IN: 672.38 (N, 8") INV OUT: 669.72 (E, 8")
S3	4" DIA SANITARY MH RIM: 679.13 INV IN: 671.56 (W, 8") INV OUT: 671.56 (E, 8")
S12	4" DIA SANITARY MH RIM: 679.07 INV IN: 672.95 (N, 8") INV IN: 676.26 (W, 6") INV OUT: 672.95 (S, 8")
S13	4" DIA SANITARY MH RIM: 680.30 INV IN: 676.51 (W, 6") INV OUT: 676.50 (E, 6")
S14	4" DIA SANITARY MH RIM: 680.78 INV OUT: 674.73 (N, 8") INV OUT: 674.73 (S, 8") INV OUT: 674.63 (W, 6")
S15	4" DIA SANITARY MH RIM: 678.14 INV IN: 674.79 (E, 6") INV OUT: 674.79 (W, 6")
S18	6-INCH SA LAT BLDG CONNECTION RIM: 674.891 RIM: 675.43 INV IN: 674.89 (E, 6")
S19	6-INCH SA LAT BLDG CONNECTION RIM: 676.56 RIM: 677.10 INV OUT: 676.56 (E, 6")

ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		UTILITY PLAN - SOUTHEAST		SCALE:	AS NOTED	© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 1201 KIMLEY-HORN DRIVE WARRENVILLE, IL 60555 WWW.KIMLEY-HORN.COM	5/28/21 DATE	JWG BY
				DESIGNED BY:	JWG			
				DRAWN BY:	AES			
				CHECKED BY:	NUG			
				ISSUED FOR BID	REVISIONS			



Drawing name: \\kimley-horn.com\vw\_chs\CHS\_LDEV\168240005\_mf\_realty\_bensenville\2 Design\CAD\plan\sheet\buildings 3 and 4\6.5 UTILITY PROFILES.dwg C6.0 (4) May 28, 2021 12:30pm By: Anna Sampson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

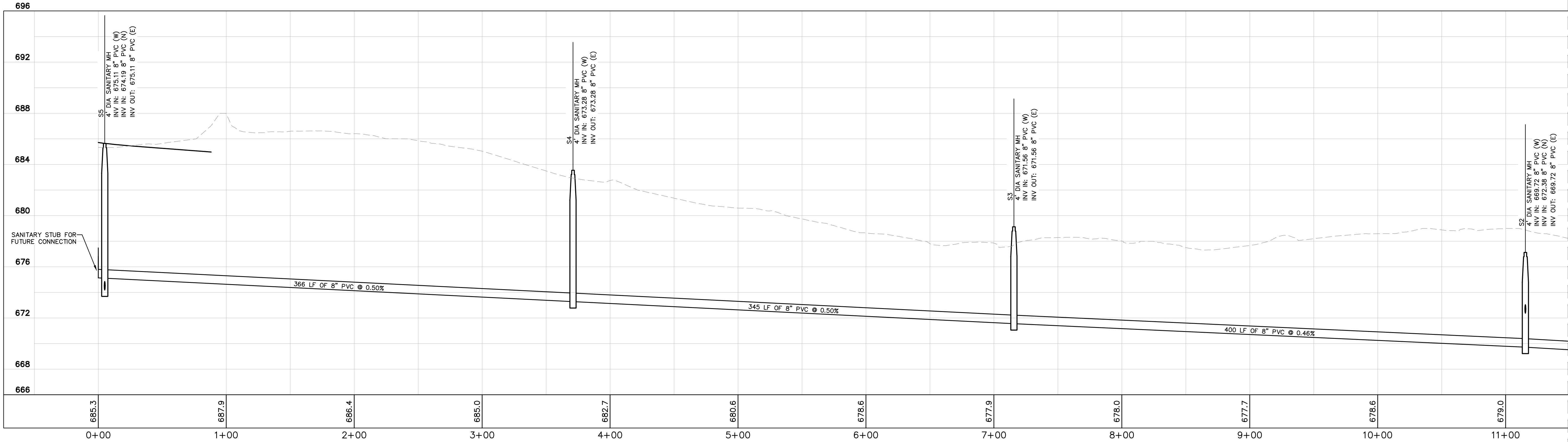
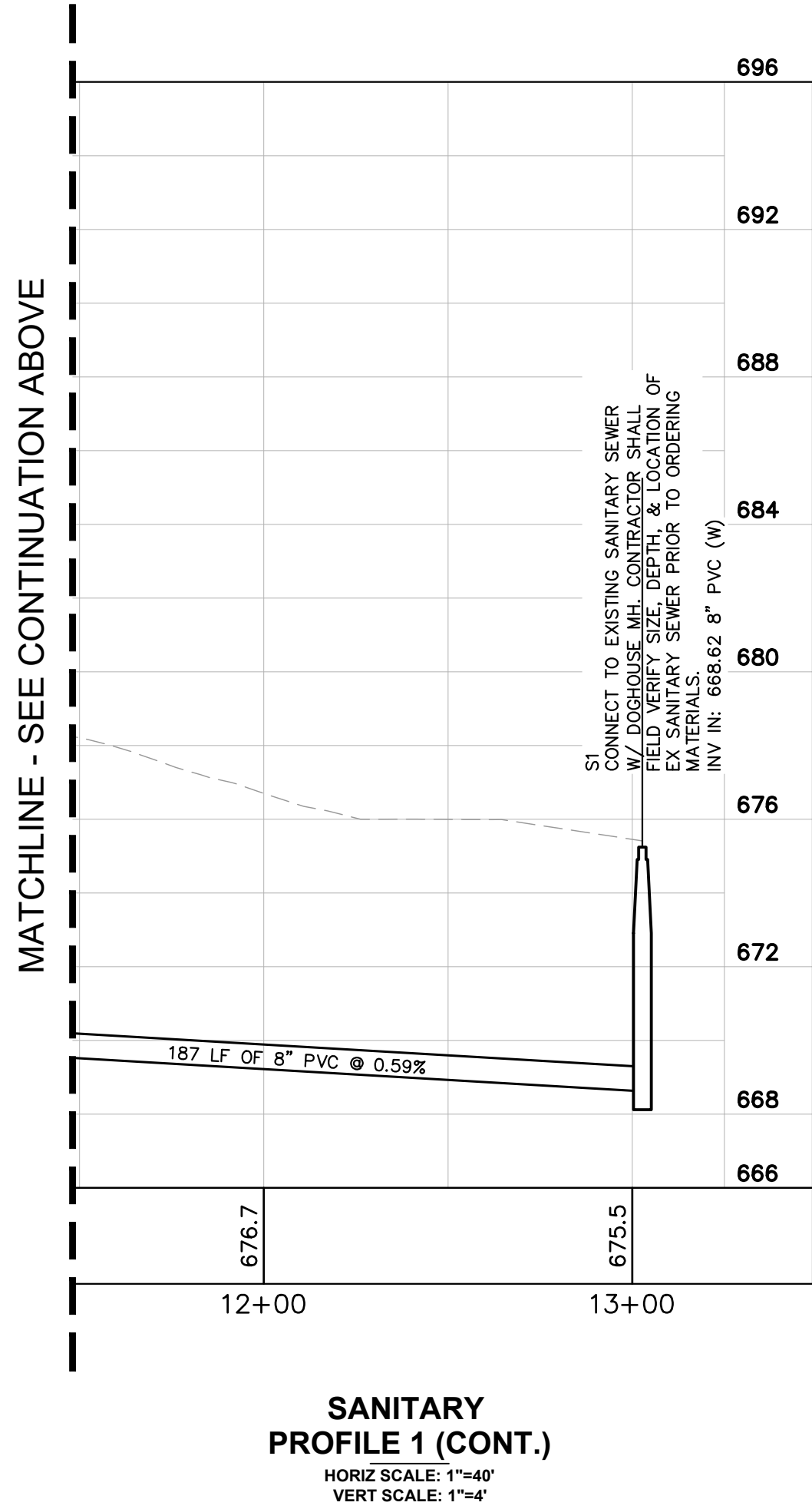


Call Before You Dig  
**1-800-892-0123**

ML REALTY / PROLOGIS		KIMLEY»HORN		JWG	
CORPORATE PARK - PHASE 1		DESIGNED BY: JWG		5/20/21	
INFRASTRUCTURE		DRAWN BY: AES		DATE	
IL RTE 83 (BUSSE ROAD) & DEVON AVENUE		CHECKED BY: NAG		REVISIONS	
BENSENVILLE, IL 60106		AS NOTED		1	
ORIGINAL ISSUE: 4/2/2021		DESIGNED BY: JWG		ISSUED FOR VILLAGE, COUNTY, AND IDOT REVIEW	
KHA PROJECT NO. 168240005		DRAWN BY: AES		DATE	
SHEET NUMBER		C6.5		BY	


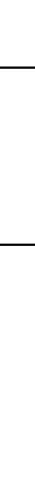


Drawing name: \\kimley-horn.com\\VW\_OHS\\OHS\_LDEV\\168240005\_mf\_realty\_bensenville\_1\\2\_Design\\CAD\\plansheets\\buildings 3 and 4\\C6.6 UTILITY PROFILES.dwg C6.6 May 28, 2021 12:40pm by Anna Sampson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

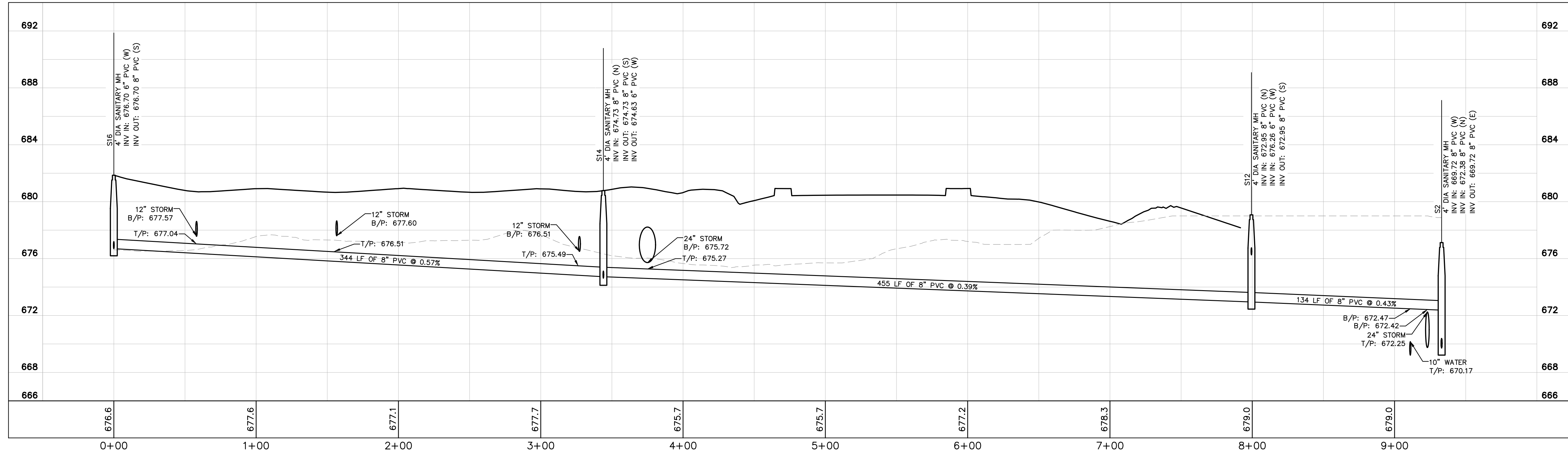


MATCHLINE - SEE CONTINUATION BELOW



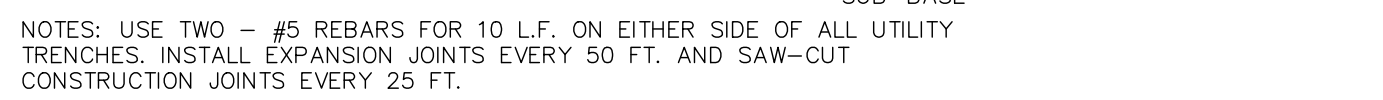
C6.6		SHEET NUMBER		KHA PROJECT NO. 168240005		ORIGINAL ISSUE: 4/2/2021		ML REALTY / PROLOGIS CORPORATE PARK - PHASE 1 INFRASTRUCTURE IL RTE 83 (BUSSE ROAD) & DEVON AVENUE BENSENVILLE, IL 60106		<div></div> <div>SANITARY PROFILES</div>		<div><p>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINTER ROAD, SUITE 600 WARRENVILLE, IL 60055 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM</p></div> <div>SCALE: AS NOTED DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NUG</div>		<div>No.</div> <div>1</div> <div>ISSUED FOR VILLAGE, COUNTY, AND IDOT REVIEW</div> <div>5/20/21</div> <div>DATE</div> <div>BY</div> <div>REVISIONS</div>	
------	--	--------------	--	------------------------------	--	-----------------------------	--	--	--	--	--	---	--	--	--



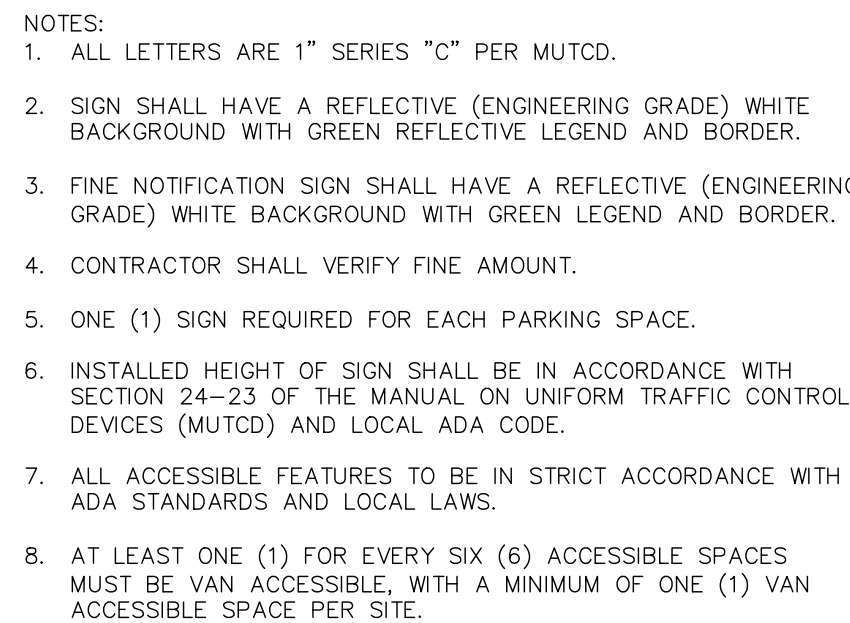


**SOUTH SANITARY**  
**PROFILE 3**  
HORIZ SCALE: 1"=40'  
VERT SCALE: 1"=4'





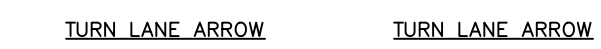
**B6.12 CURB & GUTTER**  
N.T.S.



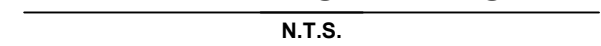
**ACCESSIBLE PARKING SIGNAGE**  
N.T.S.



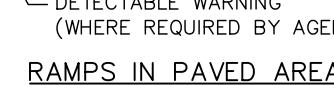
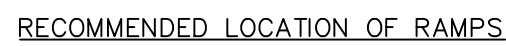
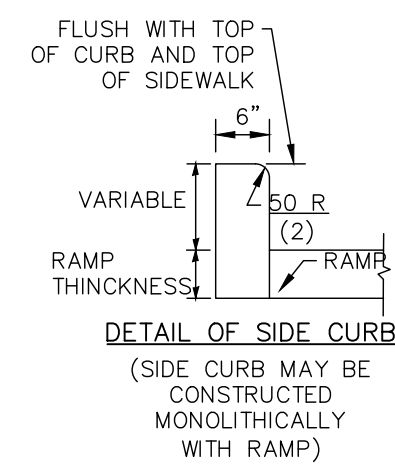
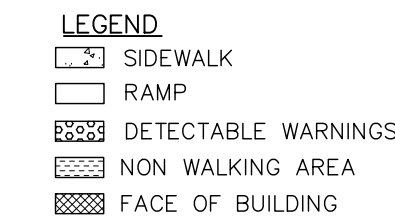
**STANDARD SIGN BASE**  
N.T.S.



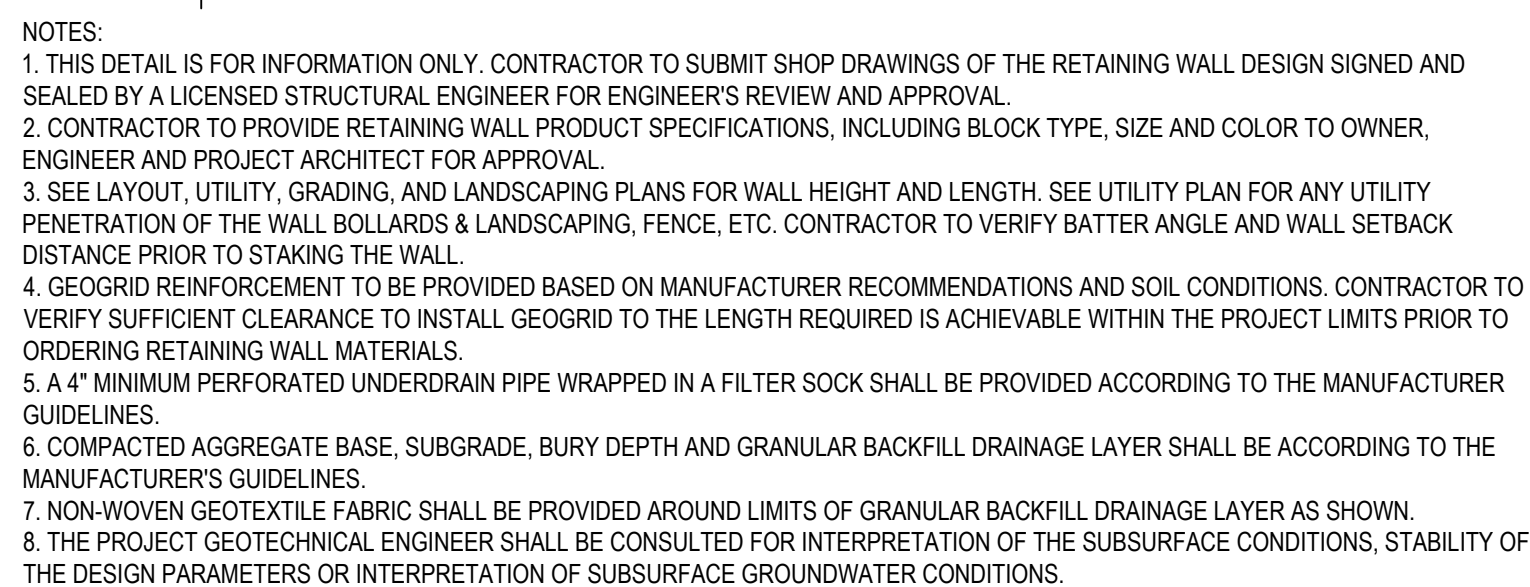
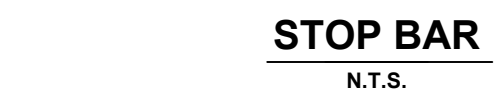
<u>THROUGH LANE ARROW</u>	<u>ONLY SYMBOL</u>
NOTE: ALL TRAFFIC FLOW ARROWS TO BE PAINTED PER STATE DOT STANDARDS PER DIMENSIONS ABOVE	



1. THE MAXIMUM SLOPE OF THE SIDE FLARE FOR TYPE B RAMPS SHALL BE 1:10. HOWEVER, IF THE WIDTH OF THE LANDING AREA BETWEEN THE TOP OF THE RAMP AND AN OBSTRUCTION IS LESS THAN 1.2m (4'-0") THEN THE MAXIMUM SLOPE SHALL BE 1:12.
2. ALL SLOPE RATIOS ARE EXPRESSED AS UNITS OF VERTICAL DISPLACEMENT TO UNITS OF HORIZONTAL DISPLACEMENT (V:H).
3. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SHOWN.
4. RAMP DETAILS TO BE COORDINATED PER VILLAGE REQUIREMENTS.
5. DETECTABLE WARNINGS SHALL CONSIST OF TRUNCATED DOMES WHICH SHALL BE VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.



**TYPICAL HANDICAP STRIPING**  
N.T.S.

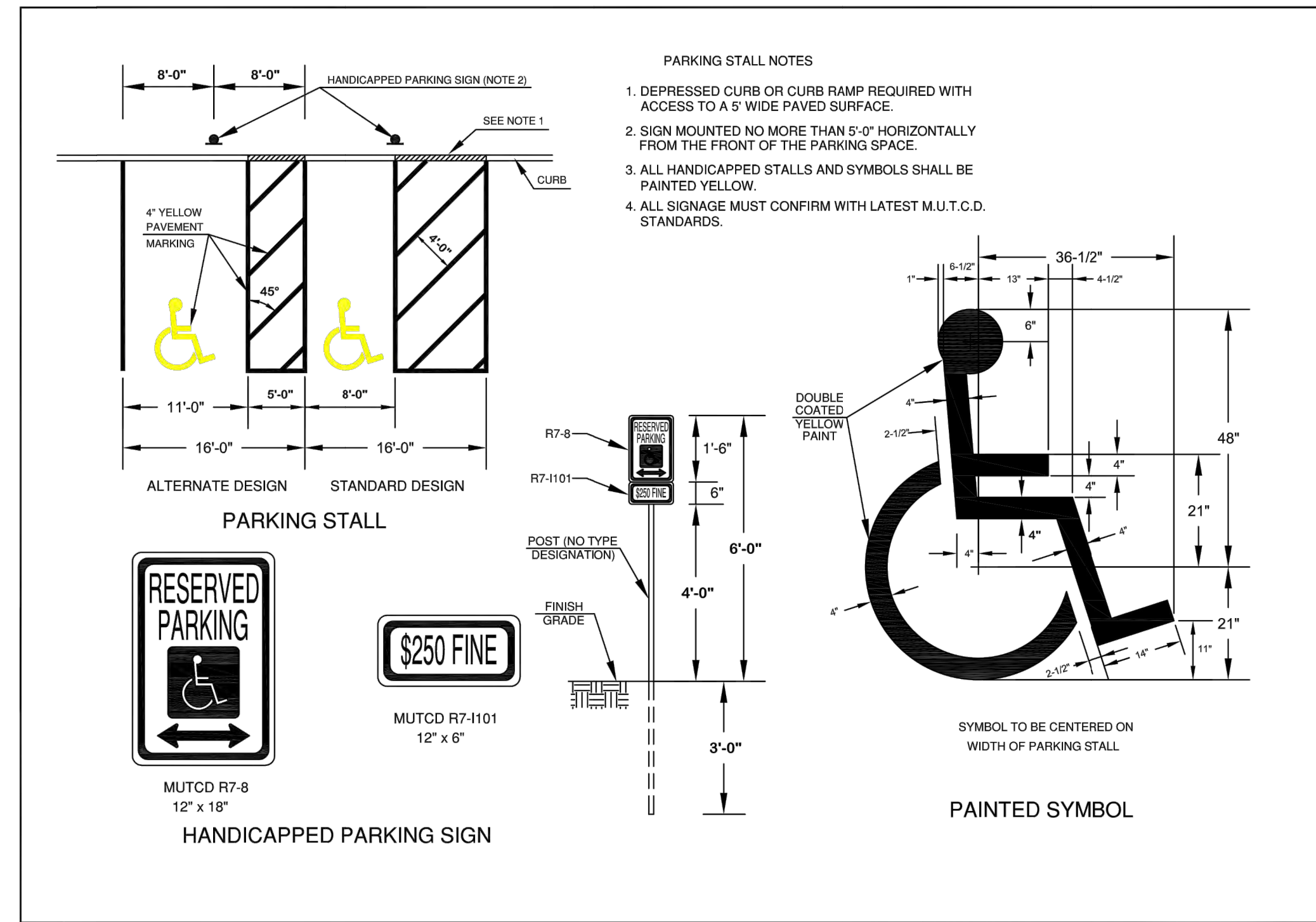
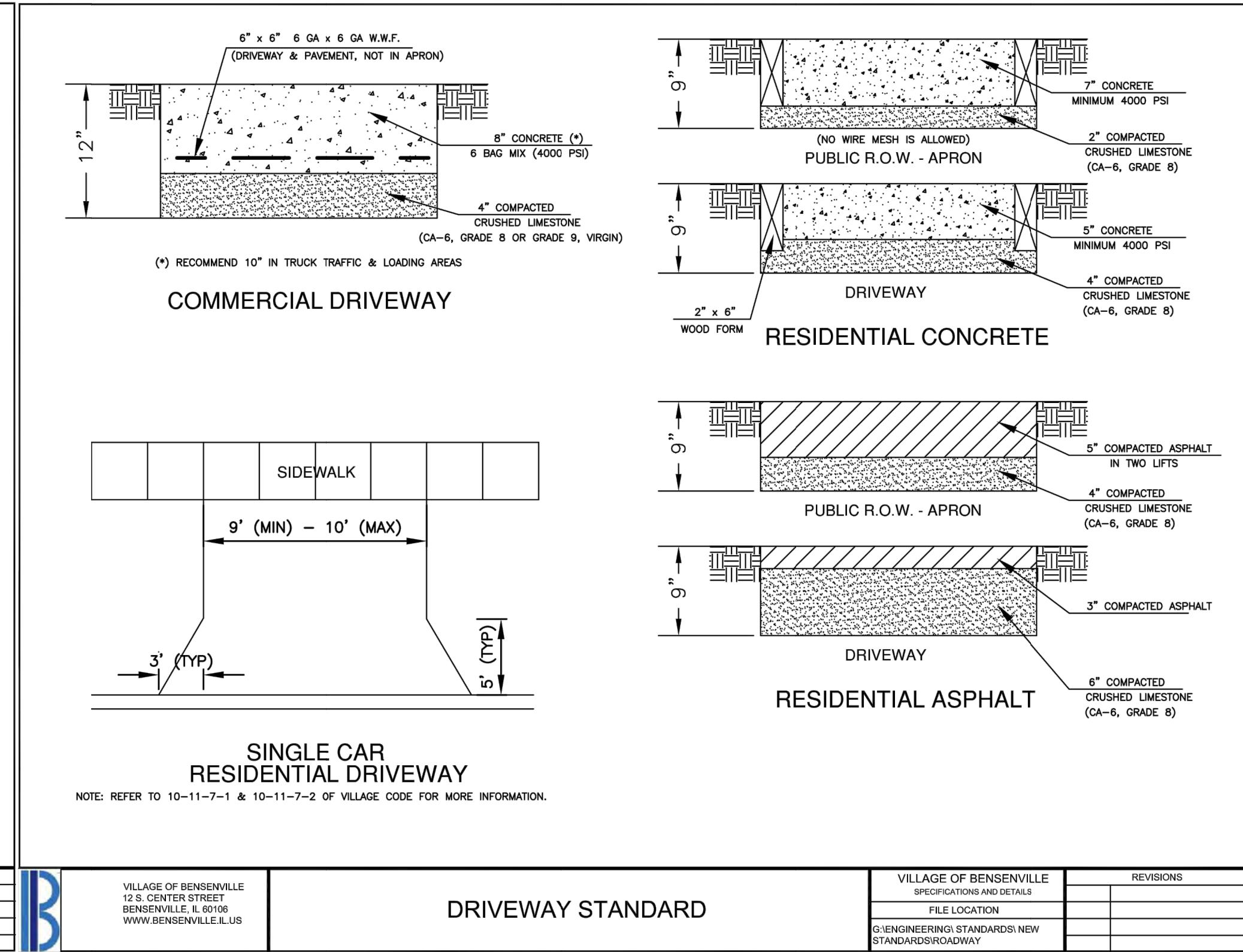
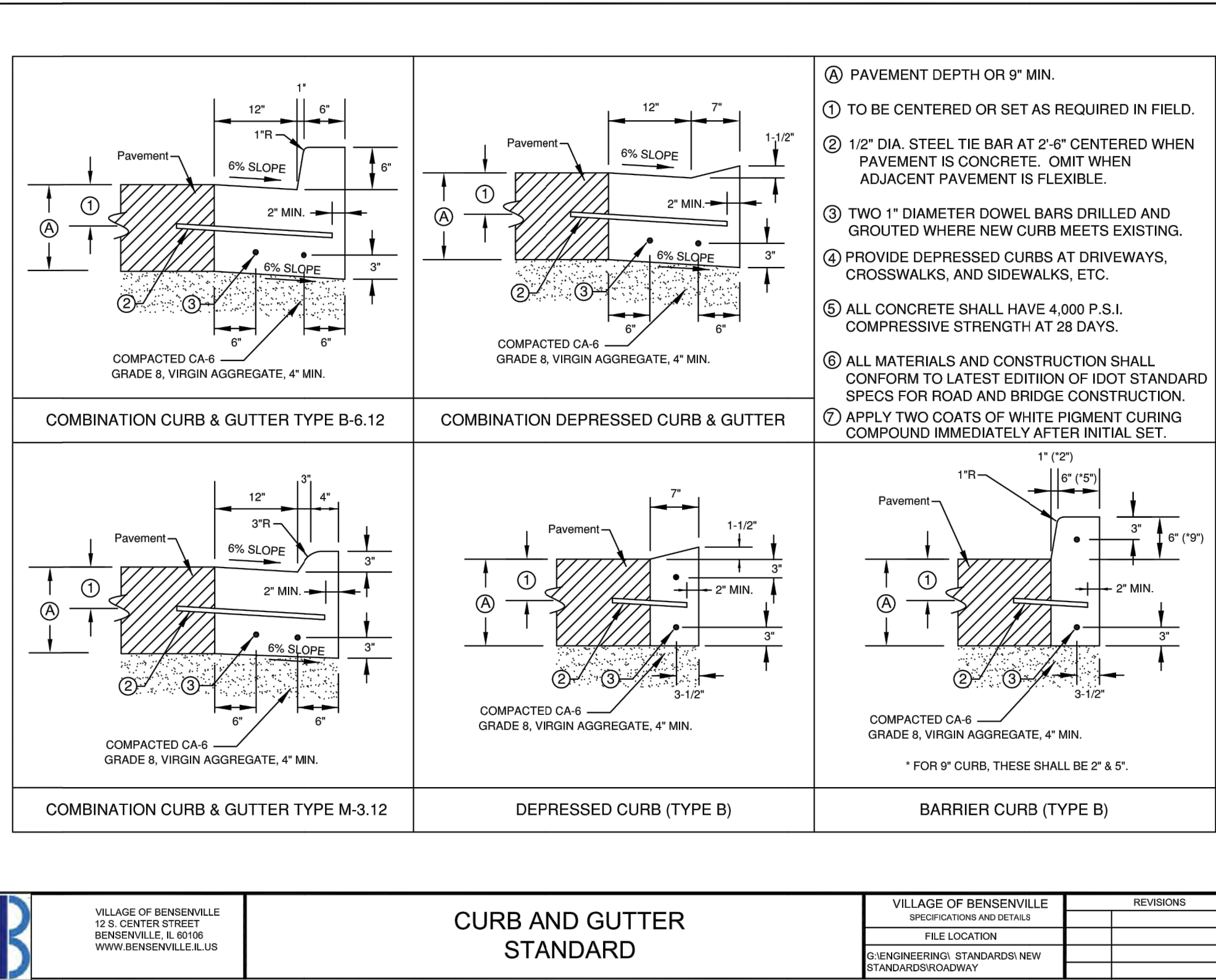
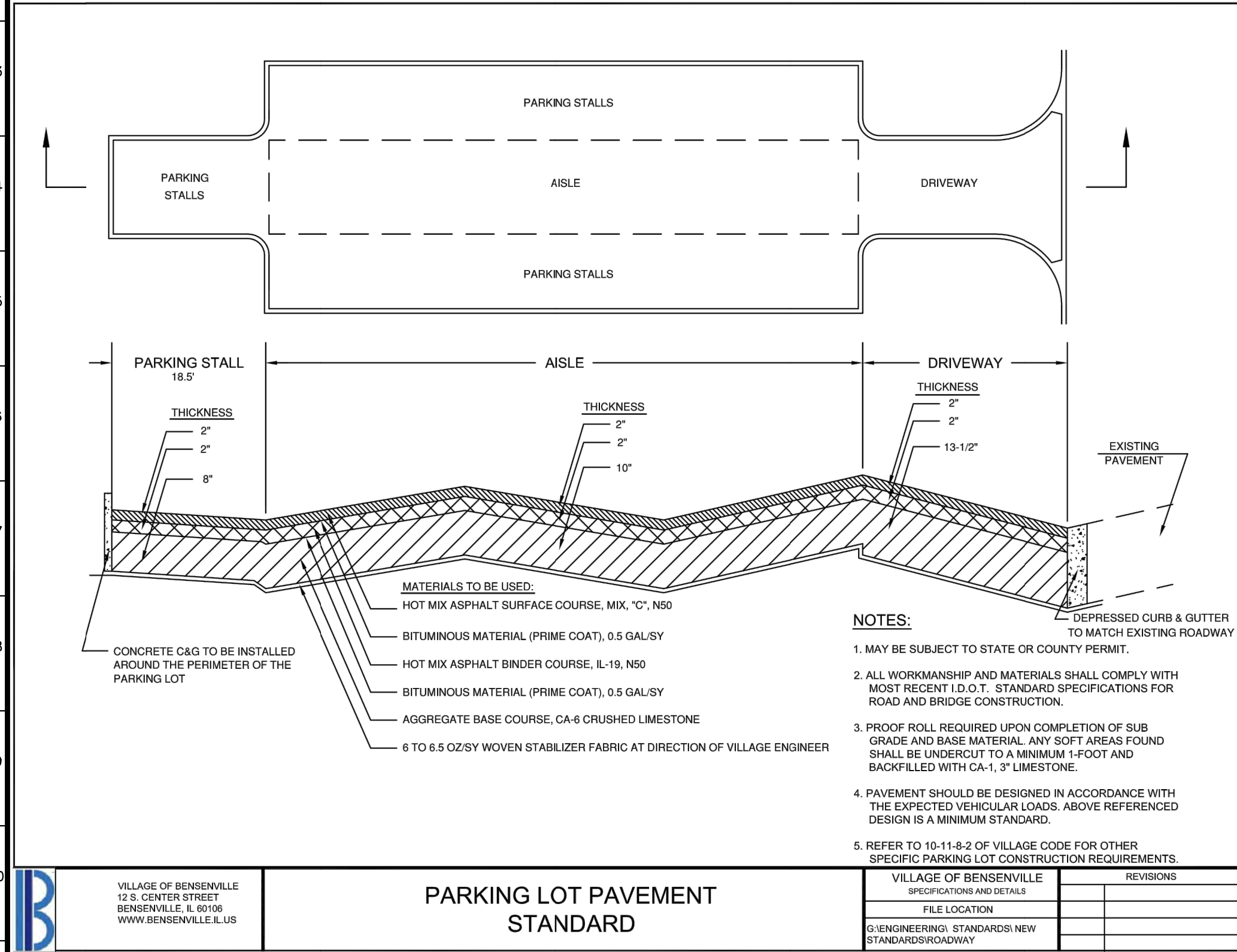


**SEGMENTAL BLOCK RETAINING WALL**  
N.T.S.





Drawing name: \\kimley-horn.com\\VW\\CHS\\CHS\\DEV\\168240005\_mf\\res\\Bensenville\\12.5\\C7.2\\C7.2 CONSTRUCTION DETAILS.dwg C7.2 May 28, 2021 12:40pm by: Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SCALE:	DESIGNED BY: JWG	DRAWN BY: AES	CHECKED BY: NUG
AS NOTED			

NO.	REVISIONS

ISSUED FOR BID	DATE	BY
5/28/21		JWG

**Kimley»Horn**

© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600  
BENSENVILLE, IL 60106  
PHONE: 630-487-5550  
WWW.KIMLEY-HORN.COM

**ML REALTY PARTNERS**

**CONSTRUCTION DETAILS**

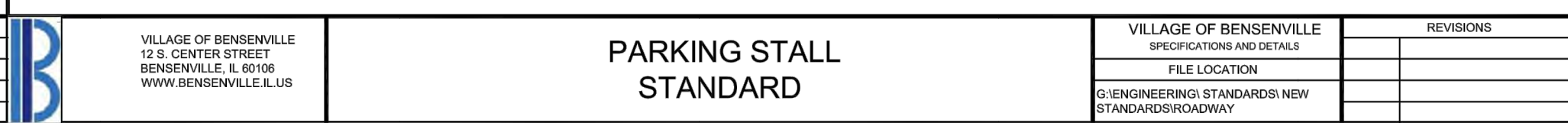
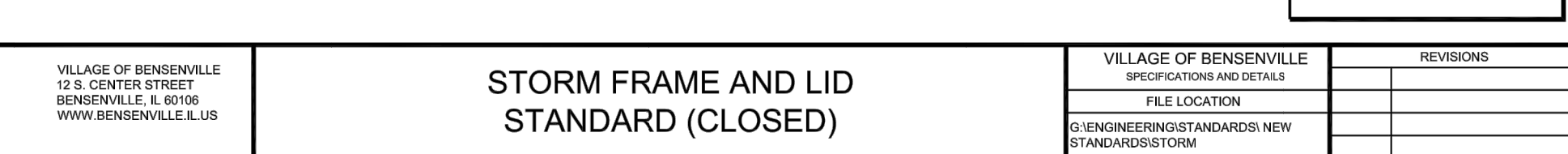
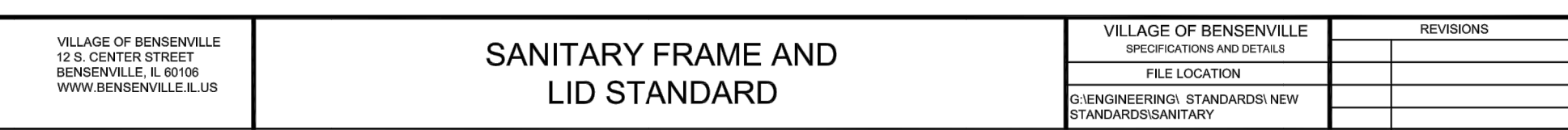
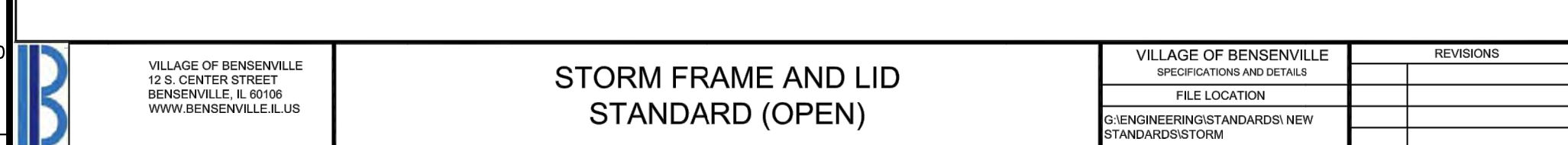
**ML REALTY PARTNERS**  
**BENSENVILLE INDUSTRIAL PARK**  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

ORIGINAL ISSUE:  
5/28/2021

KHA PROJECT NO.  
168240005

SHEET NUMBER  
**C7.1**



[illegible]





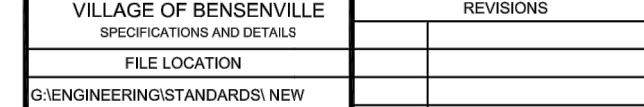
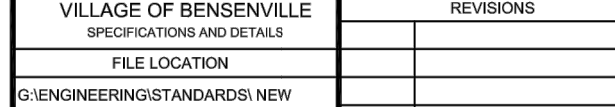
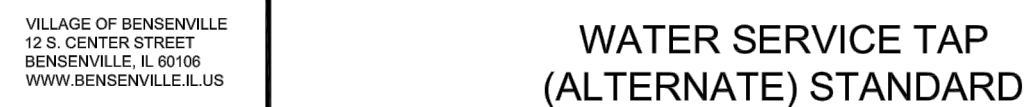
- ### CATCH BASIN (TY A) STANDARD



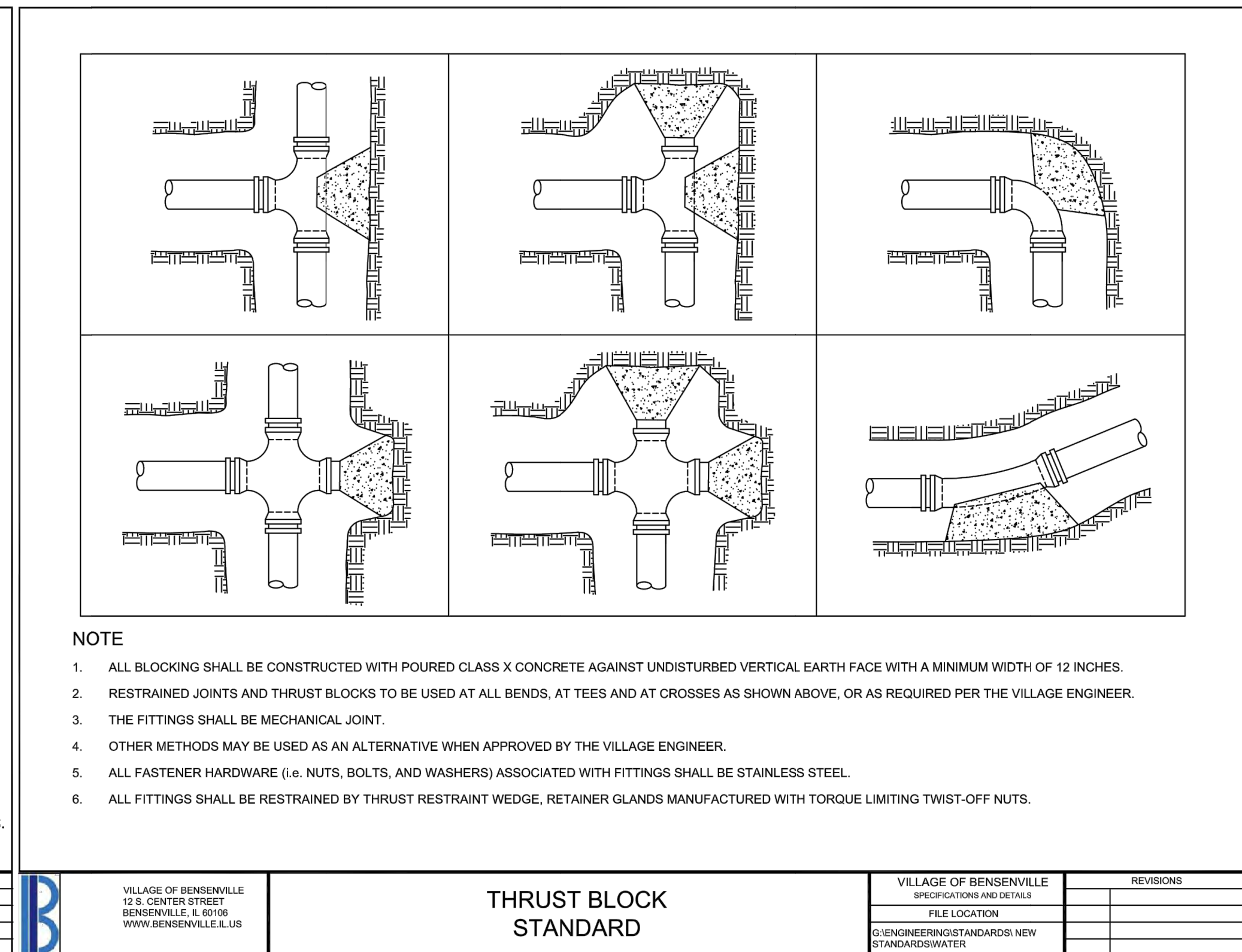
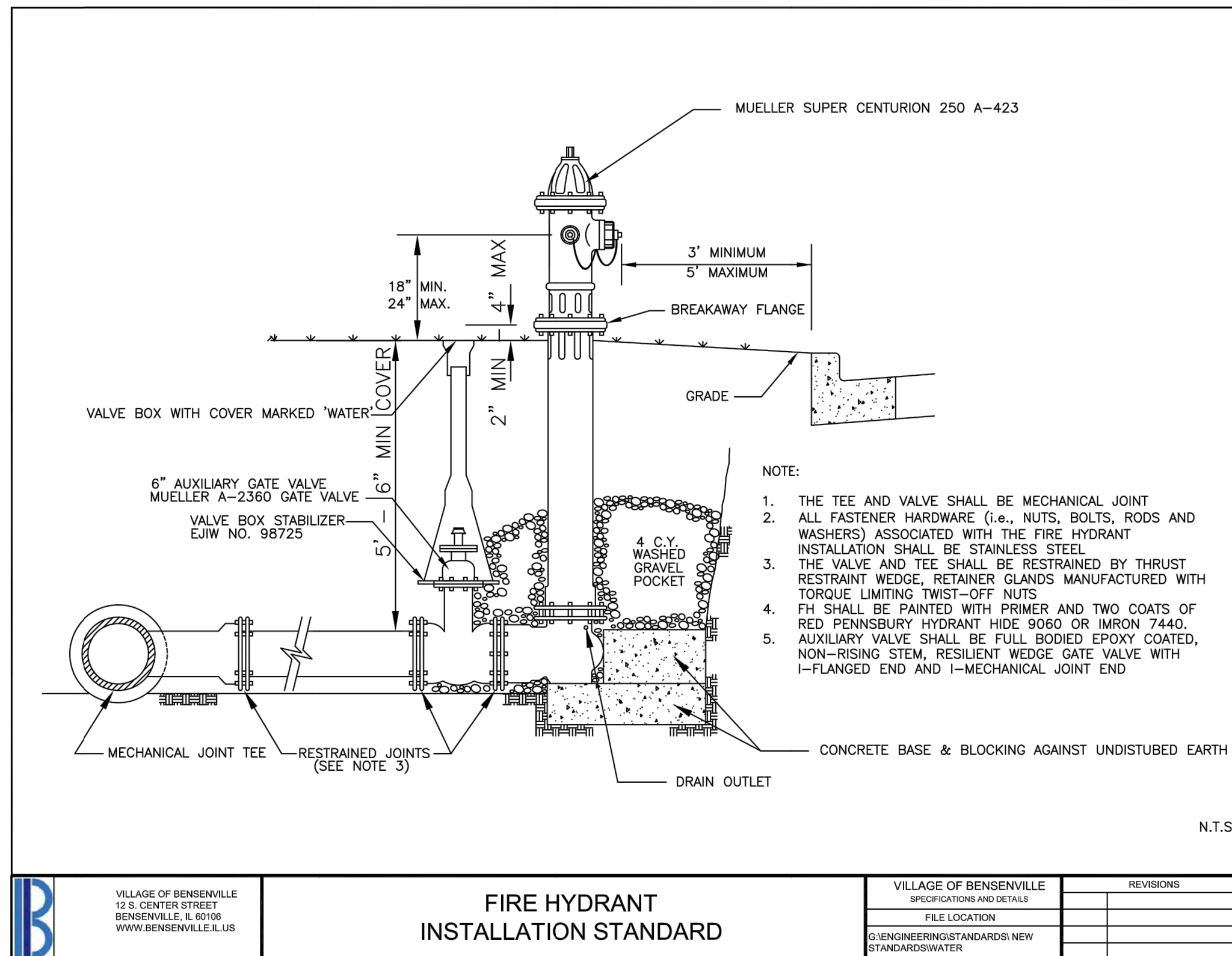
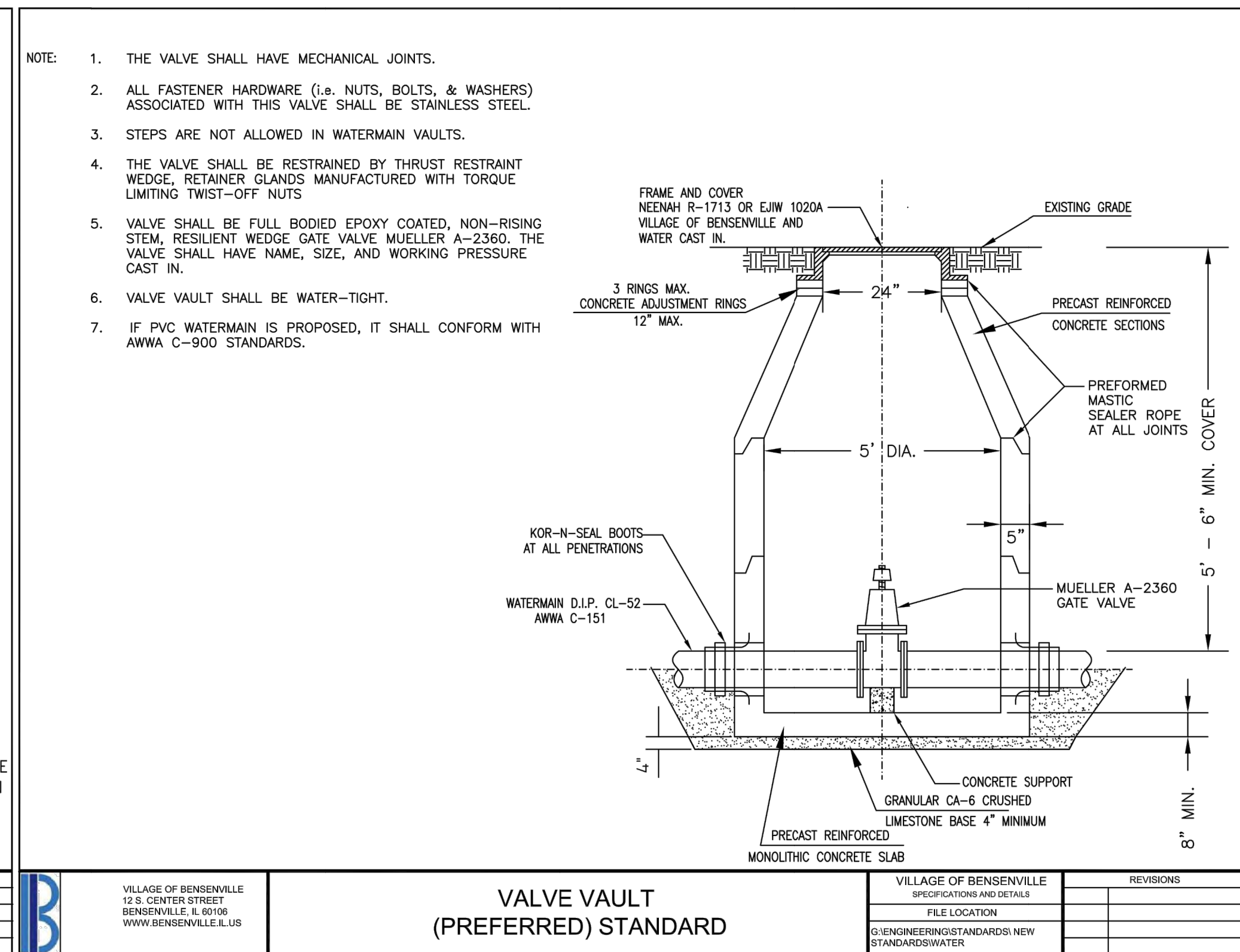
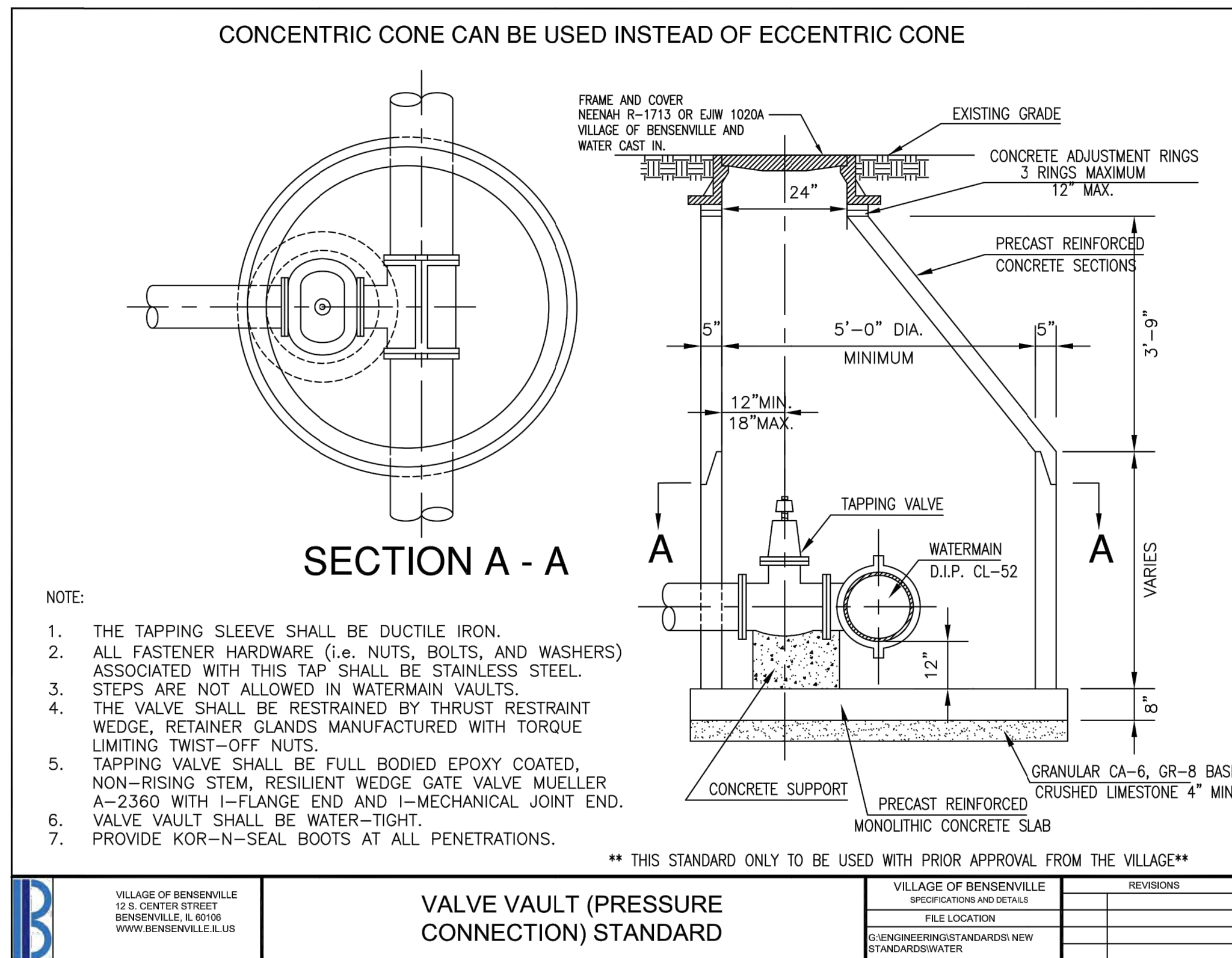
- ## WATER SERVICE (PREFERRED) CONNECTION STANDARD



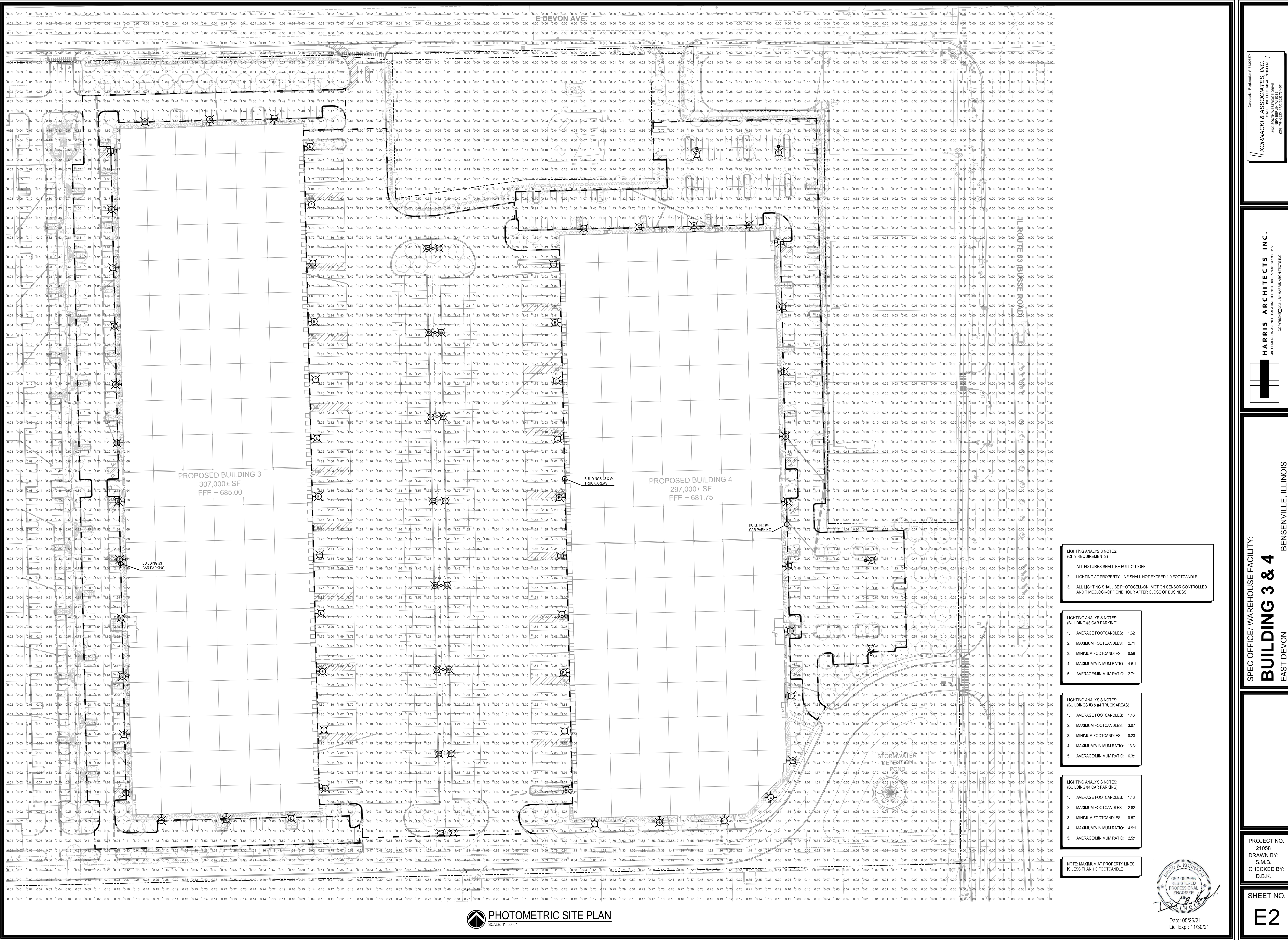
	<b>HEAVY DUTY</b>
--	-------------------











LIGHTING ANALYSIS NOTES:  
(CITY REQUIREMENTS)

1. ALL FIXTURES SHALL BE FULL CUTOFF.
2. LIGHTING AT PROPERTY LINE SHALL NOT EXCEED 1.0 FOOTCANDLE.
3. ALL LIGHTING SHALL BE PHOTOCELL-ON, MOTION SENSOR CONTROLLED AND TIMECLOCK-OFF ONE HOUR AFTER CLOSE OF BUSINESS.

LIGHTING ANALYSIS NOTES:  
(BUILDING #3 CAR PARKING)

1. AVERAGE FOOTCANDELS: 1.62
2. MAXIMUM FOOTCANDELS: 2.71
3. MINIMUM FOOTCANDELS: 0.59
4. MAXIMUM/MINIMUM RATIO: 4.61
5. AVERAGE/MINIMUM RATIO: 2.71

LIGHTING ANALYSIS NOTES:  
(BUILDINGS #3 & #4 TRUCK AREAS)

1. AVERAGE FOOTCANDELS: 1.46
2. MAXIMUM FOOTCANDELS: 3.07
3. MINIMUM FOOTCANDELS: 0.23
4. MAXIMUM/MINIMUM RATIO: 13.31
5. AVERAGE/MINIMUM RATIO: 6.31

LIGHTING ANALYSIS NOTES:  
(BUILDING #4 CAR PARKING)

1. AVERAGE FOOTCANDELS: 1.43
2. MAXIMUM FOOTCANDELS: 2.82
3. MINIMUM FOOTCANDELS: 0.57
4. MAXIMUM/MINIMUM RATIO: 4.91
5. AVERAGE/MINIMUM RATIO: 2.51

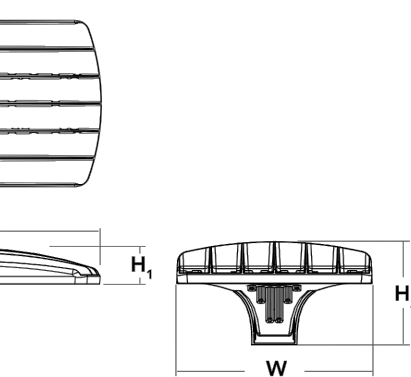
NOTE: MAXIMUM AT PROPERTY LINES  
IS LESS THAN 1.0 FOOTCANDLE



Date: 05/26/21  
Lic. Exp.: 11/30/21



## 21058

[illegible]

<b>EPA:</b>	0.95 ft <sup>2</sup> (.09 m <sup>2</sup> )
<b>Length:</b>	26" (66.0 cm)
<b>Width:</b>	13" (33.0 cm)
<b>Height<sub>1</sub>:</b>	3" (7.62 cm)
<b>Height<sub>2</sub>:</b>	7" (17.8 cm)
<b>Weight (max):</b>	16 lbs (7.25 kg)

**EXAMPLE:** DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

PSAD Line										
Series	LEDs	Color temperature	Distribution		Voltage	Mounting				
DSO LED	Forward optics		30K 3000K	TSS	1 spot short (downstream)	TSS	HMO1		Shipped individually	
	P1	P5	4000 4000C	TSS	1 spot short	TSS	HMO2		Shipped in pairs	
	P2	P6	500K 5000C	TSS	1 spot short	TSS	HMO3		Shipped in pairs	
	P3	P7		TSS	1 spot short	BLC	208*		WBLA	Wall bracket
				TSM	1 spot medium	LOD	209*		SHBA	Shipped in pairs external mounting adapter
Retro-reflective						RED	217*		219*	
P4*	P12*			RTSM	Forward short medium		327*		Shipped separately	
P9*	P13*			RTSM	1 spot very short		480*		RWAB SSOB2	
									Shipped in pairs	

Control system	Motor system	Shallow system	Deep system
<b>Installed</b>		<b>Installed</b>	
<b>NR100</b> Single in 60 minutes / installed 100%	<b>PR</b> High flow motor control system 6-10" mounting High flow motor control system 20"	<b>HC</b> Inverse shutoff valve	<b>ODBD</b> Dark bronze <b>DEB</b> Dark blue
<b>PR100</b> Network, high flow motor control system	<b>PR100</b> High flow motor control system 15"-27" mounting High flow motor control system 20"	<b>SF</b> Single float (102, 247, 3401)	<b>DAW</b> Natural aluminum
<b>PR150</b> 150 GPM high flow motor control system	<b>PR150C</b> High flow motor control system 6-10" mounting High flow motor control system 20"	<b>DF</b> Double float (102, 248, 3402)	<b>DF</b> Double float (102, 248, 3402)
<b>PR175</b> 175 GPM high flow motor control system	<b>PR175C</b> High flow motor control system 6-10" mounting High flow motor control system 20"	<b>RT</b> Remote reset operation	<b>DEB</b> Dark bronze
<b>PR200</b> 200 GPM high flow motor control system	<b>PR175C</b> High flow motor control system 15"-27" mounting High flow motor control system 20"	<b>RT</b> Remote reset operation	<b>DEB</b> Dark bronze
<b>DAG</b> 0-10V dimming output with load feedback for external control (control external system)	<b>FAO</b> Field adjustable speed	<b>BA</b> Backflow prevention	<b>DAG</b> Dimmed white
		<b>BAA</b> Bay Area's Act Compliant	<b>DAG20</b> Dimmed white
		<b>Installed separately</b>	
		<b>RS</b> In-line gasket	<b>RS</b> In-line gasket
		<b>EGS</b> External gear shield	



One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SEIKV (7378) • [www.lithonia.com](http://www.lithonia.com)  
© 2011-2021 Acuity Brands Lighting, Inc. All rights reserved.

D5X3-LED  
Rev. 05/04/21  
Page 1 of 8

## 21058



WALL BRACKET/WALL SCENCE FIXTURE - SEE FIXTURE SCHEDULE

SURFACE/PENDANT FIXTURE - SEE FIXTURE SCHEDULE

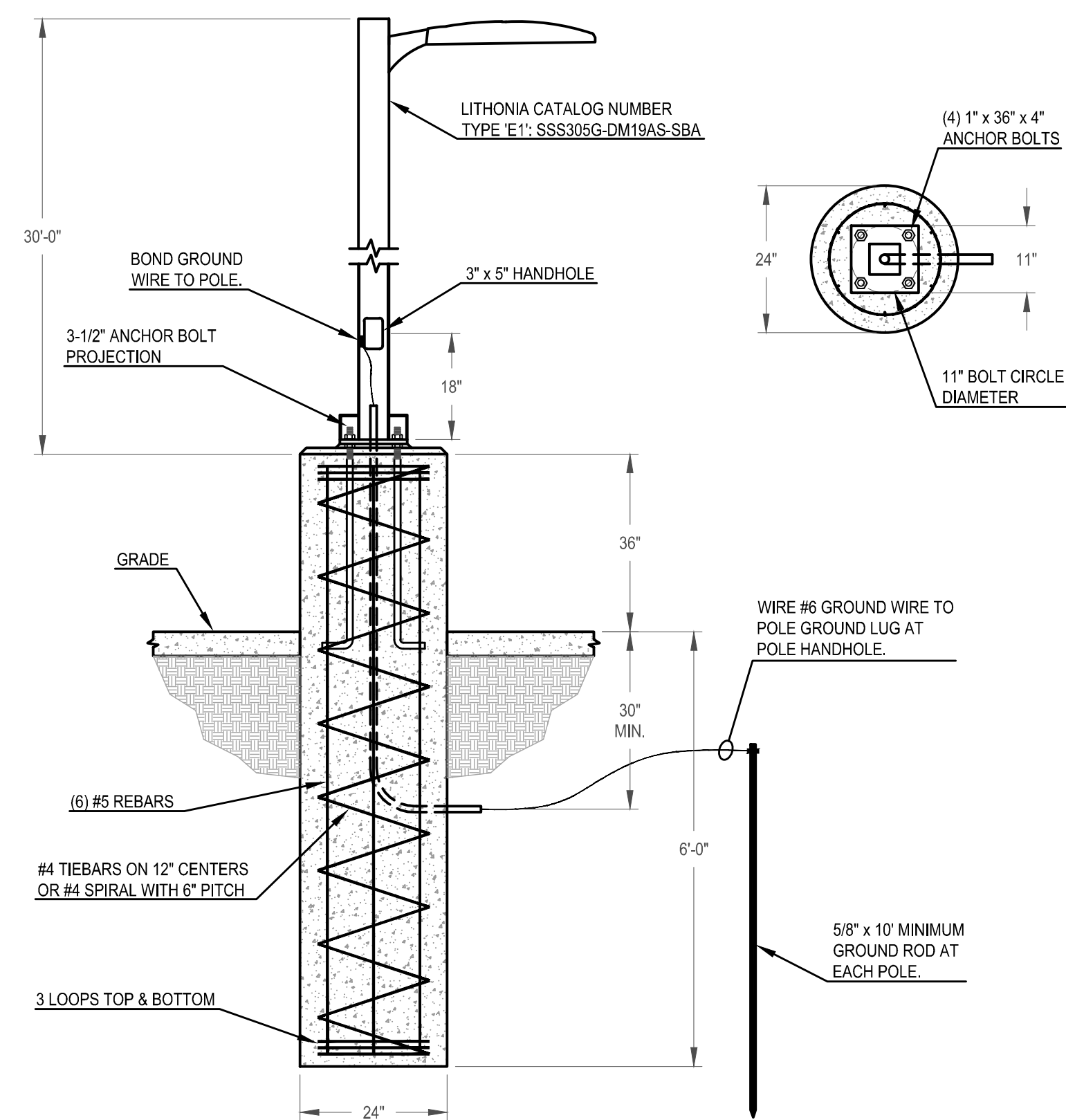
RECESSED DOWNLIGHT FIXTURE - SEE FIXTURE SCHEDULE

POLE &amp; LUMINAIRE(S) FIXTURE - SEE FIXTURE SCHEDULE

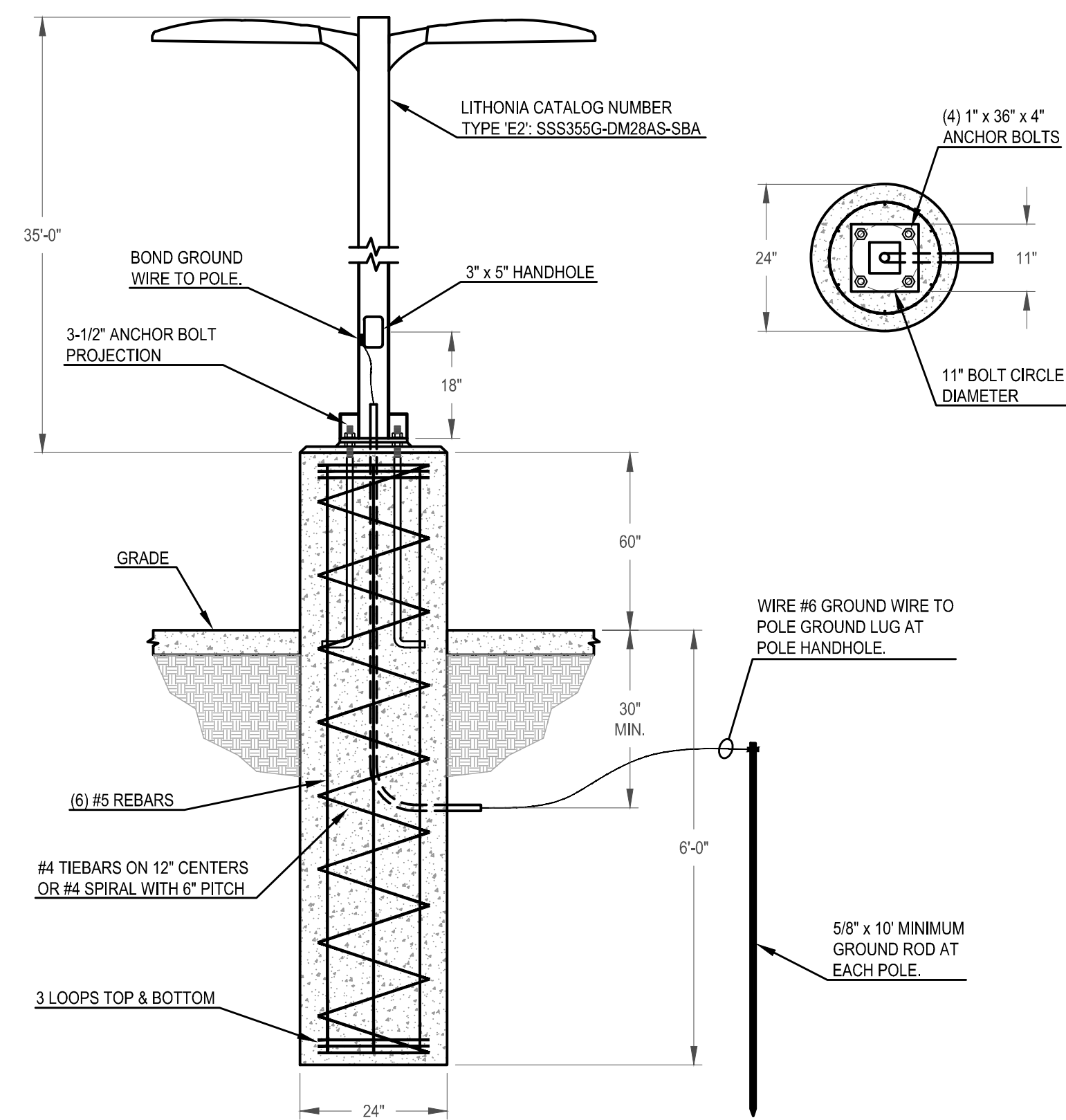
SWITCHED CIRCUIT

BRANCH CIRCUIT

AFF ABOVE FINISHED FLOOR  
 AFI ABOVE FINISHED GRADE  
 AMF ARC-FAULT INTERRUPTER  
 AMPERES/AMPERAGE  
 AV AUDIO VISUAL  
 BB BATTERY BACKB  
 SFC BELOW FINISHED CEILING  
 BULB BUILT-IN OVERLOAD  
 BRKR BREAKER  
 BAKED BAKED WHITE ENAMEL  
 CSA COLOR BY ARCHITECT  
 CP CONTROL PANEL  
 CPT CIRCUIT  
 CTG CONTROL  
 DQD DUCK EQUIPMENT CONTROL PANEL  
 DISC DISCONNECT  
 EC ELECTRICAL CONTRACTOR  
 EM EMERGENCY  
 ER EXISTING RELOCATED  
 ECT ELECTRICAL TIME CLOCK CONTROL  
 EX EXISTING TO REMAIN  
 EXD EXISTING TO BE DEMO'D  
 EXR EXISTING TO BE RELOCATED  
 EWC ELECTRIC WATER COOLER  
 FIRE FIRE ALARM ANNUNCIATOR PANEL  
 FACP FIRE ALARM CONTROL PANEL  
 FLD FIRE LOAD AMPS  
 FLA FLOAT SWITCH  
 FPC FIRE PROTECTION CONTRACTOR  
 FURN FURNACE  
 GFCI GENERAL PROTECTION CIRCUIT  
 GND GROUND  
 HOA HAND-OFF-AUTOMATIC SWITCH  
 HPS HORSERPOWER  
 HVC HEATING AND VENTILATING CONTRACTOR  
 IG ISOLATED GROUND  
 INT INTEGRAL  
 IN IN ROOM  
 IN UNIT  
 JB JUNCTION BOX  
 KW KILOWATTS  
 LCP LIGHTING CONTROL PANEL  
 LOC LOCATION  
 LT LOW TEMPERATURE  
 LSW LIGHT SWITCH  
 LVT LOW VOLTAGE THERMOSTAT  
 MAG MAGNETIC STARTER  
 MAN MANUAL STARTER  
 MCA MINIMUM CIRCUIT AMPS  
 MPM MANUAL STARTER WITH PILOT LIGHT  
 NL NEAR LIGHT  
 NU NEAR UNIT  
 OHP OVERHEAT PROTECTION  
 OCS OCCUPANCY SENSOR  
 ON UNIT  
 PB PUSH BUTTON  
 PC PLUMBING CONTRACTOR  
 PNE PNEUMATIC ELECTRIC SWITCH  
 PHOTO PHOTOCELL  
 PH PREWIRED  
 RC REFRIGERATION CONTRACTOR  
 RCC REFRIGERATION CONTRACTOR CONTRACTOR  
 RECEPT RECEPTACLE  
 SBA SELECTED BY ARCHITECT  
 SP SPEED SWITCH  
 SPS SOFT START  
 SS SHUNT TRIP  
 SW SWITCH  
 T LINE VOLTAGE THERMOSTAT  
 TSD TO BE DETERMINED  
 TC TIME CLOCK  
 TCT TEMPERATURE CONTROL CONTRACTOR  
 TP TEMPERATURE CONTROL PANEL  
 UMF UNIT MANUFACTURER  
 UNF UNITS NOTED OTHERWISE  
 VFD VARIABLE FREQUENCY DRIVE  
 W WATTS  
 WFR WEATHER PROOF (WHILE-IN-USE)  
 WP WIND PROOF  
 XPMR X-RAY PROOF



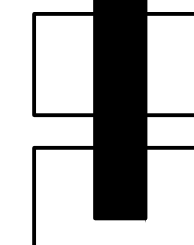
1 ELECTRICAL  
FIXTURE TYPE 'E1' MOUNTING DETAIL  
NOT TO SCALE



2 ELECTRICAL  
FIXTURE TYPE 'E2' MOUNTING DETAIL  
NOT TO SCALE

**KORNACKI & ASSOCIATES, INC. —**  
CORPORATION REGISTRATION #194.005374

**HARRIS ARCHITECTS INC.**  
4801 EMERSON AVENUE PALATINE, ILLINOIS 60067-7416 847.303.1155



SPEC OFFICE/ WAREHOUSE FACILITY:

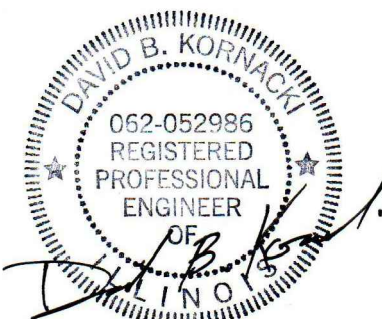
# BUILDING 3 & 4

# EAST DEVON

PROJECT NO.  
21058  
DRAWN BY:  
S.M.B.  
CHECKED BY:  
D.B.K.

SHEET NO

# E3



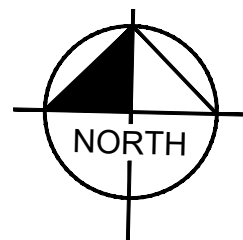
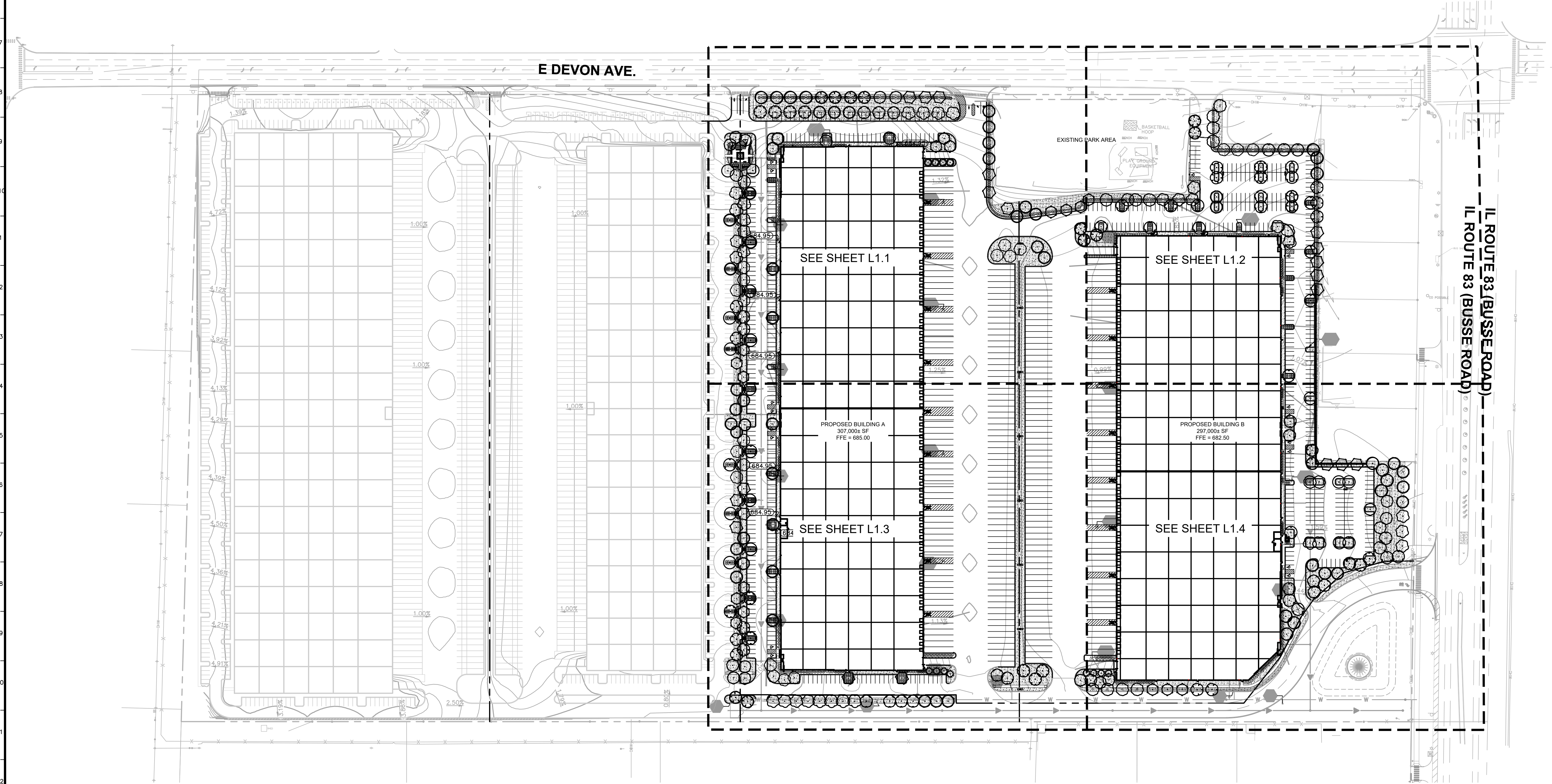
Date: 05/26/21  
Lic. Exp.: 11/30/21








Project Name: 4110 OVERALL LANDSCAPE PLAN.dwg  
Drawing name: \\Kinsley-horn.com\UKW.CHS\CHS\_DEV\168240005\_mil redty\_barnesville\_jl\2 Design\CAD plansheets\buildings 3 and 4\110 LANDSCAPE PLAN.dwg  
May 28, 2021 12:41pm by: Anna Simpson  
This drawing was created without written authorization and endorsement by Kinsley-Horn and Associates, Inc. shall be without liability to Kinsley-Horn and Associates, Inc.

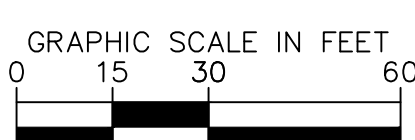
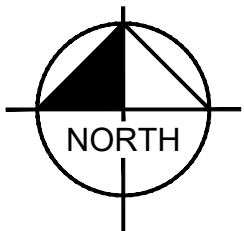
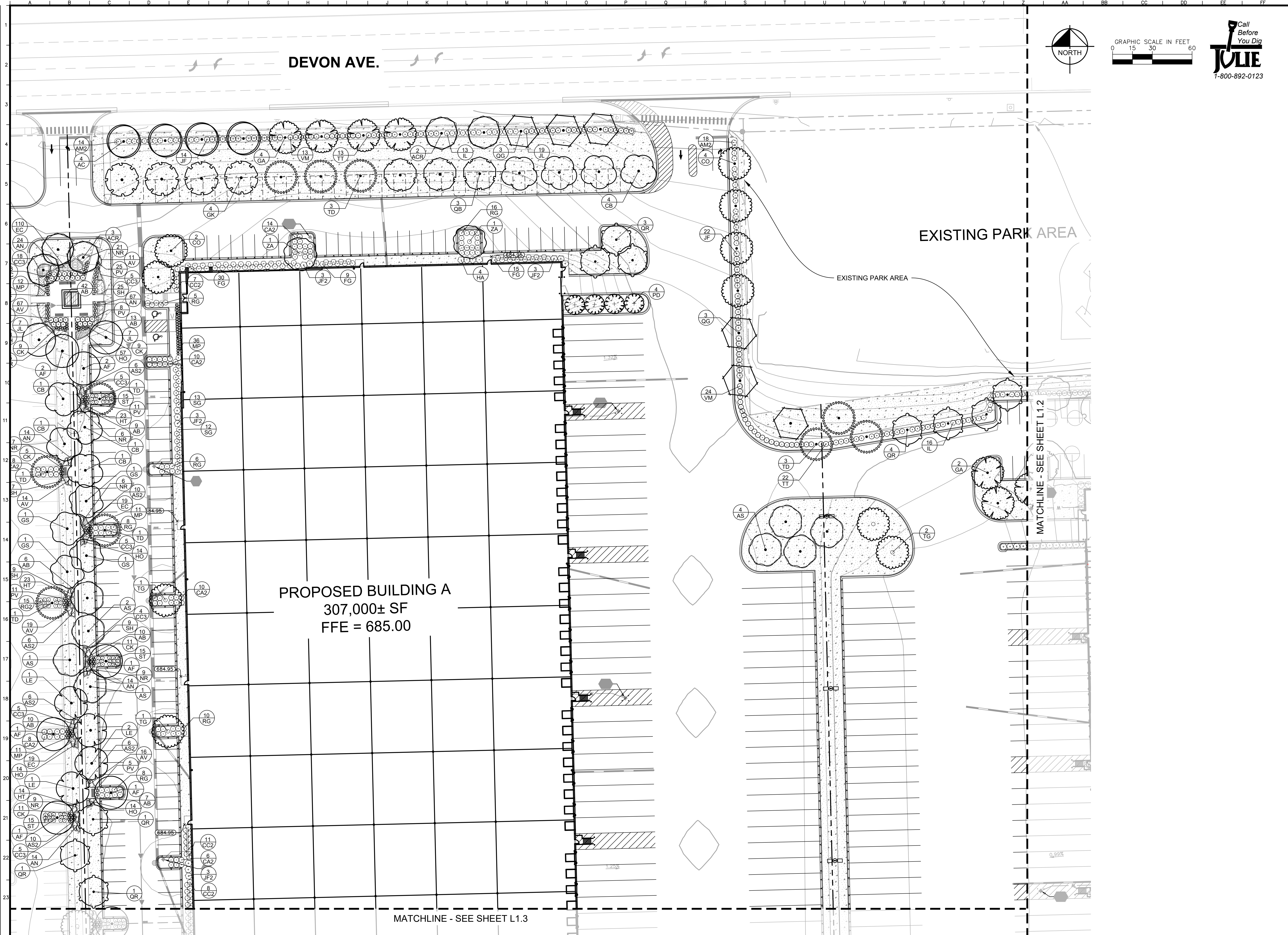


Call  
Before  
You Dig  
**JULIE**  
1-800-892-0123

L1.0	SHEET NUMBER		KHA PROJECT NO. 168240005		ORIGINAL ISSUE: 5/28/2021		ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-88 & DEVON AVENUE BENSENVILLE, IL 60106		<div><div>ML REALTY PARTNERS</div></div>		SCALE: AS NOTED DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NUG		<div><div>Kimley»Horn</div><div>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFELD ROAD, SUITE 600 WINSTON-SALEM, NC 27157 PHONE: 633-487-5550 WWW.KIMLEY-HORN.COM</div></div>		<div><div><div>Δ</div><div>ISSUED FOR BID</div><div>5/28/21</div><div>JWG</div></div><div><div>No.</div><div>REVISIONS</div><div>DATE</div><div>BY</div></div></div>	

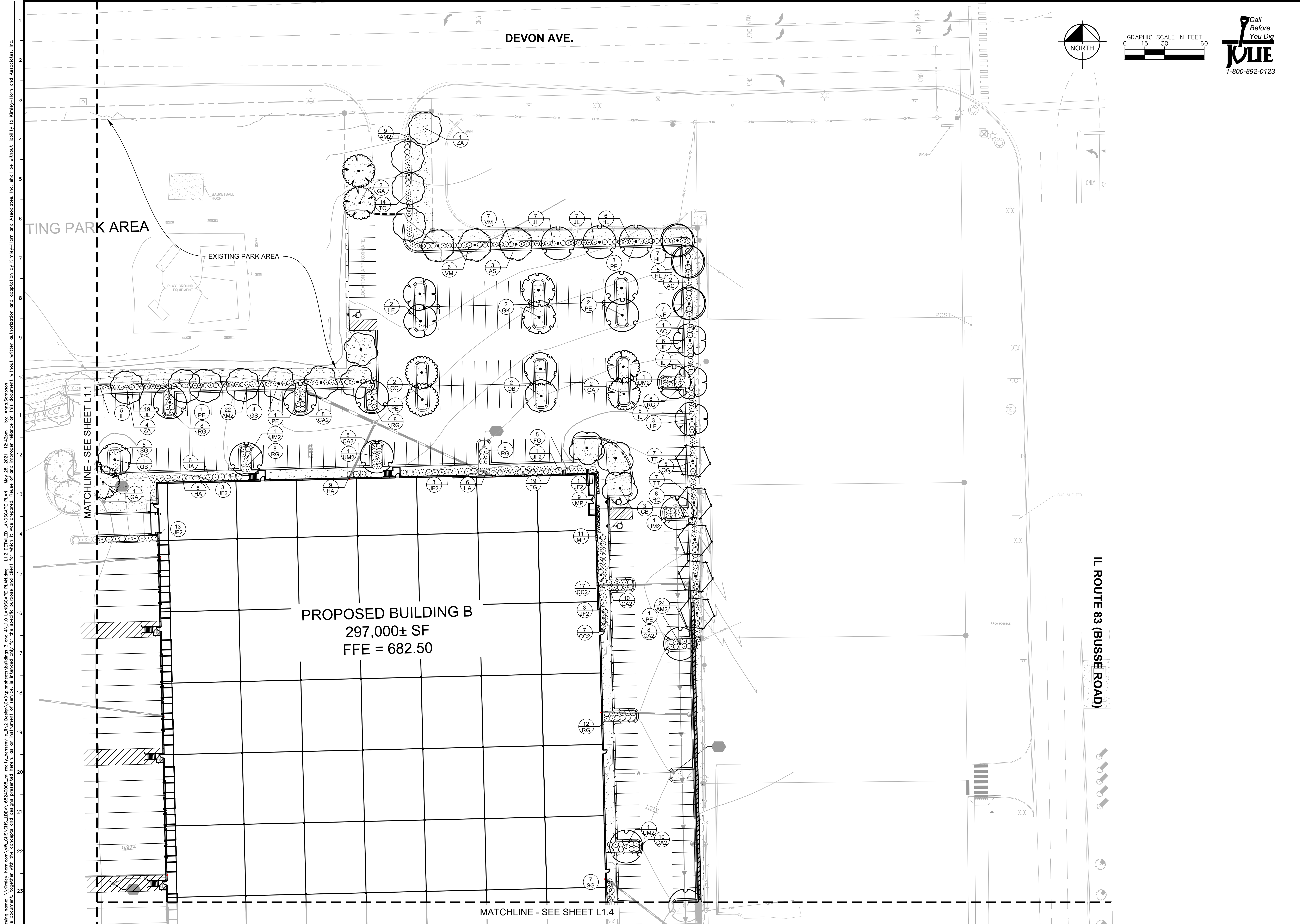


Drawing name: \\kimley-horn.com\\VW\_OHS\\CHS\\DEV\\168240000\_m\\res\\Bensenville\\L1.1 DETAILED LANDSCAPE PLAN L1.1 DETAILED LANDSCAPE PLAN May 28, 2021 12:41pm by Anna Sampson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK		DETAILED LANDSCAPE PLAN		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		ISSUED FOR BID	5/28/21	JWG
ORIGINAL ISSUE:		5/28/2021		KHA PROJECT NO.		168240005		DATE
SHEET NUMBER		L1.1		REVISIONS		No.		BY





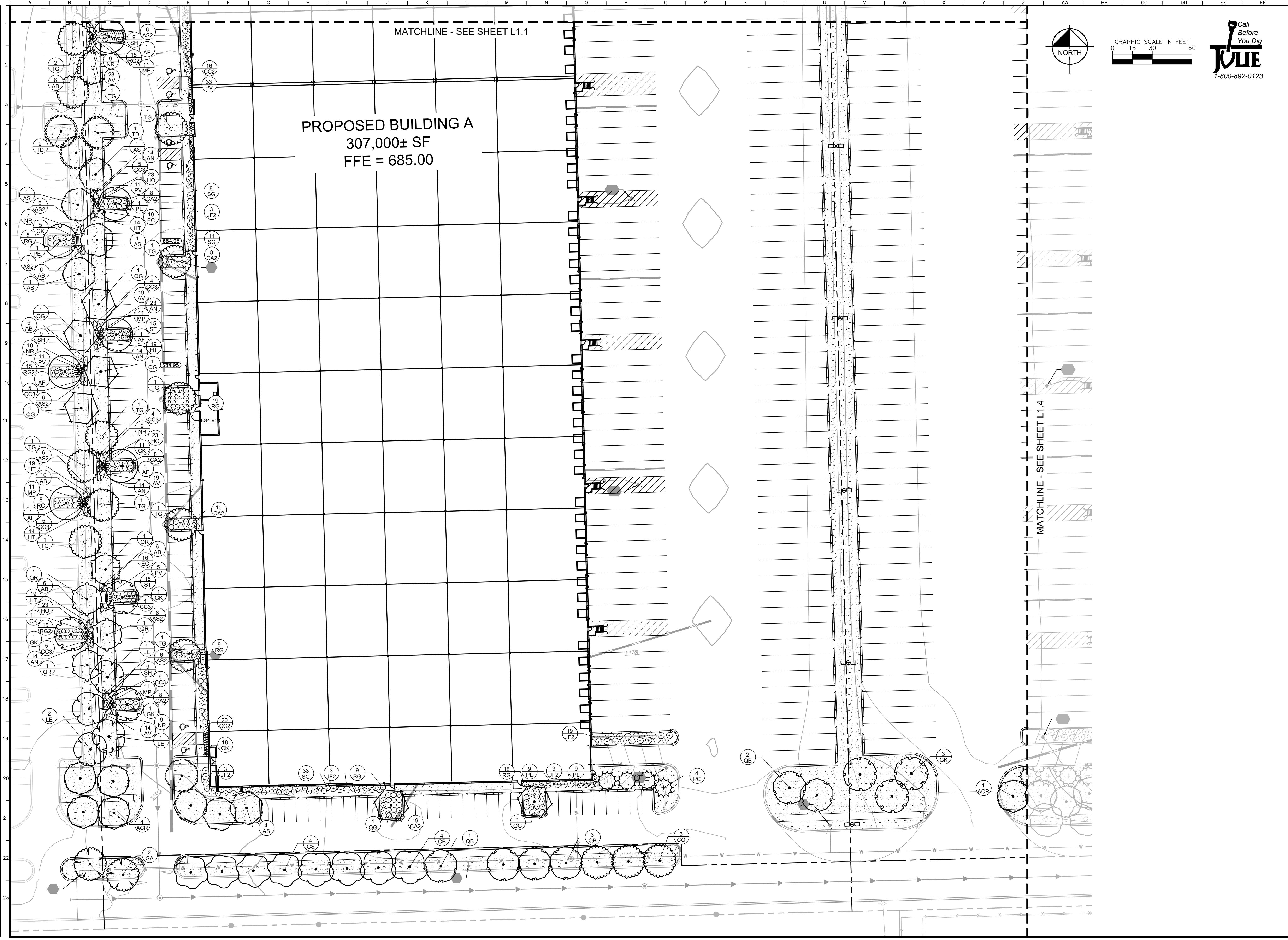
Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240005\_m\\res\\Landscape\\L1.2 DETAILED LANDSCAPE PLAN.dwg May 28, 2021 12:42pm by Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any part of this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		DETAILED LANDSCAPE PLAN		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		AS NOTED DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NUG	SCALE: GRAPHIC SCALE IN FEET 0 15 30 60	5/28/21 JWG DATE	REVISIONS No.	BY
ORIGINAL ISSUE: 5/28/2021		KHA PROJECT NO. 168240005		SHEET NUMBER L1.2						



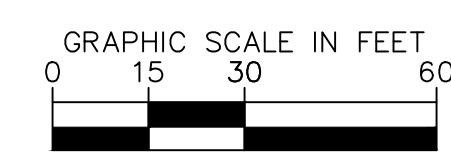
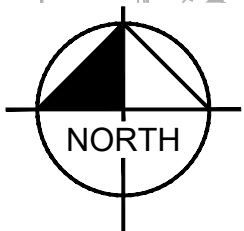
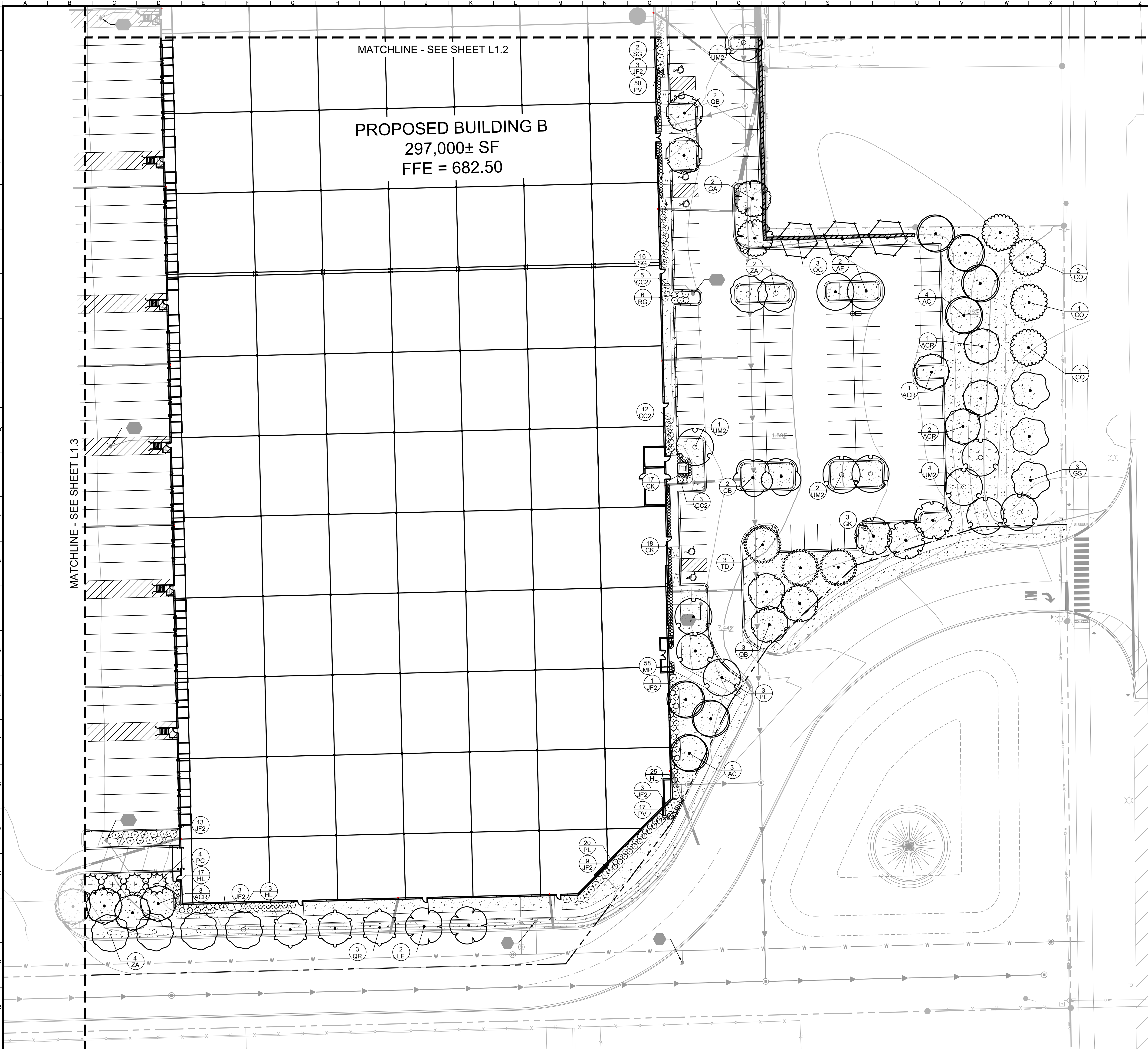
Drawing name: \\kimley-horn.com\\VW\_OHS\\OHS\\DEV\\168240005\_m\\res\\Landscape\\L1.3 DETAILED LANDSCAPE PLAN.dwg May 28, 2021 12:42pm by Anna Simpson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		DETAILED LANDSCAPE PLAN		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60106 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NAG	SCALE: AS NOTED	Kimley»Horn		JWG 5/28/21 DATE	
ORIGINAL ISSUE: 5/28/2021 KHA PROJECT NO. 168240005		SHEET NUMBER L1.3		ISSUED FOR BID		REVISIONS		BY		DATE	



Drawing name: \\kimley-horn.com\\VW\_OHS\\OHS\\DEV\\168240005\_m\\res\\bensenville\\L1.4 DETAILED LANDSCAPE PLAN L1.4 DETAILED LANDSCAPE PLAN May 28, 2021 12:42pm by Anna Simpson  
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

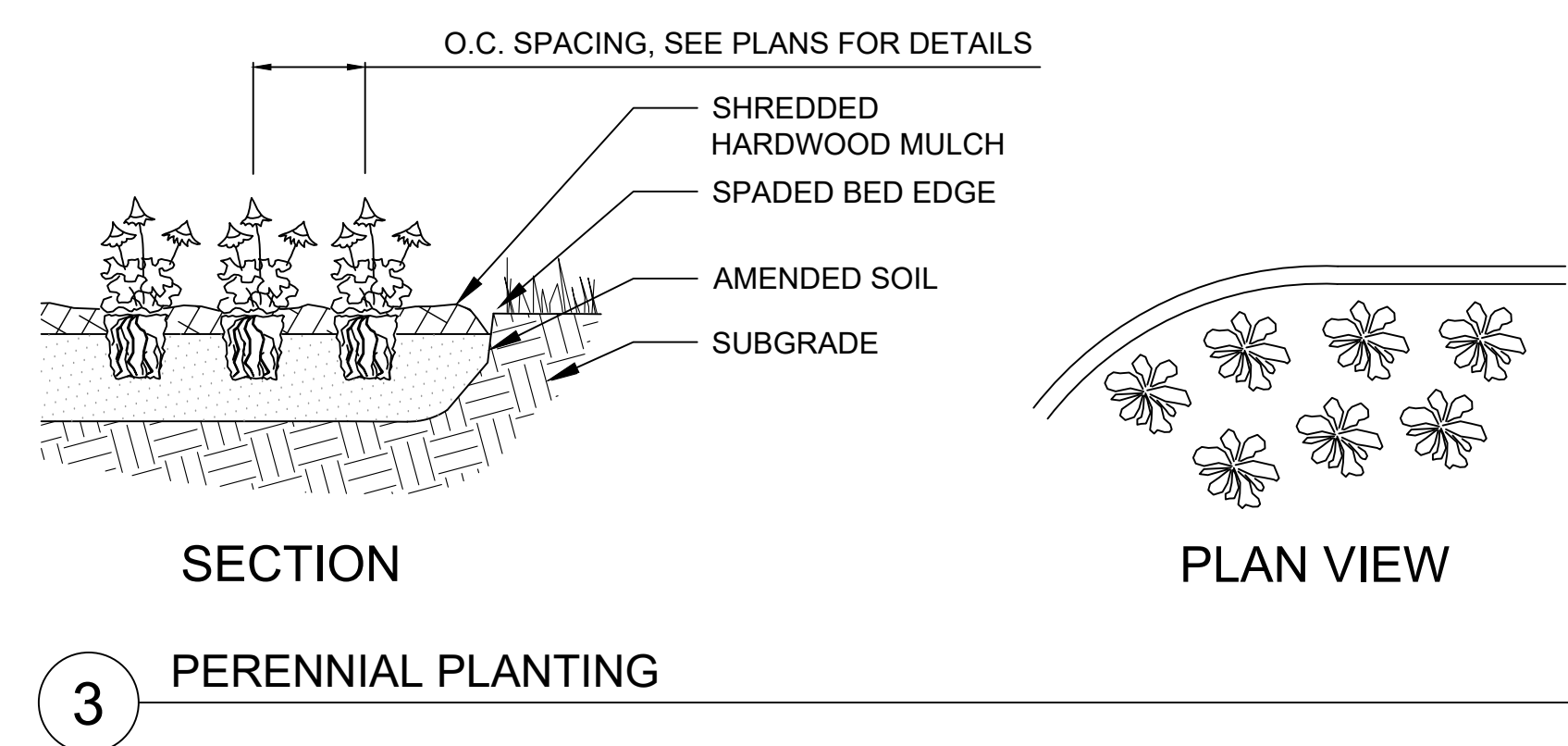
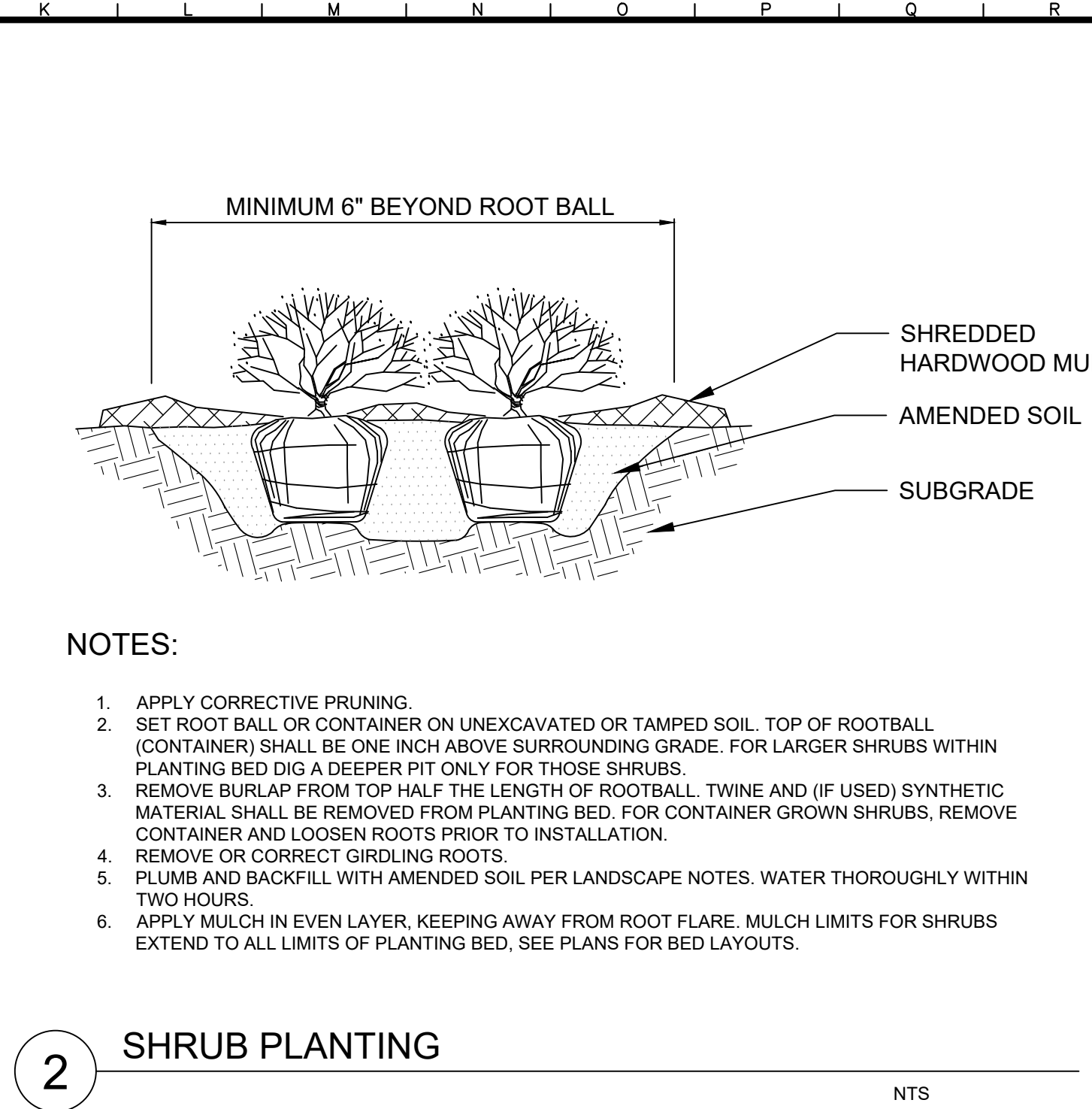
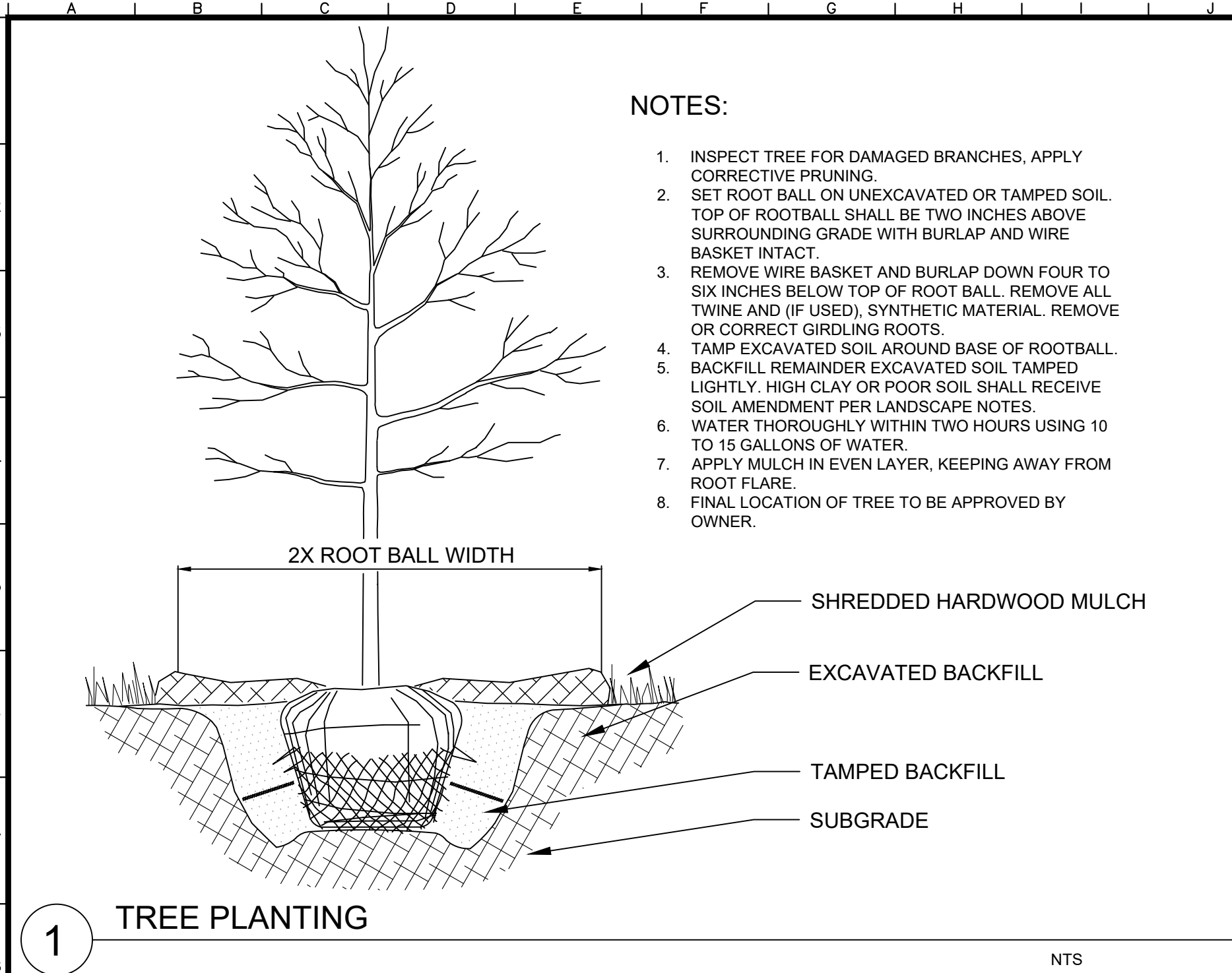


IL RTE 83 (BUSSE ROAD)

ML REALTY PARTNERS BENSENVILLE INDUSTRIAL PARK IL-83 & DEVON AVENUE BENSENVILLE, IL 60106		DETAILED LANDSCAPE PLAN		ML REALTY PARTNERS		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600 BENSENVILLE, IL 60015 PHONE: 630-487-5550 WWW.KIMLEY-HORN.COM		DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NAG	SCALE: AS NOTED	Kimley»Horn		JWG 5/28/21 DATE	
ORIGINAL ISSUE: 5/28/2021		KHA PROJECT NO. 168240005		SHEET NUMBER L1.4		ISSUED FOR BID		REVISIONS		BY		DATE	



Drawing name: \\kimley-horn.com\\VW\_CHS\\CHS\\DEV\\168240005\_mf\\res\\L2.0 LANDSCAPE PLAN.dwg May 28, 2021 12:42pm by: Anna Sampson  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



## LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL PLANTS TO BE SPECIMEN GRADE, WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. PLANTS SHALL BE FREE FROM DISEASE, PESTS, WOUNDS, AND SCARS. PLANTS SHALL BE FREE FROM NOTICEABLE GAPS, HOLES, OR DEFORMITIES. PLANTS SHALL BE FREE FROM BROKEN OR DEAD BRANCHES. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS PART OF THIS CONTRACT.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION. THE GUARANTEE BEGINS ON THE DATE OF THE LANDSCAPE ARCHITECT'S OR OWNERS WRITTEN ACCEPTANCE OF THE INITIAL PLANTING. REPLACEMENT PLANT MATERIAL SHALL HAVE A ONE YEAR GUARANTEE COMMENCING UPON PLANTING.
- PLANTS TO MEET AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014 OR MOST CURRENT VERSION) REQUIREMENTS FOR SIZE AND TYPE SPECIFIED.
- PRUNE PLANTS AS NECESSARY- PER STANDARD NURSERY PRACTICE AND TO CORRECT POOR BRANCHING OF EXISTING AND PROPOSED TREES.
- TOPSOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 70% PULVERIZED SOIL FOR ALL NON TURF SEED MIX AREAS, SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- EDGING TO BE A SPADED EDGE UNLESS INDICATED OTHERWISE ON THE PLANS. SPADED EDGE TO PROVIDE V-SHAPED DEPTH AND WIDTH TO CREATE SEPARATION BETWEEN MULCH AND GRASS. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- ALL DISTURBED AREAS TO BE SODDED OR SEEDED, UNLESS OTHERWISE NOTED. SOD/SEED SHALL BE LOCAL HARDY TURF GRASS MIX UNLESS, OTHERWISE NOTED.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.

PLANT SCHEDULE							
TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
	AC	14	ACER PLATANOIDES `CRIMSON KING` / CRIMSON KING NORWAY MAPLE	B & B	1.5" CAL. MIN		
	ACR	17	ACER RUBRUM `OCTOBER GLORY` TM / OCTOBER GLORY MAPLE	B & B	1.5" CAL. MIN		
	AF	15	ACER FREEMANII `AUTUMN FANTASY` / FREEMAN MAPLE	B & B	1.5" CAL. MIN		
	AS	19	ACER MIYABEI `STATE STREET` / MIYABEI MAPLE	B & B	1.5" CAL. MIN		
	CB	17	CARPINUS BETULUS / EUROPEAN HORNBEAM	B & B	1.5" CAL. MIN		
	CO	15	CELTIS OCCIDENTALIS / COMMON HACKBERRY	B & B	1.5" CAL. MIN		
	GA	15	GINKGO BILOBA `AUTUMN GOLD` TM / AUTUMN GOLD MAIDENHAIR TREE	B & B	1.5" CAL. MIN	MALE ONLY	
	GK	15	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	B & B	1.5" CAL. MIN		
	GS	15	GLEDITSIA TRIACANTHOS `SKYLINE` / SKYLINE HONEY LOCUST	B & B	1.5" CAL. MIN		
	LE	15	LIRIODENDRON TULIPIFERA `JFS-OZ` TM / EMERALD CITY TULIP POPLAR	B & B	1.5" CAL. MIN		
	PE	14	PLATANUS X ACERIFOLIA `EXCLAMATION` TM / EXCLAMATION LONDON PLANE TREE	B & B	1.5" CAL. MIN		
	QB	17	QUERCUS BICOLOR / SWAMP WHITE OAK	B & B	1.5" CAL. MIN		
	QG	20	QUERCUS X MACDANIELII `CLEMONS` TM / HERITAGE OAK	B & B	1.5" CAL. MIN		
	QR	17	QUERCUS RUBRA / RED OAK	B & B	1.5" CAL. MIN		
	TD	16	TAXODIUM DISTICHUM `SHAWNEE BRAVE` / BALD CYPRESS	B & B	1.5" CAL. MIN		
	TG	16	TILIA CORDATA `GREENSPIRE` / GREENSPIRE LITTLELEAF LINDEN	B & B	1.5" CAL. MIN		
	UM2	13	ULMUS X `MORTON ACCOLADE` TM / ELM	B & B	1.5" CAL. MIN		
	ZA	16	ZELKOVA SERRATA `AUTUMN GLOW` / AUTUMN GLOW JAPANESE ZELKOVA	B & B	1.5" CAL. MIN		
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	
	PC	8	PICEA PUNGENS / COLORADO SPRUCE	B & B		8" HT MIN	
	PD	4	PSEUDOTSUGA MENZIESII / DOUGLAS FIR	B & B		8" HT MIN	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE	
	AM2	87	ARONIA MELANOCARPA `MORTON` TM / IROQUIS BEAUTY BLACK CHOKEBERRY	3 GAL	SEE PLAN	18" HT MIN	
	CA2	161	CEANOTHUS AMERICANUS / NEW JERSEY TEA	3 GAL	SEE PLAN	18" HT MIN	
	CC2	106	CORNUS SANGUINEA `CATO` / ARCTIC SUN DOGWOOD	3 GAL		24" HT MIN	
	FG	78	FOTHERGILLA GARDENII / DWARF FOTHERGILLA	3 GAL	SEE PLAN		
	HA	33	HYDRANGEA ARBORESCENS `ANNABELLE` / ANNABELLE HYDRANGEA	5 GAL	SEE PLAN		
	HL	73	HYDRANGEA PANICULATA `LITTLE QUICK FIRE` / LITTLE QUICK FIRE HYDRANGEA	3 GAL	SEE PLAN	18" HT MIN	
	IL	47	ITEA VIRGINICA `LITTLE HENRY` TM / VIRGINIA SWEETSPIRE	3 GAL	SEE PLAN	18" HT MIN	
	PL	38	PHYSOCARPUS OPULEFOLIUS `LITTLE DEVIL` TM / DWARF NINEBARK	3 GAL	SEE PLAN	18" HT MIN	
	RG	178	RHUS AROMATICA `GRO-LOW` / GRO-LOW FRAGRANT SUMAC	3 GAL	SEE PLAN	18" HT MIN	
	RG2	60	RIBES ALPINUM `GREEN MOUND` / GREEN MOUND ALPINE CURRANT	5 GAL	SEE PLAN	18" HT MIN	
	SG	116	SPIRAEA X BUMALDA `GOLDFLAME` / GOLDFLAME SPIREA	3 GAL	SEE PLAN	18" HT MIN	
	ST	75	SPIRAEA BETULIFOLIA `TOR` / TOR BIRCHLEAF SPIREA	3 GAL	SEE PLAN	18" HT MIN	
	VM	50	VIBURNUM DENTATUM `BLUE MUFFIN` / SOUTHERN ARROWWOOD	5 GAL	SEE PLAN	18" HT MIN	
	EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE
		JF	49	JUNIPERUS CHINENSIS `SEA GREEN` / SEA GREEN JUNIPER	5 GAL	SEE PLAN	18" HT MIN
JF2		99	JUNIPERUS CHINENSIS `FAIRVIEW` / FAIRVIEW JUNIPER	B & B	SEE PLAN	5' HT MIN.	
JL		66	JUNIPERUS CHINENSIS `GOLD LACE` / GOLD LACE JUNIPER	5 GAL	SEE PLAN	18" HT MIN	
TC		27	THUJA OCCIDENTALIS `CONGABE` TM / FIRE CHIEF ARBORVITAE	5 GAL	SEE PLAN	18" HT MIN	
TT	49	TAXUS X MEDIA `TAUNTONII` / TAUNTON YEW	5 GAL	SEE PLAN	18" HT MIN		
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	SPACING	SIZE	
	CK	125	CALAMAGROSTIS X ACUTIFLORA `KARL FOERSTER` / KARL FOERSTER FEATHER REED GRASS	1 GAL	SEE PLAN		
	MP	200	MISCANTHUS SINENSIS `PURPURESCENS` / PURPLE MAIDEN GRASS	1 GAL	SEE PLAN		
	PV	187	PANICUM VIRGATUM / SWITCH GRASS	1 GAL	SEE PLAN		
GRASSES AND PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	SPACING			
	AB	137	AMSONIA X `BLUE ICE` / BLUE ICE BLUESTAR	18" o.c.			
	AN	212	ATHYRIUM NIPONICUM `PICTUM` / JAPANESE PAINTED FERN	12" o.c.			
	AS2	87	ALLIUM X `SUMMER BEAUTY` / SUMMER BEAUTY ORNAMENTAL ONION	18" o.c.			
	AV	202	ASTILBE CHINENSIS `VISION IN PINK` / VISION IN PINK CHINESE ASTILBE	12" o.c.			
	CC3	85	COREOPSIS X `CREME BRULEE` / CREME BRULEE COREOPSIS	24" o.c.			
	EC	183	ECHINACEA X `CHEYENNE SPIRIT` / CHEYENNE SPIRIT CONEFLOWER	12" o.c.			
	HO	168	HEMEROCALLIS X `STELLA DE ORO` / STELLA DE ORO DAYLILY	12" o.c.			
	HT	211	HELIOPSIS HELIANTHOIDES `TUSCAN SUN` / FALSE SUNFLOWER	12" o.c.			
	NR	127	NEPETA RACEMOSA `WALKER'S LOW` / WALKER'S LOW CATMINT	18" o.c.			
	SH	90	SALVIA NEMOROSA `SNOW HILL` / SNOW HILL SALVIA	18" o.c.			
GROUND COVERS			BOTANICAL / COMMON NAME				
			TURF SEED				



ML REALTY PARTNERS  
BENSENVILLE  
INDUSTRIAL PARK  
IL-83 & DEVON AVENUE  
BENSENVILLE, IL 60106

LANDSCAPE NOTES  
AND DETAILS

ORIGINAL ISSUE:  
5/28/2021  
KHA PROJECT NO.  
168240005  
SHEET NUMBER  
L2.0

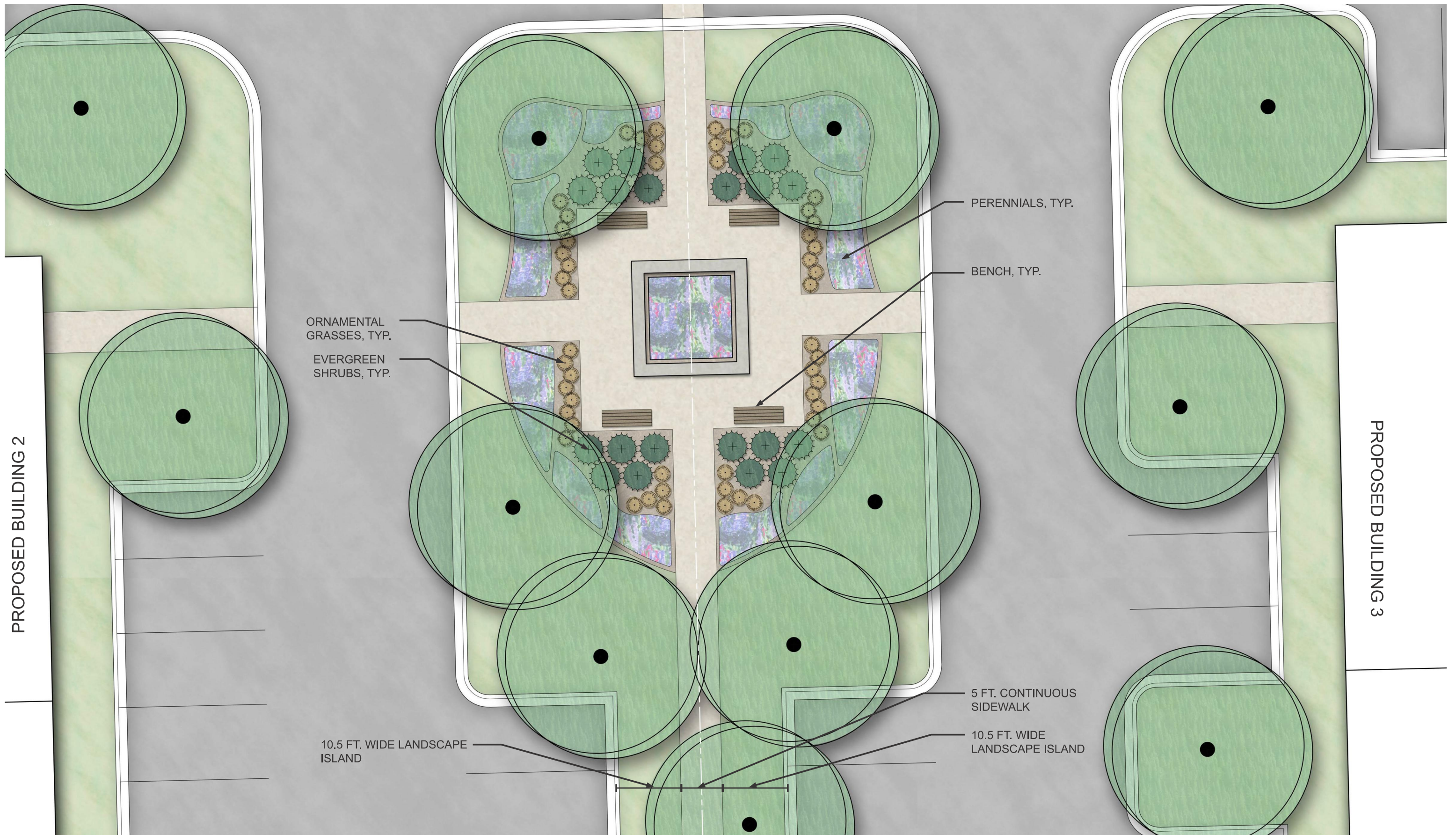
Kimley»Horn  
© 2021 KIMLEY-HORN AND ASSOCIATES, INC.  
4201 WINFIELD ROAD, SUITE 600  
BENSENVILLE, IL 60015  
PHONE: 630-487-2550  
WWW.KIMLEY-HORN.COM

SCALE: AS NOTED  
DESIGNED BY: JWG  
DRAWN BY: AES  
CHECKED BY: NUG

ISSUED FOR BID  
5/28/21  
DATE

REVISIONS





# ML REALTY - BENSENVILLE INDUSTRIAL PARK | LANDSCAPE PLAN RENDERING

BENSENVILLE, IL | JUNE 2, 2020





PROPOSED BUILDING 2

PROPOSED BUILDING 3

ORNAMENTAL  
GRASSES, TYP.  
LOW SHRUBS, TYP.

PERENNIALS, TYP.

BENCH, TYP.  
AVERAGE SPACING EVERY 200 FT.

LANDSCAPE ENHANCEMENTS  
LOCATED AT EACH ISLAND

# ML REALTY - BENSENVILLE INDUSTRIAL PARK | LANDSCAPE PLAN RENDERING

BENSENVILLE, IL | JUNE 2, 2020





**TYPE:**Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**

CDC Case 2021-17: Consideration of a Planned Unit Development and Zoning Map Amendment to Rezone the Site from C-2 Commercial to R-5 Residential at 1131-39 Center Street

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input type="checkbox"/>	Financially Sound Village	<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Zoning Map Amendment, C-2 Commercial -> R-5 Residential  
Municipal Code Section 10 – 3 – 6
2. Preliminary and Final Planned Unit Development  
Municipal Code Section 10 – 4

**SUMMARY:**

1. The Petitioner is seeking a Zoning Map Amendment in order to rezone the subject property, an apartment complex consisting of 5 buildings, from its current classification as C-2 Commercial to R-5 Multiple-Unit Dwelling Residential.
2. This property was zoned as C-2 in 2019 during the comprehensive update to the Village's Zoning Ordinance and District Map.
3. The Petitioner is also requesting approval of a Planned Unit Development designation for the property.

**RECOMMENDATION:**

1. Staff recommends the Denial of the Findings of Fact as they pertain to a Zoning Map Amendment and therefore the Denial of the request to rezone 1131-1139 Center Street from C-2 Commercial District to R-5 Multiple-Unit Dwelling District.
2. Staff recommends the Approval of the Findings of Fact as they pertain to a Special Use Permit and therefore the Approval of the Special Use Permit.
3. Staff recommends the Approval of the Findings of Fact as they pertain to a Planned Unit Development and therefore the Approval of the Preliminary and Final Planned Unit Development

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Aerial &amp; Zoning Exhibits</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Application</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Approval Standards Letter</b>	<b>6/29/2021</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/29/2021</b>	<b>Executive Summary</b>
<b>Plat of Survey</b>	<b>6/29/2021</b>	<b>Backup Material</b>





# BENSENVILLE

GATEWAY TO OPPORTUNITY

**Community Development Commission  
Public Hearing 07.06.21**

**CDC Case #2021 – 17**

**Brook Forest, LP  
1131-39 Center Street**

**Zoning Map Amendment, C-2 Commercial → R-5 Residential  
Municipal Code Section 10 – 3 – 6**

**Preliminary and Final Planned Unit Development  
Municipal Code Section 10 – 4**

1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans





CDC #2021 – 17

1131-1139 Center St  
Matt Pauga, Brook Forest LP  
Zoning Map Amendment, C-2 → R-5  
Municipal Code Section 10 – 3 – 6  
Preliminary & Final Planned Unit Development  
Municipal Code Section 10 – 4



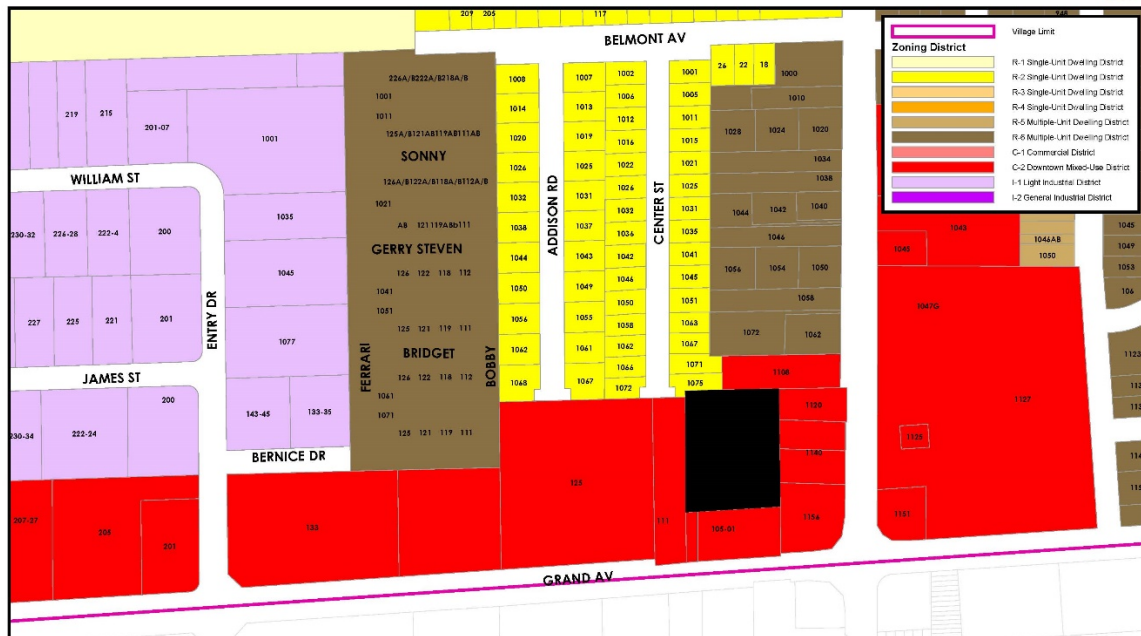
## Village of Bensenville

1131-1139 S Center



## Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, July 6, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 17 to consider a request for:

Zoning Map Amendment, C-2 Commercial District to R-5 Multiple-Unit Dwelling District  
Municipal Code Section 10 – 3 – 6

Planned Unit Development  
Municipal Code Section 10 – 4

at 1131-1139 Center Street in the C – 2 Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

PARCEL 1: THE NORTH 68.37 FEET OF LOT 24, AS MEASURED ON THE WEST LINE, THE SOUTH LINE OF SOME BEING RIGHT ANGLES TO THE WEST LINE OF SAID LOT, TOGETHER WITH THE SOUTH 14 FEET OF THAT PART LOT 23 LYING EAST OF THE PROLONGATION NORTH OF THE WEST LINE OF LOT 24, IN CANTRELL'S RESUBDIVISION CORRECTED PLAT OF PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2: THE SOUTH 115 FEET OF THE NORTH 181.37 FEET OF THE WEST 133.5 FEET OF LOT 24 (MEASURED ON THE WEST LINE AND PERPENDICULAR TO THE WEST LINE OF SAID LOT) IN CANTRELL'S RESUBDIVISION CORRECT PLAT AS PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3: THE SOUTH 115 FEET OF THE NORTH 181.37 FEET (EXCEPT THE WEST 133.5 FEET) OF THE WEST 133.5 FEET OF LOT 24 (MEASURED ON THE WEST LINE AND PERPENDICULAR TO THE WEST LINE OF SAID LOT) IN CANTRELL'S RESUBDIVISION CORRECTED PLAT AS PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 4: THE WEST 133.5 FEET OF LOT 24 LYING SOUTH OF THE NORTH 181.37 FEET (MEASURED ON THE WEST LINE AND PERPENDICULAR TO THE WEST LINE THEREOF AND WHICH LIES 145 FEET NORTHL Y OF AND PARALLEL TO THE SOUTHERLY LINE OF SAID LOT) IN CANTRELL'S RESUBDIVISION CORRECTED PLAT AS PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT



THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 5: THAT PART OF LOT 24 LYING SOUTH OF THE NORTH 181.37 FEET (MEASURED ON THE WEST LINE AND PERPENDICULAR TO THE WEST LINE THEREOF) AND WHICH LIES 145 FEET NORTHERLY AND PARALLEL TO THE SOUTHERLY LINE OF SAID LOT, EXCEPT THE WEST 133.5 FEET THEREOF) IN CANTRELL'S RESUBDIVISION CORRECTED PLAT AS PART OF THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 6: EASEMENTS FOR THE INGRESS AND EGRESS AND FOR THE INSTALLATION, USE AND MAINTENANCE OF PUBLIC UTILITIES IN FAVOR OF PARCELS 1 TO 5, BOTH INCLUSIVE AS DISCLOSED BY DECLARATION MADE BY ELMHURST NATIONAL BANK, AS TRUSTEE UNDER TRUST AGREEMENT DATED OCTOBER 27, 1960 AND KNOWN AS TRUST NUMBER 1434, RECORDED OCTOBER 27, 1960 AS DOCUMENT 985195, OVER THE FOLLOWING PROPERTY:

THAT PART OF LOT 24 IN CANTRELL'S RESUBDIVISION CORRECTED PLAT DESCRIBED BY: BEGINNING AT THE SOUTHEASTERLY CORNER OF SAID LOT FOR A POINT OF BEGINNING; THEREOF NORTH ON THE EAST LINE THEREOF 98.78 FEET; THENCE NORTHWESTERLY ON A LINE TO A POINT THAT IS 145 FEET NORTHERLY OF AND AT RIGHT ANGLES TO THE SOUTHERLY LINE OF SAID LOT AND 9.71 FEET WESTERLY OF THE EAST LINE OF SAID LOT (AS MEASURED ON A LINE THAT IS 145 FEET NORTHERLY OF AND PARALLEL TO AND AT RIGHT ANGLES TO THE SOUTHERLY LINE OF SAID LOT) THENCE CONTINUING WESTERLY ON SAID LINE THAT IS 145 FEET NORTHERLY OF AND PARALLEL TO THE SOUTHERLY LINE OF SAID LOT 19.77 FEET; THENCE SOUTHEASTERLY ON A LINE 35.32 FEET TO A POINT THAT IS 22.42 FEET WEST OF SAID EAST LINE; THENCE SOUTHERLY 32.97 FEET TO A POINT THAT IS 20 FEET WEST OF SAID EAST LINE; THENCE SOUTHERLY 7 FEET TO A POINT THAT IS 19.48 FEET WEST OF SAID EAST LINE; THENCE WESTERLY 0.52 FEET PARALLEL TO SAID SOUTHERLY LINE AND 70.22 FEET NORTH OF THE SOUTHERLY LINE OF SAID LOT; THENCE SOUTH PARALLEL TO SAID EAST LINE 70.22 FEET TO A POINT ON THE SOUTH LINE OF SAID LOT THAT IS 20.05 FEET WESTERLY FROM THE EAST LINE OF SAID LOT (AS MEASURED ALONG SAID SOUTH LINE); THENCE EASTERLY ON SAID SOUTHERLY LINE 20.02 FEET TO A POINT OF BEGINNING IN THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

THE WEST 33 FEET OF THE SOUTHERLY 145 FEET (MEASURED PARALLEL TO AND AT RIGHT ANGLES TO THE SOUTHERLY LINE THEREOF) OF LOT 24 IN CANTRELL'S RESUBDIVISION CORRECTED PLAT, IN THE NORTHEAST QUARTER OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 31, 1959 AS DOCUMENT 951826, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 1131-39 Center Street, Bensenville, IL 60106.



Brook Forest LP of 7330 Fairmont, Downers Grove, IL 60516 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through July 6, 2021 until 5:00 P.M

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT**  
**June 17, 2021**



For Office Use Only			
Date of Submission: <u>3/2/21</u>	MUNIS Account #: <u>10745</u>	CDC Case #: <u>2021-</u>	17

### COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 1131, 1133, 1135, 1137, 1139 Center St.

Property Index Number(s) (PIN): 03-26-204-007

**A. PROPERTY OWNER:**

Name <u>Brook Forest LP</u>	Corporation (if applicable)		
Street <u>7330 Fairmount</u>			
City <u>Downers Grove, IL</u>	State <u>IL</u>	Zip Code <u>60516</u>	
Contact Person <u>Matt Panga</u>	Telephone Number <u>847-713-2901</u>	Email Address <u>ingapanga@aol.com</u>	

\*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

**B. APPLICANT:**

☒ Check box if same as owner

Name	Corporation (if applicable)		
Street			
City	State	Zip Code	
Contact Person	Telephone Number	Email Address	

**B. ACTION REQUESTED (Check applicable):**

- ☐ Site Plan Review
- ☐ Special Use Permit
- ☐ Variation
- ☐ Administrative Adjustment
- ☒ Zoning Text or Map Amendment
- ☐ Zoning Appeal
- ☐ Plat of Subdivision
- ☐ Annexation
- ☒ Planned Unit Development\*

\*See Staff for additional information on PUD requests

**SUBMITTAL REQUIREMENTS:**

- ☐ Affidavit of Ownership\*\* (signed/notarized)
- ☐ Application\*\*
- ☐ Approval Standards\*\*
- ☐ Plat of Survey/Legal Description
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Tree Preservation and Removal Plan
- ☐ Application Fees
- ☐ Fees agreement\*\*

\*\*Item located within this application packet.



**Brief Description of Request(s):** (Submit separate sheet if necessary)

Correcting the zoning classification from C-2 to R-5 or 6. This becomes a meaningful classification to reflect the actual use of the property. There is no commercial activity on this site. There are 5-12 flat apartment buildings on this site.

**C. PROJECT DATA:**

1. General description of the site: 5-12 flat apartment buildings in a U-shape arrangement.
2. Acreage of the site: 2,039 Building Size (if applicable): 48.76 x 95.1 ft approx.  
88,822 sq. ft 5 buildings with
3. Is this property within the Village limits? (Check applicable below)  
☒ Yes  
☒ No, requesting annexation  
☒ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.

4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

Not aware of any of the above

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Local Commercial	Village of Bensenville
North:	R-2 R-6	Single Family Residential Commercial/Industrial Hwy	"
South:	C-3	Gen. Commercial	Elmhurst
East:	C-2	Local "	Village of Bensenville
West:	C-2 + PUD	" "	"

**D. APPROVAL STANDARDS:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."



May 18th, 2021  
Re: Finding - PUD and Site Plan Review

Scott Viger  
Re: Brook Forest, LP  
12 S Center St  
Bensenville, ILL 60106

The five 12-flat apartment buildings have been in existence for over 40 years and have never been cited for endangering the health, safety, comfort, convenience, and general welfare of the public by the Village of Bensenville.

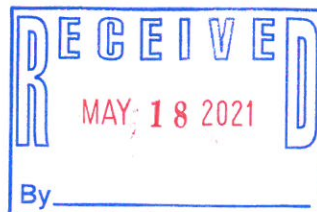
The property has proven by the issue of its longevity, 40+ years, that it is compatible with the existing use, character, and zoning of adjacent properties. Many permitted uses exist and some came in afterwards and surrounded the property on 3 sides. The 60 units provide housing for residents and provide approximately \$60,000 tax receipts to the Village of Bensenville and others.

The property's occupancy since its inception has always been at or above 98%. Moreover, it has or should be designated PUD-R5. The city could not back up with its records why this has changed. Lender was not notified either.

Like any other apartment building in town, it is consistent with the intent of a comprehensive plan and other land policies of the Village.

I believe the comprehensive plan as applied to this property has stood the test of time. Specifically, the decent revenue generated the last 10 years, market acceptance, adequate parking, decent exterior lighting, safe car use, and safe traffic to and from the site describe this property.

The interior landscaping is above average and reveals a high pride of ownership. The existing buffers are maintained and do the job that they are intended to do.





The height of the existing buildings is approximately 15 ft. and is close to the height of most buildings in the immediate area. The flat roof on these buildings emphasizes their low profile.

We have outdoor sculptures, 2 water fountains, and plants that could be used as a benchmark for others that wish to raise their property to another level.

Underground utilities were used, including electric, cable and telephone. The existing storm and sanitary sewers are adequate for the job.

The Grand Subaru car wash will impact this property in a very negative way with its placement 60 ft away from our residents' bedrooms. Good planning will dictate placement further away from this property. Approximately 60 residents made this assessment that live at the property.

Matt Pauga



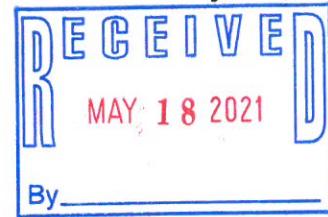
By: White Birch Management Company General Partner  
President

7330 Fairmount Avenue  
Downers Grove, IL 60516



Request for Zoning Change  
To Reflect Actual  
May 18, 2021

Attn: Scott Viger  
Re: Brook Forest, LP  
12 S. Center St  
Bensenville, ILL 60106



I am requesting that the property I own at 1131-1139 S Center St. be rezoned to PUD-R5 to reflect the true use of the property. The property as far back as 45+ years has always carried a multiple family R5 designation.

We have never been notified, nor has the lender been notified, of any down zoning on this property. Proper and specific legal notice must be given to the property owner. The city is not exempt from this requirement and cannot do things for the specific benefit of one property owner at the expense of another.

Please advise me if there is anything else you might need in your analysis, especially omissions, of this subject matter so that we can proceed in an expeditious manner.

Again, I want any and all conversations the City has had with anyone on this change in zoning and the minutes of the meeting where this action took place. Additionally, a legal notice must be specific and directed personally to the property owner.

Matt Pauga

By: White Birch Management Company Gen. Partner  
President

7330 Fairmount Avenue  
Downers Grove, IL 60516





**COMMUNITY DEVELOPMENT COMMISSION**  
**STAFF REPORT**

**HEARING DATE:** July 6, 2021  
**CASE #:** 2021 – 17  
**PROPERTY:** 1131-39 Center Street  
**PROPERTY OWNER:** Brook Forest, LP  
**APPLICANT:** Same as Above  
**SITE SIZE:** 2.04 AC  
**BUILDING SIZE:** 19,000 SF  
**PIN NUMBER:** 03-26-204-007  
**ZONING:** C-2 Commercial District  
**REQUEST:** Zoning Map Amendment, C-2 Commercial → R-5 Multiple-Unit  
Municipal Code Section 10 – 3 – 6  
Preliminary & Final Planned Unit Development  
Municipal Code Section 10 – 4

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday, June 17, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday, June 17, 2021.
3. On Friday, June 18, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

**SUMMARY:**

The Petitioner is seeking a Zoning Map Amendment in order to rezone the subject property, an apartment complex consisting of 5 buildings, from its current classification as C-2 Commercial to R-5 Multiple-Unit Dwelling Residential. This property was zoned as C-2 in 2019 during the comprehensive update to the Village's Zoning Ordinance and District Map. The Petitioner is also requesting approval of a Planned Unit Development designation for the property.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	C – 2	Residential	Local Commercial	Village of Bensenville
<b>North</b>	C – 2 R – 2	Commercial Residential	Local Commercial Single Family Residential	Village of Bensenville
<b>South</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>East</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>West</b>	C – 2 R – 2	Commercial Residential	Local Commercial Single Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Accounts are up to date with billing.

Police:

- 1) No objections.

Engineering and Public Works:Engineering:

- 1) No comments.

Public Works:

- 1) No comments.

Community & Economic Development:Economic Development:

- 1) No comments.

Fire Safety:

- 1) No comments.

Building:

- 1) No comments.



Planning:

- 1) The 2015 Comprehensive Plan indicates “Local Commercial” for this property.
- 2) The current zoning is C-2 Commercial District.
- 3) In 2019, the Village adopted its 2019 Zoning Ordinance and Map, which consisted of a comprehensive overhaul to the previous documents. During this process, the Village reached out to its residents to enlist their feedback. This was done by holding Public Meetings and Hearings, as well notifying residents via mail, e-blasts, newspaper advertisements, and more.
- 4) When updating the Zoning Map, which included a reduction in the number of districts and the rezoning of properties, the Village looked to recommendations outlined in the 2015 Comprehensive Plan. The Comprehensive Plan was drafted by the Village and the Chicago Metropolitan Agency for Planning (CMAP) with the intent of creating a well-defined framework for development in the Village to reflect our vision of its future over the next 10-20 years. A goal in achieving that vision is the prioritization of the revitalization of the Village’s commercial corridors, both in the near- and long-term.
- 5) The Future Land Use Map included in the Comprehensive Plan (p. 22) was created to reflect planning recommendations set forth in the Plan and to serve as the foundation for an update to the Zoning Ordinance. This map indicates “Local Commercial” for the subject property, making the use harmonious with others along the Grand Avenue Commercial Corridor.
  - a. Local Commercial Districts are defined as containing “retail, office, and service-oriented commercial uses that serve the day-to-day needs of households living within a walking or short driving distance.”
- 6) In the Zoning Ordinance, Multiple-Unit Dwellings are a Special Use in the C-2 District. The subject property’s current residential use is still allowed under the Code, regardless of the commercial designation, also due to Section 10-5-3, which considers this use as a “legal nonconforming use”: a use of land that at one time conformed to applicable zoning regulations, but no longer conforms due to subsequent amendments to this Ordinance.
- 7) The Petitioner feels that their property’s zoning should be reverted back to its previous Multiple-Unit Residential and rezoned to R-5.
- 8) Staff recommends maintaining the current C-2 Commercial zoning.
- 9) The Petitioner is also requested a Planned Unit Development designation. Planning Staff recommended this request be made to the Petitioner. If a development such as this apartment complex were proposed to the Village at this current time, the granting of a PUD would be required.
  - a. As defined in the Zoning Ordinance, Planned Unit Developments are a distinct category of special use permit intended to allow flexibility in the application of the standards of this Ordinance for significant development proposals that provide amenities to the community beyond those required of conventional development applications.
  - b. In regards to the subject property, the PUD designation would serve to meet the following goals required of such developments:
    - i. Encourage creativity, flexibility, sustainability, and environmental sensitivity in the development of land and the design of structures.
    - ii. Provide for the efficient use of land to facilitate a more effective arrangement of land uses, structures, utilities, circulation systems, parking, and other facilities.



## **APPROVAL STANDARDS FOR ZONING MAP AMENDMENTS:**

- 1) **Public Welfare:** The proposed amendment will not endanger the health, safety, comfort, convenience, and general welfare of the public.

**Applicant's Response: There is no threat to the health, safety, comfort, convenience, and general welfare of the public with this rezoning.**

- 2) **Neighborhood Character:** The proposed amendment is compatible with the existing uses, character, and zoning of adjacent properties and other property within the immediate vicinity of the proposed amendment.

**Applicant's Response: The property was zoned residential until it was recently rezoned by the village to commercial zoning. We are requesting it be amended to its previous correct zoning.**

- 3) **Public Gain:** The proposed amendment provides a relative gain to the public, as compared to any hardship imposed upon an individual property owner.

**Applicant's Response: There is no hardship imposed by this rezoning to an individual property owner.**

- 4) **Community Need:** The proposed amendment addresses the community need for a specific use.

**Applicant's Response: The amendment will zone the property to the correct present usage of the property.**

- 5) **Amendment Objective:** The proposed amendment corrects an error, adds clarification, or reflects a change in policy.

**Applicant's Response: The property was incorrectly zoned as commercial and needs to be rezoned as residential.**

- 6) **Consistent with Title and Plan:** The proposed amendment is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response: This proposed amendment is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village because there is no change in the existing usage of the property.**



	<b>Meets Standard</b>	
<b>Zoning Map Amendment Approval Standards</b>	<i>Yes</i>	<i>No</i>
1. Public Welfare	X	
2. Neighborhood Character		
3. Public Gain		X
4. Community Need		X
5. Amendment Objective		X
6. Consistent with Title and Plan		X



## APPROVAL STANDARDS FOR SPECIAL USES:

- 1) **Public Welfare:** The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.

**Applicant's Response: Brook Forest Apartments does not endanger the health, safety, comfort, convenience and general welfare of the public.**

- 2) **Neighborhood Character:** The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.

**Applicant's Response: Brook Forest Apartments has been compatible with the character of adjacent properties and other property within the immediate vicinity.**

- 3) **Orderly Development:** The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.

**Applicant's Response: Brook Forest Apartments does not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity.**

- 4) **Use of Public Services and Facilities:** The proposed special use will not require utilities, access roads, drainage and/or other facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

**Applicant's Response: Brook Forest Apartments has the required utilities, access roads, drainage, and/or other facilities or services and uses them proportionally to that normally expected of permitted uses in the district, and does not require any new services or facilities.**

- 5) **Consistent with Title and Plan:** The proposed special use is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

**Applicant's Response: Brook Forest Apartments is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the village.**

Special Use Permit Approval Standards	Meets Standard	
	Yes	No
1. Public Welfare	X	
2. Neighborhood Character	X	
3. Orderly Development	X	
4. Use of Public Services and Facilities	X	
5. Consistent with Title and Plan	X	



## **APPROVAL STANDARDS FOR PLANNED UNIT DEVELOPMENTS:**

- 1) **Comprehensive Plan:** The proposed planned unit development fulfills the objectives of the Comprehensive Plan, and other land use policies of the Village, through an innovative and creative approach to the development of land.

**Applicant's Response:** There is no plan for future development of the property at this time, however the property currently fulfills the objectives of the Comprehensive Plan and other land use policies of the Village.

- 2) **Public Facilities:** The proposed planned unit development will provide walkways, driveways, streets, parking facilities, loading facilities, exterior lighting, and traffic control devices that adequately serve the uses within the development, promote improved access to public transportation, and provide for safe motor vehicle, bicycle, and pedestrian traffic to and from the site.

**Applicant's Response:** The property has clear and well maintained walkways. The driveways, entry/exit points, and parking facilities are all clearly marked and safe to use. Safe traffic to and from the site describes this property. Current exterior lighting on the property provides security and visibility for the public.

- 3) **Landscaping and Screening:** The proposed planned unit development will provide landscaping and screening that enhances the Village's character and livability, improves air and water quality, reduces noise, provides buffers, and facilitates transitions between different types of uses.

**Applicant's Response:** The interior landscaping is above average and reveals a high pride of ownership. The existing buffers are maintained and do the job that they are intended to do.

- 4) **Site Design:** The proposed planned unit development will incorporate sustainable and low impact site design and development principles.

**Applicant's Response:** The property consists of 60 apartment homes. Our goal is to create a sustainable and low impact site design to minimize potential disturbance to our residents' peaceful enjoyment of their home and surrounding community.

- 5) **Natural Environment:** The proposed planned unit development will protect the community's natural environment to the greatest extent practical, including existing natural features, water courses, trees, and native vegetation.

**Applicant's Response:** We have outdoor sculptures, 2 water fountains, and plants that could be used as a benchmark for others that wish to raise their property to another level.



- 6) **Utilities:** The proposed planned unit development will be provided with underground installation of utilities when feasible, including electricity, cable, and telephone, as well as appropriate facilities for storm sewers, stormwater retention, and stormwater detention.

**Applicant's Response:** Underground utilities were used, including electric, cable and telephone. The existing storm and sanitary sewers are well maintained and clear of any local blockages near the property.

	<b>Meets Standard</b>	
<b>Planned Unit Development Approval Standards</b>	<i>Yes</i>	<i>No</i>
1. Comprehensive Plan	X	
2. Public Facilities	X	
3. Landscaping and Screening	X	
4. Site Design	X	
5. Natural Environment	X	
6. Utilities	X	



**RECOMMENDATIONS:**

Staff recommends the Denial of the above Findings of Fact as they pertain to a Zoning Map Amendment and therefore the Denial of the request to rezone 1131-1139 Center Street from C-2 Commercial District to R-5 Multiple-Unit Dwelling District.

Staff recommends the Approval of the above Findings of Fact as they pertain to a Special Use Permit and therefore the Approval of the Special Use Permit at 1131-1139 Center Street.

Staff recommends the Approval of the above Findings of Fact as they pertain to a Planned Unit Development and therefore the Approval of the Preliminary and Final Planned Unit Development at 1131-1139 Center Street.

Respectfully Submitted,

Department of Community & Economic Development



KABAL SURVEYING COMPANY  
Land Surveying Services  
ALTA/ACSM Land Title Survey

2411 Hawthorne Avenue  
Westchester, Illinois 60154  
(708) 562-5852  
Fax (708) 562-7314  
Registration No. 184-003061



Parcel 1: The North 58.37 feet of Lot 24, as measured on the West line, the South line of same being at right angles to the West line of said lot, together with the South 14 feet of that part of Lot 23 lying East of the prolongation North of the West line of Lot 24, in Central's Resubdivision Corrected Plat of part of the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

Parcel 2: The South 115 feet of the North 181.37 feet of the West 133.5 feet of Lot 24 (measured on the West line and perpendicular to the West line of said Lot) in Central's Resubdivision Corrected Plat of part of the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

Parcel 3: The South 115 feet of the North 181.37 feet (except the West 133.5 feet) of Lot 24 (measured on the West line and perpendicular to the West line of said Lot) in Central's Resubdivision Corrected Plat of part of the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

Parcel 4: The West 133.5 feet of Lot 24 lying South of the North 181.37 feet (measured on the West line and perpendicular to the West line thereof and which lies 145 feet North of the South line of said Lot) in Central's Resubdivision Corrected Plat of part of the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

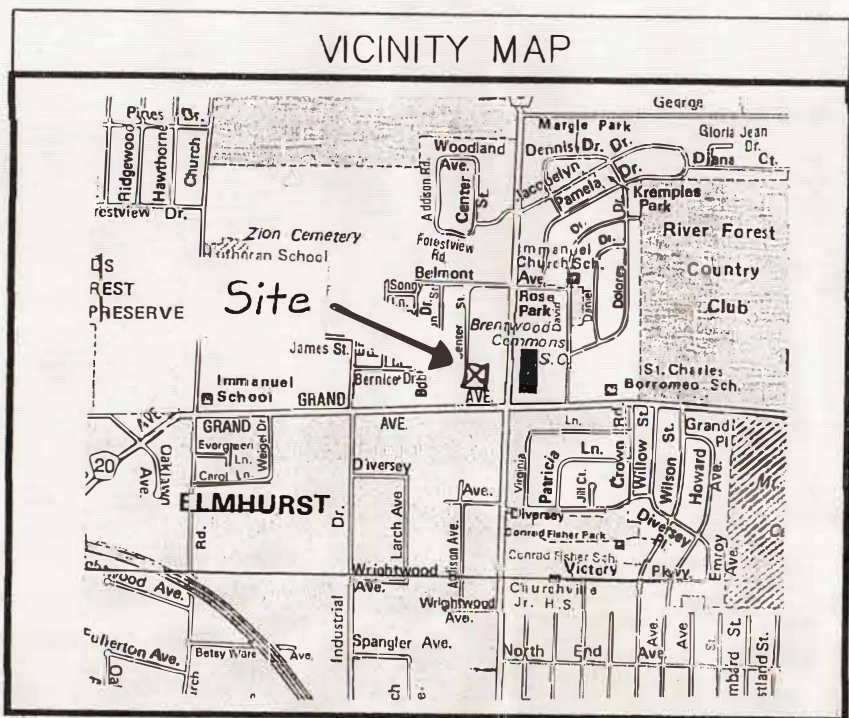
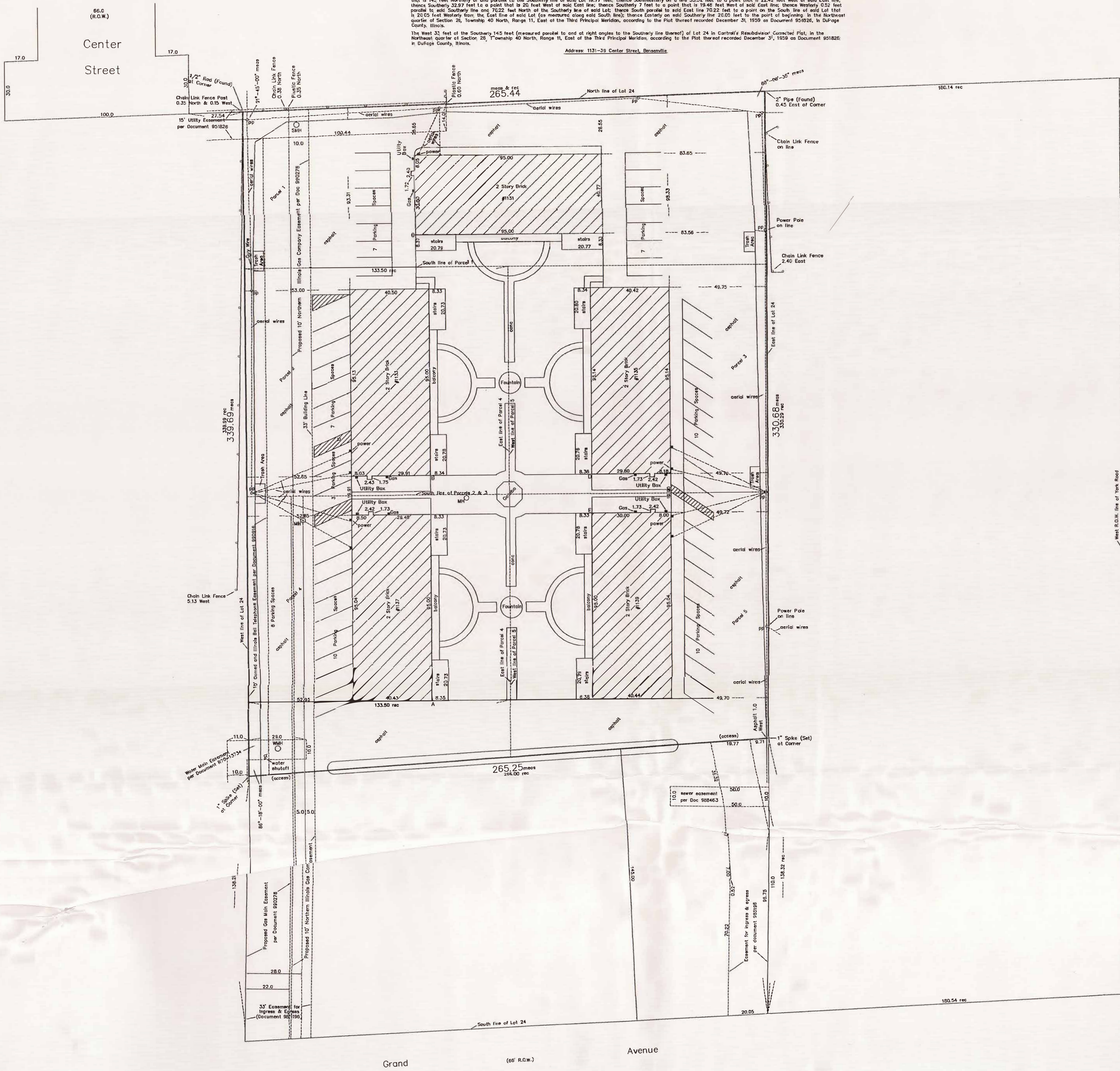
Parcel 5: That part of Lot 24 lying South of the North 181.37 feet (measured on the West line and perpendicular to the West line thereof and which lies 145 feet North of the South line of said Lot), except the West 133.5 feet thereof in Central's Resubdivision Corrected Plat of part of the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

Parcel 6: Easements for ingress and egress and for installation, use and maintenance of public utilities in favor of Parcels 1 to 5, both inclusive, as disclosed by Declaration made by Edward Nelson Bank, as trustee under trust agreement dated October 27, 1965 and known as Trust Number 134, recorded October 21, 1965 as Document 926195, over the following property:

That part of Lot 24 in Central's Resubdivision Corrected Plat described by beginning at the Southeast corner of said Lot for a point of beginning, thence North on the East line thereof 88.75 feet, thence Northwesterly on a line to a point that is 145 feet North of the South line of said Lot and at right angles to the South line of said Lot 8.71 feet West of the East line of said Lot (as measured on a line that is 145 feet North of the South line of said Lot and at right angles to the South line of said Lot) thence continuing West on said line that is 145 feet North of the South line of said Lot 18.77 feet, thence Southwesterly on a line 15.32 feet to a point that is 22.42 feet West of said East line, thence Southerly 23.87 feet to a point that is 26 feet West of said East line, thence Southerly 7 feet to a point that is 18.48 feet West of said East line, thence West 0.52 feet parallel to said Southerly line and 71.22 feet North of the Southerly line of said Lot, thence South parallel to said East line 71.22 feet to a point on the South line of said Lot that is 21.02 feet West of the East line of said Lot (as measured along said South line), thence Southerly on said Southerly line 21.02 feet to the point of beginning, in the Northwest quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

The West 33 feet of the Southerly 145 feet (measured parallel to and at right angles to the Southerly line thereof) of Lot 24 in Central's Resubdivision Corrected Plat, in the Northeast quarter of Section 26, Township 40 North, Range 11, East of the Third Principal Meridian, according to the Plat thereof recorded December 31, 1958 as Document 921826, in DuPage County, Illinois.

Address: 1131-19 Center Street, Bensenville



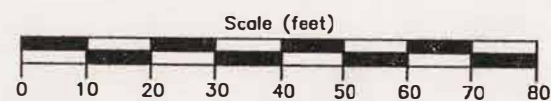
To Matt Panga:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSRS in 2005, and includes items 1, 2, 3, 4, 6, 7, 9, 10, 11, 12, 13, 15, 17 and 8 of Table A thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSRS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Illinois, the Relative Position Accuracy of this survey does not exceed that which is specified therein.

Date: December 9, 2010

signature *Stephen J. Bales* 035-000712  
registration number

- NOTES:
- 1) VMH = water manhole, α = hydrant, MH = manhole, pp = power pole, SMH = sanitary manhole
  - 2) Height of building above grade at point A is 18.42, point B is 18.35, point C is 18.40, point D is 18.54 & point E is 18.30
  - 3) The square footage of buildings at ground level are as follows: #1137 is 3,843 square feet, #1139 is 3,845 square feet, #1135 is 3,848 square feet, #1131 is 3,847 square feet, & #1131 is 3,862 square feet.
  - 4) There were no Governmental Agency survey-related requirements specified by the client.
  - 5) There were no observable evidence of earth moving work, building construction or building additions within recent months.
  - 6) There are no changes in street right of way lines which were completed or proposed. There is no evidence of recent street or sidewalk construction or repairs.
  - 7) There is no observable evidence of site use as a solid waste dump, ramp or sanitary landfill.
  - 8) There are 54 regular parking spaces located onsite.
  - 9) According to Flood Insurance Rate Map, Community-Panel Number: 170200 003 C, Map Revised March 2, 1993, shows that our property is located in "Zone X". "Zone X" is defined as "areas determined to be outside 500-year floodplain".
  - 10) According to Village of Bensenville website: Our property is located in Zoning District "RM-2 Medium Multi-Family", from Bensenville Official Zoning Map 2009 (adopted March 3, 2009 Ordinance #5-2009).
  - 11) The minimum lot width shall be 25 feet.
  - 12) The maximum building height for residential uses shall be 80 feet. For uses located within 200 feet of an RS District, maximum height is 32 feet.
  - 13) Minimum requirements for yards in this district shall be: 1 foot for each foot of building height over 32 feet, where maximum height restriction permits: front yard depth = 30 feet, corner side yard width = 15 feet, interior side yard width = 10 feet, rear yard depth = 25 feet.
  - 14) The minimum lot area per dwelling unit, in square feet, shall be: efficiency unit = 792 square feet, 1-bedroom unit = 1,030 square feet, 2-bedroom = 1,742 square feet, 3-bedroom = 2,553 square feet, 4-bedroom and larger unit = 2,847 square feet.
  - 15) According to DuPage County Recorder of Deeds website, names of adjoining owners are: 111 West Grand Avenue, Bensenville (PIN 03-26-204-006-0000) is Duane R.E. Development LLC; 15 Grand Avenue, Bensenville (PIN 03-26-204-009-0000) is John Morris; 1156 South York Road, Bensenville (PIN 03-26-204-015-0000) is First National Bank of Western Springs; 1140 South York Road, Bensenville (PIN 03-26-204-021-0000) is Wells Fargo Bank; 1120 South York Road (PIN 02-36-204-010-0000) is Amy Mazur; 1108 South York Road, Bensenville (PIN 03-26-204-010-0000) is Joan M. Ragano; 1075 South Center Street (PIN 03-26-203-032) is Kenneth W. Wiazacki.



LEGEND  
cont. = concrete  
PN = property index number  
meas = measured  
rec = record  
R.O.W. = right-of-way  
pvt = porch

Area of property is approximately 88,822 square feet  
"X" in box indicates that hereon drawn plat was ordered as a non-monumented survey

Please check Legal Description with Deed and report any discrepancy immediately.

Surveyed September 21, 19 91  
Building Located September 21, 19 91

Scale: 1 inch = 30 ft.  
Order No. 910532  
Ordered By: Panga, Owner

SURVEY UPDATED DECEMBER 9, 2010

ORIGINAL SEAL IN RED

This professional service conforms to the current Illinois minimum standards for an ALTA/ACSM survey

STATE OF ILLINOIS }  
COUNTY OF COOK }

I, STEPHEN J. BALEK, an Illinois Professional Land Surveyor, hereby certify that I have surveyed the property described above and the plat hereon drawn is a correct representation of said survey.

Dimensions are in feet and decimal parts thereof and are corrected to a temperature of 62 degrees Fahrenheit.

*Stephen J. Bales*  
Illinois Professional Land Surveyor No. 035-001712  
My license expires on November 30, 2012



**TYPE:**Public Meetings**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**07.06.21**DESCRIPTION:**Consideration of a Plat of Consolidation at 1000 N IL Rte. 83***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village	<input type="checkbox"/>	Enrich the Lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input checked="" type="checkbox"/>	Vibrant Major Corridors

**REQUEST:**

1. Plat of Consolidation  
Municipal Code Section 11 - 3

**SUMMARY:**

1. The Petitioner, Hamilton Partners, is requesting a Plat of Consolidation at 1000 N IL Rte. 83, formerly addressed as 1000 Tower Lane.
2. An existing 144,350 SF industrial building is located on the subject property.

**RECOMMENDATION:**

1. Staff recommends the approval of the Plat of Consolidation at 1000 N IL Rte. 83.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Case Cover Page</b>	<b>6/29/2021</b>	<b>Cover Memo</b>
<b>Plat of Consolidation</b>	<b>6/29/2021</b>	<b>Backup Material</b>





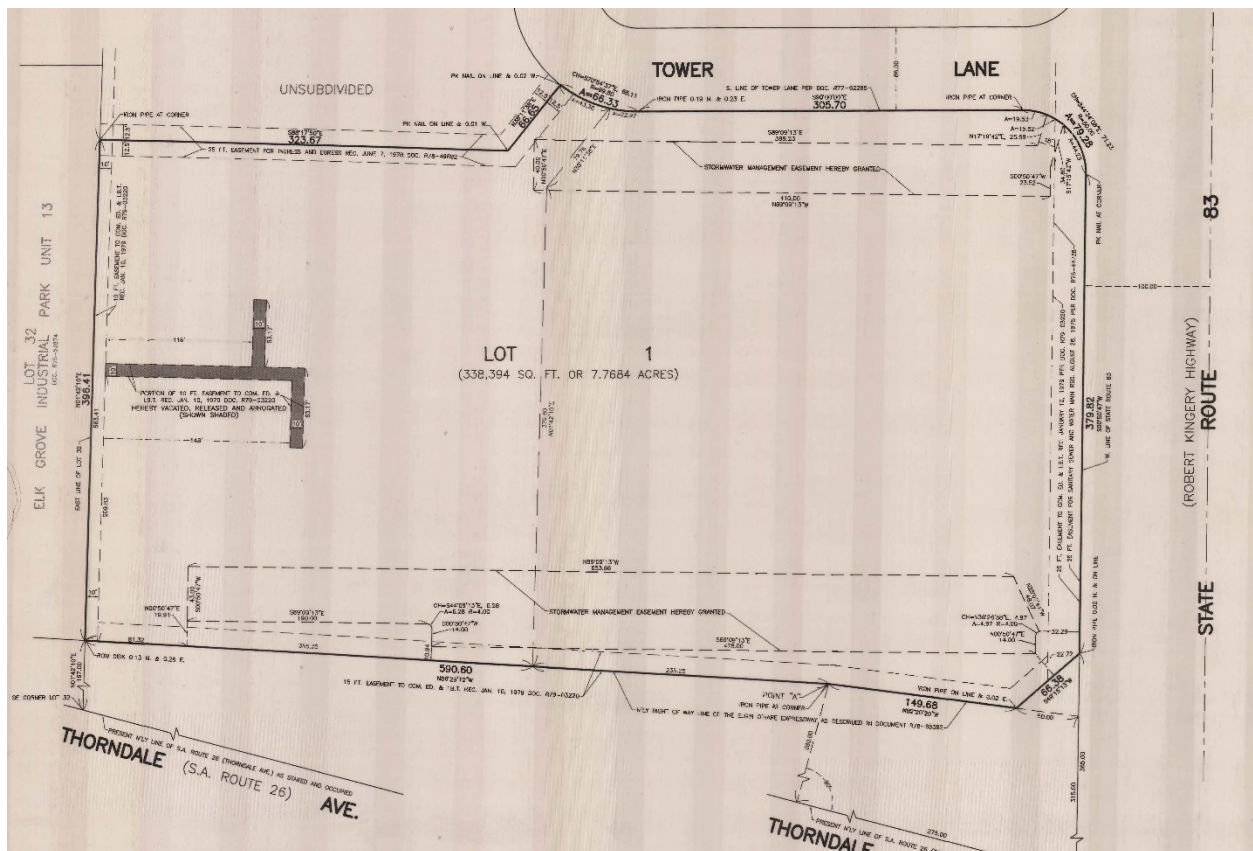
# BENSENVILLE

GATEWAY TO OPPORTUNITY

Community Development Commission  
Public Meeting 07.06.21

Hamilton Partners  
1000 N IL Rte. 83

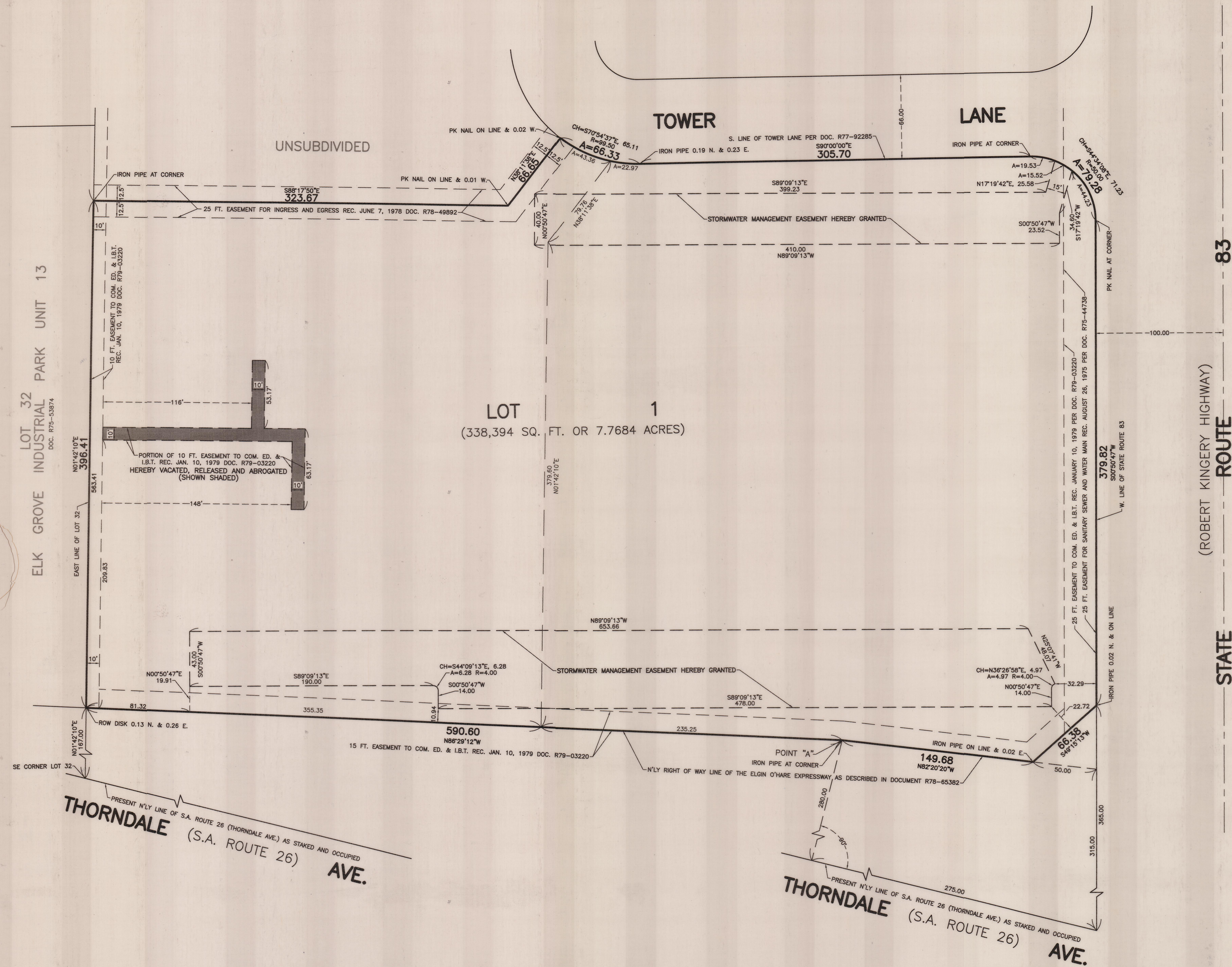
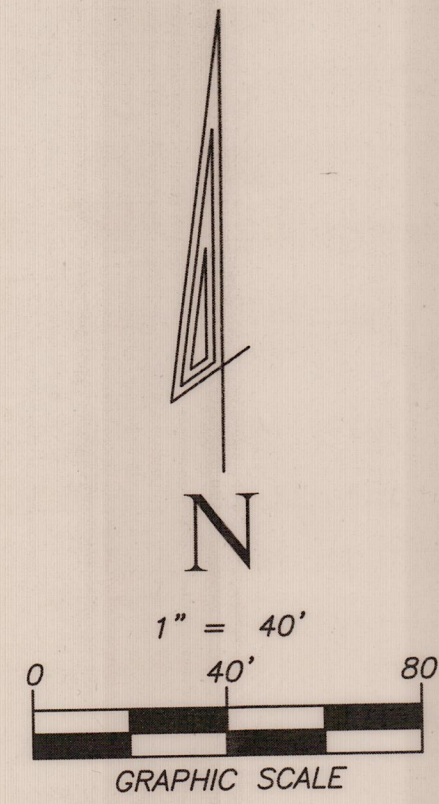
Plat of Consolidation  
Municipal Code Section 11 – 3





# 1000 N. ROUTE 83 SUBDIVISION

IN SECTION 3, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE, THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS



DRAFTED BY: BJE  
PAGE: 1 OF 2  
ORDER NO.: 190233  
FILE: 3-40-11  
PROJECT NO.: 234

MAY 3, 2021	190233	ADDED EASEMENT VACATION
APR. 28, 2021	190233	REVISE PER COMMENTS REC. 4/28/2021
APR. 22, 2021	190233	CHANGE DATES TO 2021
JUN. 10, 2020	190233	ADDED MONUMENTS SET IN FIELD
JAN. 30, 2020	190233	COMMENTS RECEIVED JAN. 29, 2020
DEC. 27, 2019	190233	ADD STORMWATER MANAGEMENT EASEMENT & PROVISIONS
DEC. 11, 2019	190233	SUBDIVISION PLAT
REVISION DATE	ORDER NO.	REVISION

NOTE: "IRON PIPE" SURVEY STAKES OR SIMILAR SHALL BE SET AT ALL CORNERS UPON COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.

PREPARED BY:  
**EDWARD J. MOLLOY & ASSOCIATES**  
A DIVISION OF THOMAS A. MOLLOY, LTD. - PROFESSIONAL LAND SURVEYING  
1236 MARK STREET, BENSENVILLE, ILLINOIS 60106 (630) 595-2600 FAX: (630) 595-4700  
E-MAIL: TMOLLOY@EJMOLLOY.COM



OWNER'S CERTIFICATE AND SCHOOL DISTRICT STATEMENT

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

TOWER LANE HOLDINGS II LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, DOES HEREBY CERTIFY THAT IT IS THE OWNER OF PART OF THE PROPERTY DESCRIBED HEREON AND THAT IT HAS CAUSED SAID PROPERTY TO BE SURVEYED AND PLATTED FOR THE PURPOSE OF CONSOLIDATING SAME INTO ONE LOT AS SHOWN HEREON FOR THE USES AND PURPOSES THEREIN SET FORTH AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE HEREON SHOWN. IT FURTHER CERTIFIES TO THE BEST OF ITS KNOWLEDGE, THAT THE LAND INCLUDED HEREIN FALLS WITHIN THE FOLLOWING SCHOOL DISTRICTS: WOOD DALE SCHOOL DISTRICT 7, 543 N. WOOD DALE ROAD, WOOD DALE, IL 60191, (630) 595-9510. COMMUNITY HIGH SCHOOL DISTRICT 100, 1000 W. GREEN STREET, BENSENVILLE, IL 60109, (630) 766-2500. ILLINOIS PUBLIC COMMUNITY COLLEGE DISTRICT NO. 502.

SIGNED AT ITASCA, ILLINOIS, THIS 1 DAY OF JUNE, A.D. 2021

TOWER LANE HOLDINGS II LLC, AN ILLINOIS LIMITED LIABILITY COMPANY

BY: John Watterlex  
NAME: JOHN WATTERLEX  
TITLE: MANAGING MEMBER

NOTARY PUBLIC CERTIFICATE

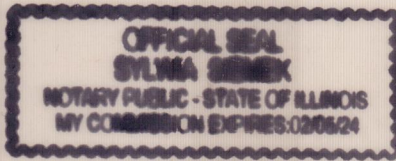
STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, Sylvia Siemek, A NOTARY PUBLIC IN AND FOR SAID COUNTY, IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT JOHN WATTERLEX OF TOWER LANE HOLDINGS II LLC, AN ILLINOIS LIMITED LIABILITY COMPANY, PERSONALLY KNOWN TO ME TO BE THE SAME PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE SIGNED AND DELIVERED THE SAID INSTRUMENT AS HIS/HER OWN FREE AND VOLUNTARY ACT AND AS THE FREE AND VOLUNTARY ACT OF SAID LIMITED LIABILITY COMPANY FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS 1 DAY OF JUNE, A.D. 2021

MY COMMISSION EXPIRES: FEBRUARY 5, 2024

Sylvia Siemek  
NOTARY PUBLIC



DRAINAGE CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION OR ANY PART THEREOF, OR, THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, THE REASONABLE PROVISIONS HAVE BEEN MADE FOR THE COLLECTION AND DISCHARGE OF SURFACE WATERS INTO PUBLIC OR PRIVATE AREAS AND/OR DRAINS WHICH THE SUBDIVIDER HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE RESUBDIVISION.

DATED THIS 21<sup>st</sup> DAY OF June, A.D. 2021.

OWNER OR ATTORNEY

DATED THIS 21<sup>st</sup> DAY OF June, A.D. 2021.

DESIGN ENGINEER



EASEMENT VACATION ACKNOWLEDGEMENT

THAT PORTION OF THE 10 FOOT EASEMENT TO COMMONWEALTH EDISON COMPANY AND ILLINOIS BELL TELEPHONE COMPANY PER DOCUMENT R79-03220 SHADED HEREON IS HEREBY VACATED, RELEASED AND ABROGATED.

APPROVED AND ACCEPTED BY:

COMMONWEALTH EDISON COMPANY

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

TITLE: \_\_\_\_\_

ILLINOIS BELL TELEPHONE COMPANY

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

TITLE: \_\_\_\_\_

COMMUNITY DEVELOPMENT DEPARTMENT CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

VILLAGE OF BENSENVILLE COMMUNITY DEVELOPMENT DEPARTMENT

DIRECTOR OF COMMUNITY DEVELOPMENT

COMMUNITY DEVELOPMENT COMMISSION CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

VILLAGE OF BENSENVILLE DEVELOPMENT COMMISSION

CHAIRMAN DEVELOPMENT COMMISSION

VILLAGE TREASURER CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, \_\_\_\_\_ VILLAGE TREASURER FOR THE VILLAGE OF BENSENVILLE, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE PLAT.

DATED AT BENSENVILLE, DUPAGE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

VILLAGE TREASURER

VILLAGE PRESIDENT CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

APPROVED AND ACCEPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

BY THE PRESIDENT OF THE VILLAGE OF BENSENVILLE, ILLINOIS

VILLAGE PRESIDENT

ATTEST: \_\_\_\_\_  
VILLAGE CLERK

COUNTY CLERK CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, JEAN KACZMAREK, COUNTY CLERK OF DUPAGE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE ANNEXED PLAT. I FURTHER CERTIFY THAT I HAVE RECEIVED ALL STATUTORY FEES IN CONNECTION WITH THE ANNEXED PLAT.

GIVEN UNDER MY HAND AND SEAL AT WHEATON, DUPAGE COUNTY, ILLINOIS, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

COUNTY CLERK

COUNTY RECORDER CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF DUPAGE COUNTY, ILLINOIS, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021 AT \_\_\_\_\_ O'CLOCK \_\_\_\_\_ M. IN BOOK \_\_\_\_\_ OF PLATS, PAGE \_\_\_\_\_

COUNTY RECORDER

CERTIFICATE OF COUNTY ENGINEER

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

THIS PLAT HAS BEEN APPROVED BY THE DUPAGE COUNTY DIVISION OF TRANSPORTATION WITH RESPECT TO ROADWAY ACCESS TO COUNTY HIGHWAY #60, NORTH THORNDALE ROAD PURSUANT TO 765 ILCS 205/2; HOWEVER, A HIGHWAY PERMIT FOR ACCESS IS REQUIRED OF THE OWNER OF THE PROPERTY PRIOR TO CONSTRUCTION WITHIN THE COUNTY'S RIGHTS-OF-WAY.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2021.

BY: \_\_\_\_\_  
COUNTY ENGINEER

# 1000 N. ROUTE 83 SUBDIVISION

IN SECTION 3, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE, THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS

STORMWATER MANAGEMENT EASEMENT (S.W.M.E.) PROVISIONS

THE OWNERS, AS DESCRIBED IN THE OWNER'S CERTIFICATE, AND THEIR SUCCESSORS AND ASSIGNS (THE "OWNER"), OF THE LANDS AS PRESCRIBED BY THIS PLAT DO HEREBY AGREE TO INSTALL, CONSTRUCT, RECONSTRUCT, REPLACE, ENLARGE, REPAIR, OPERATE AND PROVIDE LONG TERM MAINTENANCE (THE "MAINTENANCE OBLIGATIONS") FOR ALL STORMWATER MANAGEMENT FACILITIES AND AREAS, DESCRIBED HEREIN AND NOT LIMITED TO DETENTION PONDS, WETLANDS, FLOOD PLAINS, SPECIAL MANAGEMENT AREAS, STORM SEWERS, DRAINAGE DITCHES AND SWALES, AS WELL AS PLANTINGS, FLOOD PLAINS, SPECIAL MANAGEMENT AREAS, STORM SEWERS, DRAINAGE DITCHES AND SWALES, AS WELL AS PLANTINGS AND BEST MANAGEMENT PRACTICES DEEMED APPROPRIATE BY THE VILLAGE FOR PARTICULAR SITUATIONS AND AS OUTLINED IN THE STORMWATER REPORT AND IN ACCORDANCE WITH THE VILLAGE OF BENSENVILLE'S ORDINANCES AND THE FINAL ENGINEERING PLANS APPROVED BY THE VILLAGE OF BENSENVILLE. NO CHANGE TO THE GRADE, TOPOGRAPHY OR STORMWATER MANAGEMENT STRUCTURES WITHIN THE STORMWATER MANAGEMENT EASEMENT AREAS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE VILLAGE OF BENSENVILLE.

THE OWNERS DO HEREBY RESERVE FOR AND GRANT TO THE VILLAGE OF BENSENVILLE, AN ILLINOIS MUNICIPAL CORPORATION, A PERPETUAL EASEMENT TO ENTER UPON THE PREMISES AND THE STORMWATER MANAGEMENT EASEMENT AREAS WITH SUCH EQUIPMENT AND PERSONNEL AS MAY BE DEEMED NECESSARY FOR THE PURPOSES OF PERFORMING THE APPROPRIATE MAINTENANCE OBLIGATIONS SHOULD THE OWNERS FAIL TO PROVIDE OR PERFORM SUCH MAINTENANCE OBLIGATIONS. THE VILLAGE SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER THE PREMISES WITH SUCH MANAGEMENT FACILITIES LOCATED WITHIN SAID STORMWATER MANAGEMENT EASEMENT AREAS, IF THE OWNERS FAIL TO PERFORM THEIR MAINTENANCE OBLIGATIONS WITH RESPECT TO THEIR RESPECTIVE FACILITIES, AND AFTER THIRTY (30) DAYS OF RECEIPT OF WRITTEN NOTICE FROM THE VILLAGE OF SAID FAILURE, THE OWNERS FAIL TO MAKE THE REQUIRED REPAIRS, THE VILLAGE HAS THE RIGHT, BUT NOT THE OBLIGATION, TO MAKE THE REQUIRED REPAIRS AND TO SEEK REIMBURSEMENT (WITH AN ADDITIONAL 10% OF SAID COST FOR ADMINISTRATION) FROM THE OWNERS, AND/OR TO FILE A LIEN WITHIN NINETY (90) DAYS OF COMPLETION OF THE WORK AGAINST ALL PROPERTY DESCRIBED BY THE PLAT WHICH MAYBE FORECLOSED BY ANY ACTION BROUGHT BY OR ON BEHALF OF THE VILLAGE) ON THE PROPERTY FOR THE COSTS INCURRED BY THE VILLAGE IN CONNECTION WITH PERFORMING THE REPAIRS OR MAINTENANCE. IN AN EMERGENCY SITUATION, THE VILLAGE IS NOT REQUIRED TO PROVIDE NOTICE TO THE OWNERS PRIOR TO MAKING THE REQUIRED REPAIRS OR PERFORMING THE NECESSARY MAINTENANCE, PROVIDED THAT VILLAGE SHALL, AS SOON AS POSSIBLE, NOTIFY THE OWNERS, TO THE EXTENT THAT THE STORMWATER EASEMENT AREA IS IMPROVED WITH BEST MANAGEMENT PRACTICES PLANTINGS OR STORMWATER CONTROL FACILITIES THAT REQUIRE ONGOING MAINTENANCE AND INSPECTION, AND TO THE EXTENT THAT THE VILLAGE MUST RETAIN OUTSIDE CONSULTANTS FOR SUCH INSPECTION AND/OR MAINTENANCE, THE OWNERS OF THE UNDERLYING PROPERTY SHALL BE RESPONSIBLE TO REIMBURSE THE VILLAGE FOR THE COST PLUS A TEN PERCENT (10%) ADMINISTRATIVE FEE.

NO OBSTRUCTION OR STRUCTURE SHALL BE ERRECTED OR LOCATED, NOR SHALL ANY TREES BE PLANTED, IN STORMWATER MANAGEMENT EASEMENT AREAS, NOR SHALL ANY OTHER ACTIVITIES BE UNDERTAKEN THAT UNREASONABLY INTERFERE WITH THE INTENDED USE THEREOF TO ACCEPT, STORE AND CONVEY STORMWATER, BUT THE SAME MAY BE USED FOR LANDSCAPING, FENCING, PARKING OR OTHER PURPOSES IF APPROVED IN WRITING BY THE VILLAGE OF BENSENVILLE AND IF SUCH USE DOES NOT THEN OR LATER INTERFERE WITH THE AFOREMENTIONED PURPOSES. IF THEY INTERFERE WITH THE OPERATION OR ACCESS TO SUCH STORMWATER MANAGEMENT FACILITIES IN, ON, UPON, ACROSS, UNDER OR THROUGH ANY STORMWATER MANAGEMENT EASEMENT SHOWN WITHIN THIS PLAT AND TO INSPECT THE EASEMENT PERIODICALLY, THE VILLAGE SHALL NOT BE RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ANY SUCH BUILDINGS, STRUCTURES, IMPROVEMENTS, TURF, FENCES, TREES, GARDENS, SHRUBS OR LANDSCAPING REMOVED OR DAMAGED DURING THE EXERCISE OF THE HEREIN GIVEN RIGHTS. REPLACEMENT AND/OR REPAIR OF SAID ITEMS SHALL BE THE RESPONSIBILITY OF THE THEN UNDERLYING LOT OWNER.

THE VILLAGE SHALL HAVE THE RIGHT TO REMOVE FROM THE STORMWATER MANAGEMENT EASEMENT AREAS ANY ILLEGAL FENCES, BUILDINGS OR STRUCTURES, AND TO CUT DOWN, TRIM OR REMOVE ANY TREES, SHRUBS, BUSHES, ROOTS OR OTHER PLANTINGS.

TAX PARCEL PERMANENT INDEX NUMBERS:  
03-03-400-026  
03-03-400-028

AFTER RECORDING RETURN TO:  
VILLAGE CLERK  
VILLAGE OF BENSENVILLE  
12 S. CENTER STREET  
BENSENVILLE, IL 60108

PLAT SUBMITTED BY AND SEND FUTURE TAX BILLS TO:  
HAMILTON PARTNERS  
300 PARK BOULEVARD  
SUITE 201  
ITASCA, ILLINOIS 60143

PROFESSIONAL AUTHORIZATION

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, THOMAS A. MOLLOY, A PROFESSIONAL LAND SURVEYOR OF THE STATE OF ILLINOIS, LICENSE NUMBER 35-3409, DO HEREBY AUTHORIZE THE VILLAGE OF BENSENVILLE, DUPAGE COUNTY, ILLINOIS, ITS STAFF OR AUTHORIZED AGENT, TO PLACE THIS DOCUMENT OF RECORD IN THE COUNTY RECORDERS OFFICE IN MY NAME AND IN COMPLIANCE WITH ILLINOIS STATUTES CHAPTER 109 PARAGRAPH 2, AS AMENDED.

SIGNED AT BENSENVILLE, ILLINOIS THIS 3RD DAY OF MAY, A.D. 2021

EDWARD J. MOLLOY AND ASSOCIATES, A DIVISION OF THOMAS A. MOLLOY, LTD.  
AN ILLINOIS PROFESSIONAL DESIGN FIRM - LICENSE NO. 184-004840

Thomas A. Molloy  
THOMAS A. MOLLOY  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3409  
(EXPIRES NOVEMBER 30, 2022 AND IS RENEWABLE)

LAND SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
COUNTY OF DUPAGE ) SS

I, THOMAS A. MOLLOY, AN ILLINOIS PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT I HAVE SURVEYED AND PLATTED THE FOLLOWING DESCRIBED PROPERTY FOR THE PURPOSE OF CONSOLIDATING SAME INTO ONE LOT:

THAT PART OF THE EAST 1/2 OF SECTION 3, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 32 IN ELK GROVE INDUSTRIAL PARK UNIT 13, BEING A SUBDIVISION IN THE SOUTH 1/2 OF SECTION 3, AFORESAID; THENCE NORTH 01 DEGREES 42 MINUTES 10 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 32, 167.0 FEET TO A POINT FOR A POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE CONTINUING NORTH 01 DEGREES 42 MINUTES 10 SECONDS EAST ALONG SAID LAST DESCRIBED LINE, BEING IDENTICAL WITH THE EAST LINE, AND SAID LINE EXTENDED, OF LOT 14 IN ELK GROVE INDUSTRIAL PARK UNIT 3, BEING A SUBDIVISION IN SECTION 3, 396.41 FEET; THENCE SOUTH 88 DEGREES 17 MINUTES 50 SECONDS EAST, 323.67 FEET; THENCE NORTH 38 DEGREES 11 MINUTES 38 SECONDS EAST, 66.65 FEET TO A POINT ON THE SOUTHWESTERLY LINE OF TOWER LANE AS DEDICATED BY PLAT RECORDED OCTOBER 11, 1977 AS DOCUMENT R77-92285; THENCE SOUTHEASTERLY ALONG THE SOUTHWESTERLY LINE OF SAID TOWER LANE, BEING A CURVED LINE CONVEXED TO THE SOUTHWEST, HAVING A RADIUS OF 99.50 FEET, AN ARC LENGTH OF 43.38 FEET TO A POINT; THENCE SOUTH 38 DEGREES 11 MINUTES 38 SECONDS WEST, 79.76 FEET; THENCE SOUTH 01 DEGREES 42 MINUTES 10 SECONDS WEST, 379.60 FEET TO THE FUTURE NORTHERLY RIGHT OF WAY LINE OF THE ELGIN-O'HARE EXPRESSWAY, BEING A STRAIGHT LINE DRAWN FROM SAID LAST DESCRIBED POINT TO A POINT HEREINAFTER REFERRED TO AS POINT "A" BEING 280.00 FEET, NORMALLY DISTANT, NORTHEASTERLY OF THE EXISTING LINE OF S.A. ROUTE 26 (THORNDALE AVENUE) AT A POINT ON SAID EXISTING NORTHERLY LINE, 275.0 FEET NORTHWESTERLY OF THE INTERSECTION OF SAID LINE WITH THE WEST LINE OF S.A. ROUTE 83; THENCE NORTH 86 DEGREES 29 MINUTES 12 SECONDS WEST ALONG SAID FUTURE NORTHERLY RIGHT OF WAY LINE, 355.35 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ALSO

THAT PART OF THE EAST 1/2 OF SECTION 3, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF LOT 32 IN ELK GROVE INDUSTRIAL PARK UNIT 13, BEING A SUBDIVISION IN THE SOUTH 1/2 OF SECTION 3, AFORESAID; THENCE NORTH 01 DEGREES 42 MINUTES 10 SECONDS EAST ALONG THE EAST LINE OF SAID LOT 32, 167.00 FEET; THENCE SOUTH 86 DEGREES 29 MINUTES 12 SECONDS EAST ALONG THE NORTHERLY RIGHT OF WAY LINE OF THE ELGIN-O'HARE EXPRESSWAY AS DESCRIBED IN DOCUMENT R78-65382, BEING A STRAIGHT LINE DRAWN FROM SAID LAST DESCRIBED POINT TO A POINT HEREINAFTER REFERRED TO AS POINT "A" BEING 280.00 FEET, NORMALLY DISTANT, NORTHEASTERLY OF THE EXISTING LINE OF S.A. ROUTE 26 (THORNDALE AVENUE) AT A POINT ON SAID EXISTING NORTHERLY LINE, 275.00 FEET NORTHWESTERLY OF THE INTERSECTION OF SAID LINE WITH THE WEST LINE OF STATE ROUTE NO. 83, 355.35 FEET TO A POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; THENCE NORTH 01 DEGREES 42 MINUTES 10 SECONDS EAST, 379.60 FEET; THENCE NORTH 38 DEGREES 11 MINUTES 38 SECONDS EAST, 66.65 FEET TO A POINT ON SAID WEST LINE OF STATE ROUTE NO. 83, 315.00 FEET NORTHERLY OF THE INTERSECTION OF SAID LINE WITH THE EXISTING NORTHERLY LINE OF S.A. ROUTE 26 (THORNDALE AVENUE); THENCE SOUTH 49 DEGREES 15 MINUTES 13 SECONDS WEST ALONG THE NORTHERLY RIGHT OF WAY OF ELGIN-O'HARE EXPRESSWAY, AS DESCRIBED IN SAID DOCUMENT R78-65382, 66.38 FEET TO AN INTERSECTION WITH A LINE DRAWN FROM THE AFOREMENTIONED POINT "A" TO A POINT ON THE WEST LINE OF STATE ROUTE NO. 83, 315.00 FEET NORTHERLY OF THE INTERSECTION OF SAID WEST LINE WITH EXISTING NORTHERLY LINE OF S.A. ROUTE 26 (THORNDALE AVENUE); THENCE NORTH 82 DEGREES 20 MINUTES 20 SECONDS WEST ALONG SAID LAST DESCRIBED FUTURE NORTHERLY RIGHT OF WAY LINE OF ELGIN-O'HARE EXPRESSWAY, 149.68 FEET TO THE AFOREMENTIONED POINT "A"; THENCE NORTH 86 DEGREES 29 MINUTES 12 SECONDS WEST ALONG SAID NORTHERLY RIGHT OF WAY LINE OF ELGIN-O'HARE EXPRESSWAY, 235.25 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. I FURTHER CERTIFY THAT BASED ON OUR REVIEW AND INTERPRETATION OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 1704SC0007J WITH A MAP REVISED DATES OF AUGUST 1, 2019, THE PROPERTY LEGALLY DESCRIBED HEREON DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD AREA AND THAT SAID PROPERTY DOES FALL WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. I FURTHER CERTIFY THAT THE LAND INCLUDED BY SAID SURVEY IS WITHIN THE CORPORATE LIMITS OF THE VILLAGE OF BENSENVILLE, DUPAGE COUNTY, ILLINOIS WHICH HAS ADOPTED AN OFFICIAL COMPREHENSIVE PLAN. I FURTHER CERTIFY THAT THE MONUMENTS AND SURVEY STAKES NOTED ON THE ANNEXED PLAT HAVE BEEN ESTABLISHED ON THE SITE.

SIGNED AT BENSENVILLE, ILLINOIS THIS 3RD DAY OF MAY, A.D. 2021.

EDWARD J. MOLLOY AND ASSOCIATES, A DIVISION OF THOMAS A. MOLLOY, LTD.  
AN ILLINOIS PROFESSIONAL DESIGN FIRM - LICENSE NO. 184-004840

Thomas A. Molloy  
THOMAS A. MOLLOY  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3409  
(EXPIRES NOVEMBER 30, 2022 AND IS RENEWABLE)



VALID ONLY WITH EMBOSSED SEAL

PREPARED BY:  
**EDWARD J. MOLLOY & ASSOCIATES**  
A DIVISION OF THOMAS A. MOLLOY, LTD. - PROFESSIONAL LAND SURVEYING  
1236 MARK STREET, BENSENVILLE, ILLINOIS 60106 (630) 595-2600 FAX: (630) 595-4700  
E-MAIL: TMOLLOY@EJMOLLOY.COM

MAY 3, 2021 190233 ADDED EASEMENT VACATION  
APR. 28, 2021 190233 REVISE PER COMMENTS REC. 4/28/2021

DRAFTED BY: BJE	APR. 22, 2021	190233	CHANGE DATES TO 2021
PAGE: 1 OF 2	JUN. 10, 2020	190233	ADDED MONUMENTS SET IN FIELD
ORDER NO.: 190233	JAN. 30, 2020	190233	COMMENTS RECEIVED JAN. 29, 2020
FILE: 3-40-11	DEC. 27, 2019	190233	ADD STORMWATER MANAGEMENT EASEMENT & PROVISIONS
PROJECT NO.: 234	DEC. 11, 2019	190233	SUBDIVISION PLAT
	REVISION DATE	ORDER NO.	REVISION