COMMUNITY DEVELOPMENT COMMISSION Village of Bensenville VILLAGE HALL June 1, 2021 6:30 PM

- I. Call Meeting to Order
- II. Roll Call and Quorum
- III. Pledge of Allegiance
- IV. Public Comment
- V. Approval of Minutes

May 4, 2021 Community Development Commission Meeting Minutes

- VI. Action Items:
- 1. Continued Case 2021-07: Consideration of a Special Use Permit to Operate a Tobacco Shop at 213 W Grand Avenue
- 2. CDC Case 2021-12: Consideration of Variations to Increase Driveway Width and Area at 386 E Red Oak Street.
- 3. CDC Case 2021-11: Consideration of Site Plan Review, a Final PUD, and a Plat of Subdivision for the Properties Located in the Mohawk Terrace Subdivision
- VII. Report from Community and Economic Development
- VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

TYPE: Minutes SUBMITTED BY: Corey Williamsen DEPARTMENT: Village Clerk's Office DATE: June 1, 2021

DESCRIPTION:

May 4, 2021 Community Development Commission Meeting Minutes

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

REQUEST:

SUMMARY:

RECOMMENDATION:

ATTACHMENTS: Description DRAFT_210504_CDC

Upload Date 5/24/2021

Type Cover Memo Village of Bensenville Board Room 12 South Center Street DuPage and Cook Counties Bensenville, IL, 60106

MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION

May 4, 2021

CALL TO ORDER: The meeting was called to order by Chairman Rowe at 6:30p.m.

ROLL CALL : Upon roll call the following Commissioners were present: Rowe, Chambers, King, Marcotte, Wasowicz Absent: Ciula, Czarnecki A quorum was present.

STAFF PRESENT: K. Fawell, K. Pozsgay, C. Williamsen

JOURNAL OF

Motion:

PROCEEDINGS: The minutes of the Community Development Commission Meeting of the April 6, 2021 were presented.

Commissioner Wasowicz made a motion to approve the minutes as presented. Commissioner King seconded the motion.

All were in favor. Motion carried.

Senior Village Planner, Kurtis Pozsgay and Village Planner, Kelsey Fawell, were present and sworn in by Chairman Rowe.

PUBLIC COMMENT:

There was no Public Comment.

Public Hearing:	CDC Case Number 2021-07
Petitioner:	Jatin Patel
Location:	213 West Grand Avenue
Request:	Special Use Permit, Tobacco Shop
-	Municipal Code Section $10 - 7 - 2 - 1$
	-

- Motion:Commissioner Wasowicz made a motion to open CDC Case No.
2021-07. Commissioner King seconded the motion.
- ROLL CALL : Upon roll call the following Commissioners were present: Rowe, Chambers, King, Marcotte, Wasowicz Absent: Ciula, Czarnecki A quorum was present.

Chairman Rowe opened CDC Case No. 2021-07 at 6:32 p.m.

Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on April 15, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on April 12, 2021. Ms. Fawell stated on April 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

Ms. Fawell stated the Petitioner is seeking a Special Use Permit to allow a tobacco shop at 213 W Grand Avenue, which is located in a multi-tenant commercial building. Ms. Fawell stated the proposed shop will occupy a 1,300SF unit and will operate from 9AM - 9PM daily with one employee.

Jatin Patel, owner, was present and sworn in by Chairman Rowe. Mr. Patel provided an overview of his proposed business operation and stated he owns six shops in the area and has owned these businesses for seven years. Mr. Patel stated the proposed shop would offer tobacco, cigars, vapes and CBD products. Mr. Patel stated the primary product with be vapes and glass materials.

Commissioner King requested to continue this case until June 1, 2021 to allow the Commission to gather additional information on the products that are proposed to be sold at Mr. Patel's shop and research the area of other tobacco shops.

Motion: Commissioner Marcotte made a motion to continue CDC Case No. 2021-07 until June 1, 2021. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Chambers, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Community Development Commission Meeting Minutes May 4, 2021 Page 3

Public Meeting: Petitioner: Location: Request:	CDC Case Number 2021-08 Village of Bensenville Village of Bensenville Text Amendments, Municipal Code Section Title 10 (Zoning Ordinance), Chapter 7 (Uses).
Motion:	Commissioner Wasowicz made a motion to open CDC Case No. 2021-08. Commissioner Marcotte seconded the motion.
ROLL CALL :	Upon roll call the following Commissioners were present: Rowe, Chambers, King, Marcotte, Wasowicz Absent: Ciula, Czarnecki A quorum was present.
	Chairman Rowe opened CDC Case No. 2021-08 at 6:40 p.m.
	Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on April 15, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
	Ms. Fawell stated The Village of Bensenville is seeking the following text amendments in order to the 2019 Village Zoning Ordinance:
	- Add a use standard to Retail Goods Establishments (Section 10-7-3.AA) allowing retail sales as an accessory use in industrial and commercial districts. The Use Table (Section 10-7-2-1) will be updated to reference the new section created by this amendment.
	- Limited retail sales are allowed as an accessory use in commercial and industrial districts provided the following conditions are met:
	They are customarily found in conjunction with the subject principal use or principal structure;
	They are subordinate and clearly incidental to the principal use of the property; and

Community Development Commission Meeting Minutes May 4, 2021 Page 4

They serve a necessary function for or contribute to the comfort, safety, or convenience of occupants of the principal use.

- Updating Use Standards for Swimming Pools (Section 10-7-4-C.24) with the below so that the correct external applicable codes are referenced. The proposed amendment will not be altering current code standards pertinent to swimming pools.

Building Code: The installation or replacement of a swimming pool <u>and or spa</u> shall comply with all requirements of the International Residential Code <u>Building Code and the International Swimming Pool</u> <u>and Spa Code</u>, including those for swimming pool enclosures and safety devices.

Public Comment

Chairman Rowe asked if there was any member of the Public that would like to comment of the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for the proposed text amendments as presented in the Staff Report consisting of:

1) **Public Welfare:** The proposed amendments will not endanger the health, safety, comfort, convenience, and general welfare of the public.

Applicant's Response: The proposed amendments will not endanger the health, safety, comfort, convenience, and general welfare of the public, and will only improve such circumstances, as limited retail sales are subject to review of the Zoning Administrator to ensure code compliance, and the amendment to swimming pools only clarifies requirements, ensuring correspondence between the Village Code and external applicable codes.

2) Amendment Objective: The proposed amendments correct an error, add clarification, or reflect a change in policy.

Applicant's Response: The creation of a retail sales accessory use further clarifies existing Code requirements, and reflects a change in policy back to previous Village Codes, which delineated specific ancillary uses such as this. Proposed amendment for swimming pools is necessary in order to clarify applicability of international codes regulating swimming pools.

3) **Consistent with Ordinance and Plan:** The proposed amendments are consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: The proposed amendments are consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village. Amendments do not contrast Village goals and guidelines, as the amendments create clarification on pool regulations and flexibility for uses, all while still being under the Zoning Administrator's purview of review.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Text Amendments to the Municipal Code Section Title 10 (Zoning Ordinance), Chapter 7 (Uses).

There were no further questions from the Commission.

Commissioner Marcotte made a motion to close CDC Case No. 2021-08. Commissioner King seconded the motion.

Ayes: Rowe, Chamber, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2021-08 at 6:45 p.m.

Motion: Commissioner King made a combined motion to approve the Findings of Fact and Approval of the Text Amendments, Municipal Code Title 10, Chapter 7. Commissioner Wasowicz seconded the motion.

Motion:

ROLL CALL:

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ROLL CALL:	Ayes: Rowe, Chambers, King, Marcotte, Wasowicz	
	Nays: None	
	All were in favor. Motion carried.	
Public Hearing: Petitioner: Location: Request:	CDC Case Number 2021-09 Katherine & Steven Siers 146 South Mason Street Variation, Fence in Corner Side Yard Municipal Code Section $10 - 7 - 4 - C - 7.a$	
Motion:	Commissioner Marcotte made a motion to open CDC Case No. 2021-09. Commissioner King seconded the motion.	
ROLL CALL :	Upon roll call the following Commissioners were present: Rowe, Chambers, King, Marcotte, Wasowicz Absent: Ciula, Czarnecki A quorum was present.	
	Chairman Rowe opened CDC Case No. 2021-09 at 6:46 p.m.	
	Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on April 15, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on April 12, 2021. Ms. Fawell stated on April 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.	
	Ms. Fawell stated the Petitioners are requesting a Variation to erect a 4' wooden picket fence in the corner side yard at 146 S Mason Street. Ms. Fawell stated the proposed fence, which is hoped to alleviate safety concerns, encroaches into the corner side yard by approximately 15'. Ms. Fawell stated the Petitioners recently received a Variation for a 20' by 20' paved parking area in 2020.	

Katherine Siers, property owner, was present and sown in by Chairman Rowe. Mrs. Siers provided an overview of the proposed fence. Ms. Siers stated it would be four feet tall and picket.

Commissioner Wasowicz asked if there would be a gate to access the rear of the home from the parking pad. Mrs. Siers stated that there will be a gate at the rear of the property.

Public Comment

Chairman Rowe asked if there was any member of the Public that would like to comment of the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for the proposed variance as presented in the Staff Report consisting of:

1. **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

Applicant's Response: Putting a fence 15 feet off the sidewalk will not endanger the health, safety, comfort, convenience, and general welfare of the public. It will, in fact, look lovely and pleasing to the eye once we add flowers and bushes.

2. **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

Applicant's Response: We are putting in a 4 foot arched cedar picket fence. The look will fit in with the Victorian style and vintage look of the homes adjacent to ours. It will add to the quaintness of our home.

3. Undue Hardship: The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

Applicant's Response: Honestly, the proposed variance won't alleviate any hardship. We have a very large yard and don't want to lose too much room for backyard living. We plan on having children and the more room they have to play without running into the street is very helpful. This fence will alleviate our safety concerns. 4. Unique Physical Attributes: The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

Applicant's Response: The parking pad we are putting in is 15 feet from the sidewalk (variance already granted recently). If we put the fence 30 feet from the sidewalk, the fence will meet the parking pad and partially expose our cars. Part of the agreement with the parking pad variance was to add plants to hide the cars and make it more pleasing to the eye. If we stay in line with the parking pad, it will hide the cars better and I can still add plants/flowers to hide the cars where the fence is not covering.

5. **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

Applicant's Response: Since this is going to be a 4 foot arched picket fence, I do not think the 15 feet off the sidewalk is a large deviation from the regulations. If we were putting in a 5-6 foot privacy fence, then I would be the first to agree that where our yard sits in regards to the village would be an eyesore. It will still look like a quaint home in a cute village.

6. **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village. I'm sure trying to add beauty to our home AND keep the riff raff out is in everyone's plan.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation to erect a fence in the corner side yard at 146 S Mason Street with the following condition:

1) The fence shall be in accordance with submitted plans and designs, which indicate a 4' high wooden picket fence.

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	There were no further questions from the Commission.
Motion:	Commissioner Marcotte made a motion to close CDC Case No. 2021-09. Commissioner King seconded the motion.
ROLL CALL:	Ayes: Rowe, Chambers, King, Marcotte, Wasowicz
	Nays: None
	All were in favor. Motion carried.
	Chairman Rowe closed CDC Case No. 2021-09 at 6:53 p.m.
Motion:	Commissioner Wasowicz made a combined motion to approve the Findings of Fact and Approval of a Variation, Fence in Corner Side Yard. Commissioner Marcotte seconded the motion.
ROLL CALL:	Ayes: Rowe, Chambers, King, Marcotte, Wasowicz
	Nays: None
	All were in favor. Motion carried.
Public Hearing: Petitioner: Location: Request:	CDC Case Number 2021-10 Davinci Academy Child Development Center 227 West Grand Avenue Special Use Permit, Day Care Center Municipal Code Section $10 - 7 - 2 - 1$
Motion:	Commissioner Wasowicz made a motion to open CDC Case No. 2021-10. Commissioner Marcotte seconded the motion.
ROLL CALL :	Upon roll call the following Commissioners were present: Rowe, Chambers, King, Marcotte, Wasowicz Absent: Ciula, Czarnecki A quorum was present.
	Chairman Rowe opened CDC Case No. 2021-10 at 6:55 p.m.
	Village Planner, Kelsey Fawell was present and sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on April 15, 2021. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a

Notice of Public Hearing sign on the property, visible from the public way on April 12, 2021. Ms. Fawell stated on April 12, 2021 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

Ms. Fawell stated the Petitioner, Davinci Academy Child Development Center, is applying for a Special Use Permit to operate a childcare facility at 227 West Grand Avenue. Ms. Fawell stated this property has historically been utilized as a daycare center, having been granted Special Use Permits in 2009 (Safari Childcare) and 2019 (Scholar's World Childcare & Learning Center). Ms. Fawell stated the Petitioner currently operates two other early childhood education facilities, one in Belvidere and one in Streamwood.

Tanisha Burnside and Annalisa Tuluce, business owners, were present and sown in by Chairman Rowe. Ms. Burnside provided an overview of the Day Care. Ms. Burnside stated the ages will range from six weeks old to twelve years old. Ms. Burnside stated she has over twelve years of experience in the field. Mrs. Tuluce stated she owns other day care facilities as well.

Commissioner Wasowicz asked if there would be a gate to access the rear of the home from the parking pad. Mrs. Siers stated that there will be a gate at the rear of the property.

Public Comment

Chairman Rowe asked if there was any member of the Public that would like to comment of the CDC Case. There were none.

Ms. Fawell reviewed the Findings of Fact for the proposed special use as presented in the Staff Report consisting of:

1. **Public Welfare:** The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.

Applicant's Response: Our proposed use, Childcare, will not endanger the health, safety, comfort, convenience and general welfare of the public. Quite the contrary, our services will improve safety, comfort, convenience and general welfare of the public and residences of Village of Bensenville. We will provide peace in mind for parents who work in full time jobs.

2. Neighborhood Character: The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.

Applicant's Response: We will be located at 227 W Grand Avenue which is part of the retail establishment commonly known as Bensenville Plaza. The use as childcare is compatible in retail settings.

3. Orderly Development: The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.

Applicant's Response: Our proposed use, Childcare, will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use. Quite the contrary, our services will improve the area. Surrounding retail, office, industrial and residential improvements will enjoy the safe, healthy and secure childcare services we will be providing.

4. Use of Public Services and Facilities: The proposed special use will not require utilities, access roads, drainage and/or other facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: Our use, Childcare, will not demand any changes on utilities, roads, drainage, nor will be a burden on utilities, roads and/or drainage.

5. **Consistent with Title and Plan:** The proposed special use is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: Subject property is in C-2 zoning in retail setting. Childcare use is perfect fit for this site. Subject site has no retail exposure to Grand Avenue and suffers from being located in the back of the lot. However this is an advantage for our Childcare use. We would not want to be directly on heavy and fast traffic for safety purposes.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Special Use Permit for a Day Care Center at 227 West Grand Avenue with the following conditions:

- 1) The Special Use Permit be granted solely to Davinci Academy Child Development Center and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of a re-occupancy of this property, the new occupants shall appear before a Public Meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and/or ownership to the new occupant without amendment to the Special Use Permit, or if the CDC deems that the new occupant contemplates a change in use which is inconsistent with the Special Use Permit, the new occupant shall be required to petition for a new Public Hearing before the CDC for a new Special Use Permit; and
- 2) Children 2 ½ years of age or younger (more than 5, but less than 100) exit door (from classroom) directly to the exterior is required;
- Before a Certificate of Occupancy can be issued, the Village needs to receive documentation of such State and County approvals and licenses; and
- 4) Day care tenant will need to provide, on a semi-annual schedule, documentation that the sanitary sewer has been rodded and is in good working condition.

There were no further questions from the Commission.

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Motion:	Commissioner Marcotte made a motion to close CDC Case No. 2021-10. Commissioner Wasowicz seconded the motion.
ROLL CALL:	Ayes: Rowe, Chambers, King, Marcotte, Wasowicz
	Nays: None
	All were in favor. Motion carried.
	Chairman Rowe closed CDC Case No. 2021-10 at 7:04 p.m.
Motion:	Commissioner Marcotte made a combined motion to approve the Findings of Fact and Approval of a Special Use Permit, Day Care Center. Commissioner Wasowicz seconded the motion.
ROLL CALL:	Ayes: Rowe, Chambers, King, Marcotte, Wasowicz
	Nays: None
	All were in favor. Motion carried.
Report from Community	
Development:	Ms. Fawell reviewed both recent CDC cases along with upcoming cases.
ADJOURNMENT:	There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner King seconded the motion. All were in favor. Motion carried.
	The meeting was adjourned at 7:06 p.m.

Ronald Rowe, Chairman Community Development Commission **TYPE:** Public Hearing

SUBMITTED BY: K. Fawell DEPARTMENT:

DATE: 06.01.21

DESCRIPTION:

<u>Continued Case 2021-07: Consideration of a Special Use Permit to Operate a Tobacco Shop at 213 W</u> <u>Grand Avenue</u>

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

Financially Sound Village Quality Customer Oriented Services Safe and Beautiful Village Enrich the Lives of ResidentsXMajor Business/Corporate CenterXVibrant Major Corridors

REQUEST:

 Special Use Permit, Tobacco Shop Municipal Code Section 10 – 7 – 2 – 1

SUMMARY:

- 1. The Petitioner is seeking a Special Use Permit to allow a tobacco shop at 213 W Grand Avenue, which is located in a multi-tenant commercial building.
- The proposed shop will occupy a 1,300SF unit and will operate from 9AM 9PM daily with one employee.
- 3. They will sell both tobacco and vape products.
- 4. The Village Zoning Ordinance applies one standard to such uses: the use shall not be located within 1,000 feet of a school, place of worship, or another tobacco shop. A tobacco shop at this proposed location adheres to this standard no Variation is needed.
- 5. At their 05.04.21 Public Hearing, the Community Development made a motion to continue this case to the June meeting.
- 6. Additional documents have been provided by the Applicant since the initial CDC Public Hearing, including a list of existing businesses and a document showing interior images of those stores. Staff has also provided a map marking nearby businesses with tobacco licenses to the subject property.

RECOMMENDATION:

- 1. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Special Use Permit at 213 West Grand Avenue with the following condition:
 - 1. The Special Use Permit be granted solely to Jatin Patel and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of a re-occupancy of this property, the new occupants shall appear before a Public Meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and/or ownership to the new occupant without amendment to the Special Use Permit, or if the CDC deems that the new occupant contemplates a change in use which is inconsistent with the Special Use Permit, the new occupant shall be required to petition for a new Public Hearing before the CDC for a new Special Use Permit.

Upload Date	Туре
5/25/2021	Cover Memo
5/25/2021	Backup Material
5/25/2021	Backup Material
5/25/2021	Backup Material
	5/25/2021 5/25/2021 5/25/2021

Staff Report	5/25/2021	Executive Summary
Plat of Survey	5/25/2021	Backup Material
Proposed Floor Plan	5/25/2021	Backup Material
Applicant Business Portfolio	5/25/2021	Backup Material
Interiors of Existing Businesses	5/25/2021	Backup Material
Map of Nearby Businesses with Tobacco Licenses	5/25/2021	Backup Material



Public Hearing 06.01.21

Continued CDC Case #2021 – 07

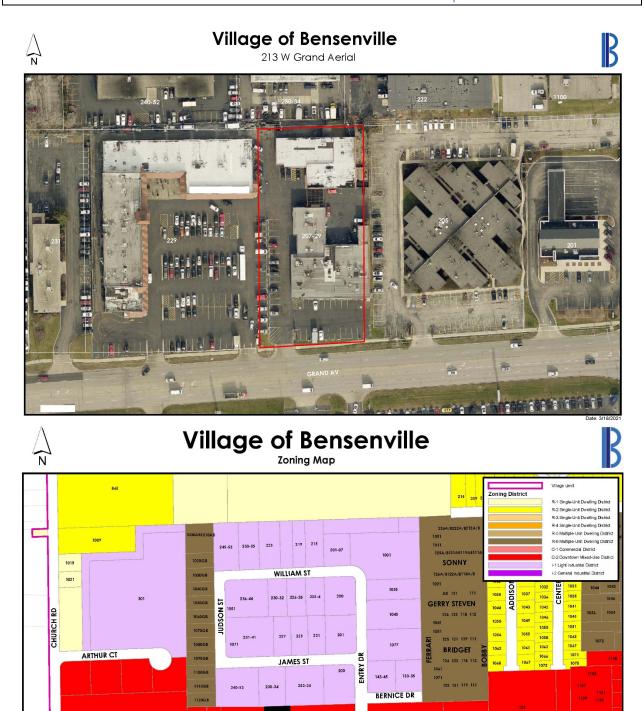
Jatin Patel 213 W Grand Avenue

Special Use Permit, Tobacco Shop Municipal Code Section 10 – 7 – 2 – 1

- 1. Aerial Photograph & Zoning Map of Subject Property
 - 2. Legal Notice
 - 3. Application
 - 4. Staff Report & Exhibits
 - 5. Plans



213 W Grand Avenue Jatin Patel **Special Use Permit, Tobacco Shop** Municipal Code Section 10 – 7 – 2 – 1



GRAND AV

Date: 3/18/2021

LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, May 4, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 07 to consider a request for:

Special Use Permit, Tobacco Shop Municipal Code Section 10 - 7 - 2 - 1;

at 213 W Grand Avenue in an existing C - 2 Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

OF THE EASTERLY 579.00 FEET AS MEASURED ALONG THE NORTHERLY LINE THEREOF (EXCEPT THE EASTERLY 414.00 FEET AS MEASURED ALONG THE NORTHERLY LINE THEREOF) OF LOT 4 IN WHITE PINES CENTER FOR BUSINESS AND INDUSTRY, BEING A SUBDIVISION OF THE NORTH HALF OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 7, 1977 AS DOCUMENT NUMBER R77-102033, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 217 W Grand Avenue, Bensenville, IL 60106.

Emin Tuluce, 207 Grand LLC, of 977 N Oaklawn Ave, Suite 109, Elmhurst, IL 60126 is the owner and Jatin Patel of 474 Dunlay St, Wood Dale, IL 60191 is the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Interested parties are encouraged to attend the Public Hearing via electronic means. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through May 4, 2021 until 5:00 P.M

Office of the Village Clerk Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT April 15, 2021

For Office I	Use Only		
Date of Submission: 311821 MUNIS Account #:	10776 CDC Case #: 2021-07		
COMMUNITY DEVELOPMENT	COMMISSION APPLICATION		
Address: 213 W. Grand Ave. Bense	aullie, 12. 60106		
Property Index Number(s) (PIN): 03-26-208-	008		
A. PROPERTY OWNER:			
207 Gurand, LLC			
Name Corporation (if applicable)			
977 N. Oaklawn Awe. Suite Street	109		
Elmhurst, 1L, 60126			
City State	Zip Code		
Contact Person Telephone Number	Email Address		
*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust. B. APPLICANT: Check box if same as owner Check box if same as owner Corporation (if applicable)			
Street 474 Junlay St.			
Wood Dale, 12. Gogg			
City State	Zip Code		
Contact Person Datel 647-571-0	Email Address		
 B. ACTION REQUESTED (Check applicable): Site Plan Review Special Use Permit Variation Administrative Adjustment Zoning Text or Map Amendment Zoning Appeal Plat of Subdivision Annexation Planned Unit Development* *See Staff for additional information on PUD requests 	SUBMITTAL REQUIREMENTS: Affidavit of Ownership** (signed/notarized) Application** Approval Standards** Plat of Survey/Legal Description Site Plan Building Plans & Elevations Engineering Plans Landscape Plan Tree Preservation and Removal Plan Application Fees Fees agreement**		
	**Item located within this application packet.		

Brief Description of Request(s): (Submit separate sheet if necessary)

	Request for Special Use Permit for Tobacco and Vape retail sales.
	retail sales.
C.	PROJECT DATA:
1.	General description of the site: Store front 2 Bensenui'lle Mana
2.	Acreage of the site: 1.33 Building Size (if applicable): 1,300 SF
3.	 Is this property within the Village limits? (Check applicable below) Yes No, requesting annexation No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4.	List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Highway Comm. Distr.	Bensenville
North:	1-1	Light Industrial	<i>c</i> 1
South:	(- <u>3</u>	Car Dealer	Elmhurst
East:	(-2	Office	Bensenville
West:	c-2	Retail	(1

D. APPROVAL STANDARDS:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."

DEGEIVE	
DECEUVE MAR 18 2021	U
Ву	



STAFF REPORT	
HEARING DATE:	May 4, 2021 & June 1, 2021
CASE #:	2021 - 07
PROPERTY:	213 W Grand Avenue
PROPERTY OWNER:	207 Grand, LLC
APPLICANT:	Jatin Patel
SITE SIZE:	1.33 AC
BUILDING SIZE:	1,300 SF
PIN NUMBER:	03-26-208-008
ZONING:	C-2 Commercial District
REQUEST:	Special Use Permit, Tobacco Shop
	Municipal Code Section $10 - 7 - 2$

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday, April 15, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.

2 - 1

- 2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Monday, April 12, 2021.
- 3. On Monday, April 12, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is seeking a Special Use Permit to allow a tobacco shop at 213 W Grand Avenue, which is located in a multi-tenant commercial building. The proposed shop will occupy a 1,300SF unit and will operate from 9AM - 9PM daily with one employee.

SURROUNDING LAND USES.									
	Zoning Land Use Comprehensive		Comprehensive Plan	Jurisdiction					
Site	C – 2 Commercial Local Commercial		Local Commercial	Village of Bensenville					
North I-1		Industrial	Industrial	Village of Bensenville					
South	C – 3	Commercial	General Commercial	City of Elmhurst					
East	C – 2	Commercial	Local Commercial	Village of Bensenville					
West	C – 2	Commercial	Local Commercial	Village of Bensenville					

SURROUNDING LAND USES:

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

Financially Sound Village

Quality Customer Oriented Services

Safe and Beautiful Village

Enrich the Lives of Residents

X Major Business/Corporate Center

X Vibrant Major Corridors

Finance:

1) Account up to date.

Police:

1) No objections.

Engineering and Public Works:

Public Works:

1) No comments.

Engineering:

1) No comments.

Community & Economic Development:

Economic Development:

- 1) Fills a vacancy.
- 2) Additional sales tax to the Village.

Fire Safety:

- 1) Additional information was requested of the Applicant upon initial review. Please see questions with Applicant responses (in red) below.
 - a. How much tobacco will be sold and stored? This will depend, but for now 50%.
 - b. Will there be any bulk storage of tobacco? No.
 - c. Will vape products be single-use or reusable? Both.
 - d. How will batteries be stored and sold? They will be behind glass displays.
 - e. How many batteries will be on hand at any given time? About 24.
 - f. What quantities will the liquid be sold in? Single-use.
 - g. Will the vape and tobacco products be sold next to each other on the shelves? No, they will be separated.
- 2) Above responses are sufficient at this time. No additional comments.

Building:

1) Please note that an interior build-out of the space will require a permit.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Local Commercial" for this property.
- 2) The current zoning is C 2 Commercial District.
- 3) The Village Zoning Ordinance applies one use specific standard to such uses: the use shall not be located within 1,000 feet of a school, place of worship, or another tobacco shop. A tobacco shop at this proposed location adheres to this standard no Variation is needed.
 - a. The closest tobacco shop is located in the Brentwood Commons shopping center, east of this property on Grand Avenue. Discount Tobacco is approximately 2,500 feet from the subject property.
 - b. The closest place of worship is Faith Community United Church of Christ Bensenville on Church Road, which is located approximately 1,200 feet from the subject property.
 - c. The closest school to the subject property is Zion-Concord Lutheran School on Church Road, with a distance of approximately 1,300 feet separating the two.
- 4) A Special Use Permit for a Tobacco Shop was approved in the adjoining multi-tenant center to the west in 2017. This business has since vacated the premises, moving to another location outside of Bensenville.
- 5) Please note the Petitioner's submitted floor plan is not a final plan, and is subject to change due to applicable codes. Approval of such request does not include approval of proposed layout.

APPROVAL STANDARDS FOR SPECIAL USES:

1) **Public Welfare:** The proposed special use will not endanger the health, safety, comfort, convenience and general welfare of the public.

Applicant's Response: No, this will be a retail business.

2) **Neighborhood Character:** The proposed special use is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed special use.

Applicant's Response: Yes, it is compatible with the neighborhood.

3) **Orderly Development:** The proposed special use will not impede the normal and orderly development and improvement of adjacent properties and other property within the immediate vicinity of the proposed special use.

Applicant's Response: No, this will not impede any development.

4) Use of Public Services and Facilities: The proposed special use will not require utilities, access roads, drainage and/or other facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: No, this business will not require any special facilities.

5) **Consistent with Title and Plan:** The proposed special use is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: Yes, it is.

	Meets Standard	
Special Use Permit Approval Standards	Yes	No
1. Public Welfare	X	
2. Neighborhood Character	X	
3. Orderly Development	X	
4. Use of Public Services and Facilities	X	
5. Consistent with Title and Plan	X	

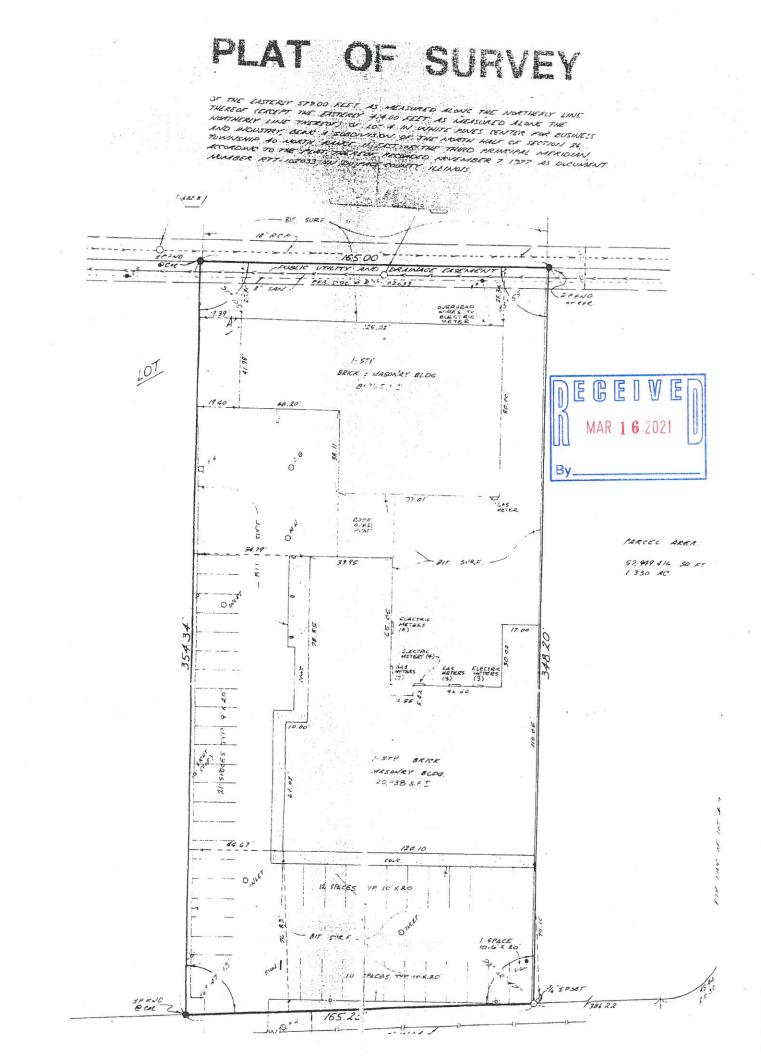
RECOMMENDATIONS:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Special Use Permit at 213 West Grand Avenue with the following conditions:

1) The Special Use Permit be granted solely to Jatin Patel and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of a re-occupancy of this property, the new occupants shall appear before a Public Meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and/or ownership to the new occupant without amendment to the Special Use Permit, or if the CDC deems that the new occupant contemplates a change in use which is inconsistent with the Special Use Permit, the new occupant shall be required to petition for a new Public Hearing before the CDC for a new Special Use Permit.

Respectfully Submitted,

Department of Community & Economic Development



213 W. GRAND AVE BENSENVILLE IL 60106 JATIN PATEL TOBACCO & VAPE 847-571-0148 1. Exit STORAGE Exit, Humider Restroom OFFice DECEIVEN \oplus APR 0 2 2021 By. 2' 4' Courter Space and Jispiny Table 41 10' Shelf SHELVES 4 Display 4' WALL Table Entry .

PRADEEP PATEL

BUSINESS PORTFOLIO

	NAME OF STORE		ADDRESS		ESS	
1	EAST GA	TE LIQUORS	446 W 🛛	DIVERSY F	PKWY, CI	HICAGO, IL 60614
2	GOLD C	ROWN LIQUORS	3433 N	SHEFFIEL	D AV, CH	IICAGO, IL 60657
3	MISKA L	IQUORS	2353 N	CLARKST	CHICAG	O, IL 60614
4	ZEN WI	NES	1823 W	NORTH /	AV CHIC	AGO, IL 60622
5	HOPS &	GRPAES	6816 N	SHERIDA	N RD , C	CHICAGO , IL 60626
6	RED VIO	LIN WINES	7407 N	CLARK ST	, CHICA	GO, IL 60626
7	CARDIN	AL WINES	980 IL -2	21, GURN	EE, IL 60	031
8	STOP N	GO LIQUORS	5214 W	159TH S	TREET, O	AKFOREST, IL 60452
9	SKY'S B	EVERAGE DEPOT	4635-37	N Broadw	ay, Chica	go, IL 60640
10	1ST STO	P TOBACCO	8021 W	183RD S	T SUITE A	A1 TINLEY PARK, IL 60487
11	VAPE M	E UP	8021 W	183RD S	TREET SU	JITE B, TINLEY PARK ,IL 60487
12	HAPPY I	BITES	8021 W	183RD S	TREET SU	JITE E , TINLEY PARK ,IL 60487
	LUV 2 SI					ls, IL 60487
	LUV 2 S					omt, IL 60559
	LUV 2 S					Berwyn ,IL 60402
	LUV 2 SI					bod, IL 60153
	Tobacco	n Vape & Tobacco				ilen, IL 60491 oove, Il 60515
10	America	ii vape & iobacco	4242 101	ani St, Du	wheisgr	



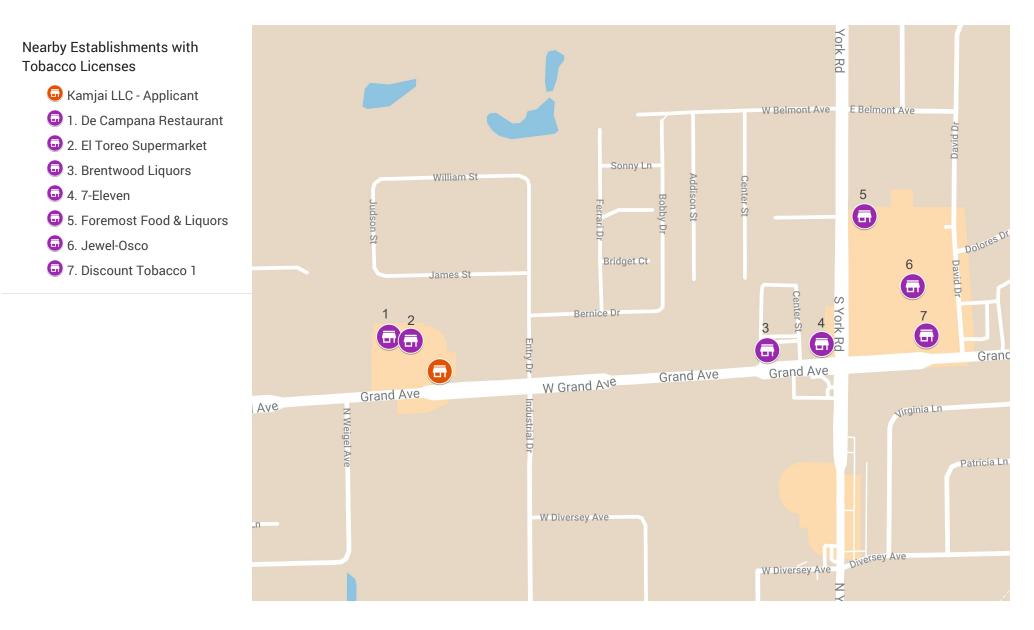
CDC Case 2021-07: 213 W Grand Avenue; Tobacco Shop Special Use

*Interior Images of Applicant's Existing Businesses





CDC 2021-07: 213 W. Grand Avenue; Tobacco Shop SUP



TYPE: Public Hearing SUBMITTED BY: K. Fawell DEPARTMENT:

DATE: 06.01.21

DESCRIPTION:

<u>CDC Case 2021-12: Consideration of Variations to Increase Driveway Width and Area at 386 E Red Oak</u> Street.

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

Х

Financially Sound Village Quality Customer Oriented Services Safe and Beautiful Village Enrich the Lives of Residents Major Business/Corporate Center Vibrant Major Corridors

REQUEST:

- Variation, Maximum Driveway Width Municipal Code Section 10 – 8 – 8 – 1
- Variation, Driveway Parking Pad Municipal Code Section 10 – 8 – 8 – G.3

SUMMARY:

- 1. The Petitioner is seeking to expand their existing 9ft-wide driveway to 20ft, with a length of approximately 80ft.
- 2. The existing driveway leads up to a concrete pad, on which previously sat a garage that has since been razed. The area between the existing 528SF garage and the concrete pad is unimproved with grass and gravel.
- 3. The Petitioner hopes the Variation will alleviate parking availability concerns, as well as prevent future Code violations for parking on unimproved surfaces.
- 4. The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the maximum 10ft width.

RECOMMENDATION:

- 1. Staff recommends the Denial of the Findings of Fact as they pertain to a Variation for an increase in maximum driveway width, and therefore the Denial of the Variation.
- 2. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Variation for an increase in the area of a driveway parking pad with the following conditions:
 - 1. The draining pattern shall remain unchanged and the property shall drain toward the rear of the lot. Any alteration in the proposed grading is subject to Village review and approval; and
 - 2. The applicant may pave a pad the width of the garage which connects to the existing concrete slab before tapering back down to the existing driveway width.

ATTACHMENTS:

Description	Upload Date	Туре	
Case Cover Page	5/25/2021	Cover Memo	
Aerial & Zoning Exhibits	5/25/2021	Backup Material	
Legal Notice	5/25/2021	Backup Material	
Application	5/25/2021	Backup Material	
Staff Report	5/25/2021	Executive Summary	
Plat of Survey & Plans	5/25/2021	Backup Material	



Community Development Commission Public Hearing 06.01.21

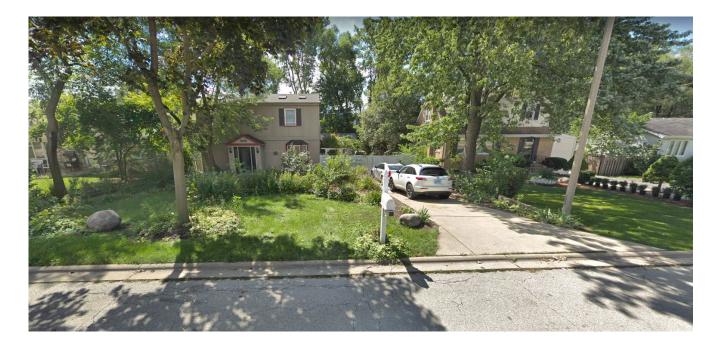
CDC Case #2021 – 12

Adrian Cazares 386 E Red Oak St

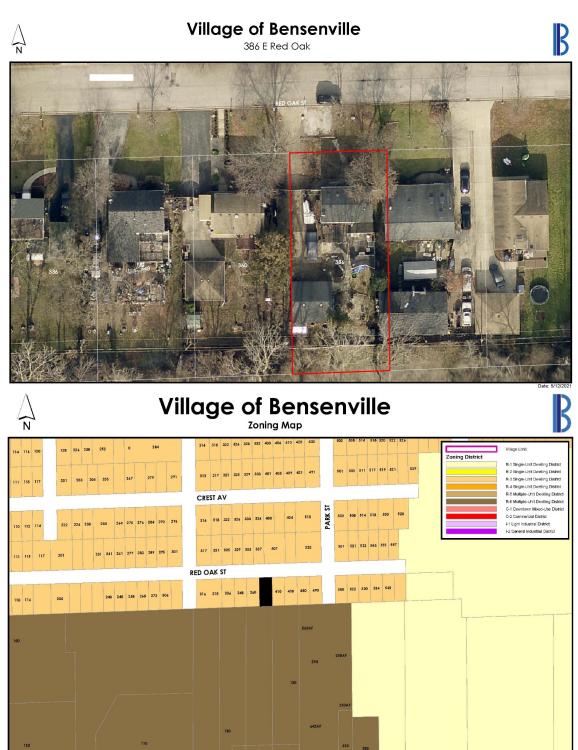
Variation, Maximum Driveway Width Municipal Code Section 10 - 8 - 8 - 1

Variation, Driveway Parking Pad Municipal Code Section 10 – 8 – 8 – G.3

- 1. Aerial Photograph & Zoning Map of Subject Property
 - 2. Legal Notice
 - 3. Application
 - 4. Staff Report & Exhibits
 - 5. Plans



386 E Red Oak St Adrian Cazares Variation, Maximum Driveway Width Municipal Code Section 10 – 8 – 8 – 1 Variation, Driveway Parking Pad Municipal Code Section 10 – 8 – 8 – G.3



Date: 5/12/202

LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, June 1, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 12 to consider a request for:

Variation, Maximum Driveway Width Municipal Code Section 10 - 8 - 8 - 1;

Variation, Driveway Parking Pad Municipal Code Section 10 - 8 - 8 - G.3

at 386 E Red Oak in an existing R - 3 Single-Unit Dwelling District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

LOT 6 IN BLOCK 9 IN ELM VILLA, BEING A SUBDIVISION OF PART OF SECTION 24, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED APRIL 6, 1926, AS DOCUMENT 210870, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 386 E Red Oak Street Bensenville, IL 60106.

Adrian Cazares of 386 E Red Oak Street, Bensenville, IL 60106 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Interested parties are encouraged to attend the Public Hearing via electronic means. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through June 1, 2021 until 5:00 P.M

Office of the Village Clerk Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT May 13, 2021

	Date of Submission: 5/6/2	For Office Use Only MUNIS Account #: 095	04 CDC Case #: 2021-12	
	COMMUNITY I	DEVELOPMENT COMM	USSION APPLICATION	
Address:	386 E RE	D OAK ST	BENSENVILLE IL 60	106
Property Inde	x Number(s) (PIN):)3.24.121.C	06	
A. PROPE	RTY OWNER:			
ADS Name 281	E RED OAK	S oration (if applicable)		
Street	E KED UAK	51,		-
BENS	ENVILLE IL		60106	-
City	State		Zip Code	
ADPIA Contact Person	N CAZARES	224 489 6722	SCORP 3760 HOT MAIL COM	-
*If Owne	r is a Land Trust, attach a list	of the names and addresses	s of the beneficiaries of the Trust.	
B. APPLI	CANT: Che	of the names and addresses eck box if same as owner ration (if applicable)	s of the beneficiaries of the Trust.	_
	CANT: Che	eck box if same as owner	s of the beneficiaries of the Trust.	-
B. APPLI	CANT: Che	eck box if same as owner	s of the beneficiaries of the Trust.	-
B. APPLI	CANT: Che	eck box if same as owner	zip Code	-
B. APPLI Name Street	CANT: Che Corpor	eck box if same as owner		-

Brief Description of Request(s): (submit separate sheet if necessary)

	DRIVEWAY WIDTH 20 FT. TO STREET FROM GARAGE
	APROX 1400 SQ FT. TO ACCOMODATE FOR A 5 BEDROOM
	5 DRIVERS HOUSE.
C.	PROJECT DATA:
1.	General description of the site: DRIVEWAY (single-family home)
2.	Acreage of the site: 7,763 SQ FT. Building Size (if applicable):
3.	 Is this property within the Village limits? (Check applicable below) Yes No, requesting annexation No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements

4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	R-3	Single-family residential	Bensenville
North:	R-3	single-family residential	~
South:	R-6	multiple-unit dwelling	**
East:	R-3	single-family residential	XX
West:	R-3	single-family residential	15

D. APPROVAL STANDARDS:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."

MAY 06 2021 By



STAFF REPORT

PUBLIC NOTICE:

- 1. A Legal Notice was published in the Bensenville Independent on Thursday, May 13, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
- 2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Wednesday, May 12, 2021.
- 3. On Thursday, May 13, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is seeking to expand their existing 9ft-wide driveway to 20ft, with a length of approximately 80ft. The existing driveway leads up to a concrete pad, on which previously sat a garage that has since been razed. The area between the existing 528SF garage and the concrete pad is unimproved with grass and gravel. The Petitioner hopes the Variation will alleviate parking availability concerns, as well as prevent future Code violations for parking on unimproved surfaces.

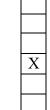
The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the maximum 10ft width.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	R – 3	Residential	Single Family Residential	Village of Bensenville
North	R – 3	Residential	Single Family Residential	Village of Bensenville
South	R – 6	Residential	Multi Family Residential	Village of Bensenville
East	R – 3	Residential	Single Family Residential	Village of Bensenville
West	R – 3	Residential	Single Family Residential	Village of Bensenville

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:



Financially Sound Village

Quality Customer Oriented Services

Safe and Beautiful Village

X Enrich the Lives of Residents

Major Business/Corporate Center

Vibrant Major Corridors

Finance:

1) Account is up to date with billing.

Police:

1) No objections.

Engineering and Public Works:

- The extension of the driveway and additional impervious area doesn't trigger any stormwater requirements; however, the addition of the driveway pavement shall not adversely impact neighboring properties. Majority of the properties on Red Oak drain towards the rear lot so that drainage pattern should remain intact. Any alteration in the proposed grading will need to be reviewed and approved.
- 2) Staff recommends the existing driveway width remain the same.

Community & Economic Development:

Economic Development:

1) No comments.

Fire Safety:

1) No comments.

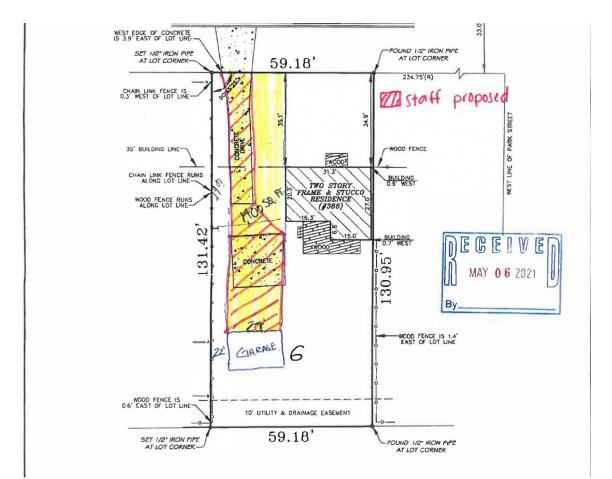
Building:

1) No comments.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Single Family Residential" for this property.
- 2) The current zoning is R-3 Single-Unit Dwelling District.

- 3) On the attached Plat of Survey, portions of the area needed to access the existing garage are unimproved with gravel and grass. The driveway does not lead into the garage, and there is a concrete slab (on which used to sit a garage) that is surrounded by gravel. Village Code does not allow the parking of vehicles on unimproved surfaces.
- 4) The Village Zoning Ordinance implements a maximum driveway width of 10ft for residential uses. A parking pad the width of the garage served by the driveway is permitted to extend up to 20ft in depth from the garage doors before tapering back down to the required 10ft width.
 - a. The current width of the driveway is 9' and there is no parking pad in front of the garage.
- 5) Staff feels the request (a 24' wide and 80' long driveway) is not the minimum deviation for the Variation.
- 6) As the concrete slab is existing, staff recommends allowing the Applicant a parking pad in front of the garage that will connect to the existing slab, before tapering back down to the existing driveway width. This would grant a Variation for a larger parking pad, while maintaining Code's driveway width requirement. See below figure as a reference.



APPROVAL STANDARDS FOR VARIATIONS:

1) **Public Welfare:** The proposed Variation will not endanger the health, safety, comfort, convenience, and general welfare of the public.

Applicant's Response: It will not endanger the health, safety, comfort, convenience, and general welfare of the public. It's just convenient for the size of household.

2) **Compatible with Surrounding Character:** The proposed Variation is compatible with the character of adjacent properties and other property within the immediate vicinity of the proposed Variation.

Applicant's Response: It is compatible with the character of adjacent properties to the east and west of the residence. They both have 20' driveways to the street from their garages.

3) Undue Hardship: The proposed Variation alleviates an undue hardship created by the literal enforcement of this title.

Applicant's Response: The proposed Variation does indeed alleviate an undue hardship created by the literal enforcement of this title. By the convenience of multiple cars that reside in the address above at 386 E Red Oak Street.

4) Unique Physical Attributes: The proposed Variation is necessary due to the unique physical attributes of the subject property, which were not deliberately created by the applicant.

Applicant's Response: It is necessary since my garage is at the back of the property, the garage is 24' wide by 22' deep. I was not allowed to build a garage adjacent to the house therefore creating a longer driveway. It is very inconvenient to pull cars in and out due to different work schedules.

5) **Minimum Deviation Needed:** The proposed Variation represents the minimum deviation from the regulations of this title necessary to accomplish the desired improvement of the subject property.

Applicant's Response: 20' from start of garage tapering off to 10' is just not feasible for the daily usage of this Variation.

6) **Consistent with Ordinance and Plan:** The proposed Variation is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: I've seen similar properties in Bensenville with my proposal. I greatly appreciate your consideration to create a more feasible access to our daily usage and it will look aesthetically better as well.

Maximum Driveway Width	Meets Standard	
Variation Approval Standards	Yes	No
1. Public Welfare	X	
2. Compatible with Surrounding Character	X	
3. Undue Hardship		Х
4. Unique Physical Attributes		Х
5. Minimum Deviation Needed		Х
6. Consistent with Ordinance and Plan	Х	

Driveway Parking Pad	Meets St	Meets Standard	
Variation Approval Standards	Yes	No	
7. Public Welfare	X		
8. Compatible with Surrounding Character	X		
9. Undue Hardship	X		
10. Unique Physical Attributes	X		
11. Minimum Deviation Needed	X		
12. Consistent with Ordinance and Plan	Х		

RECOMMENDATIONS:

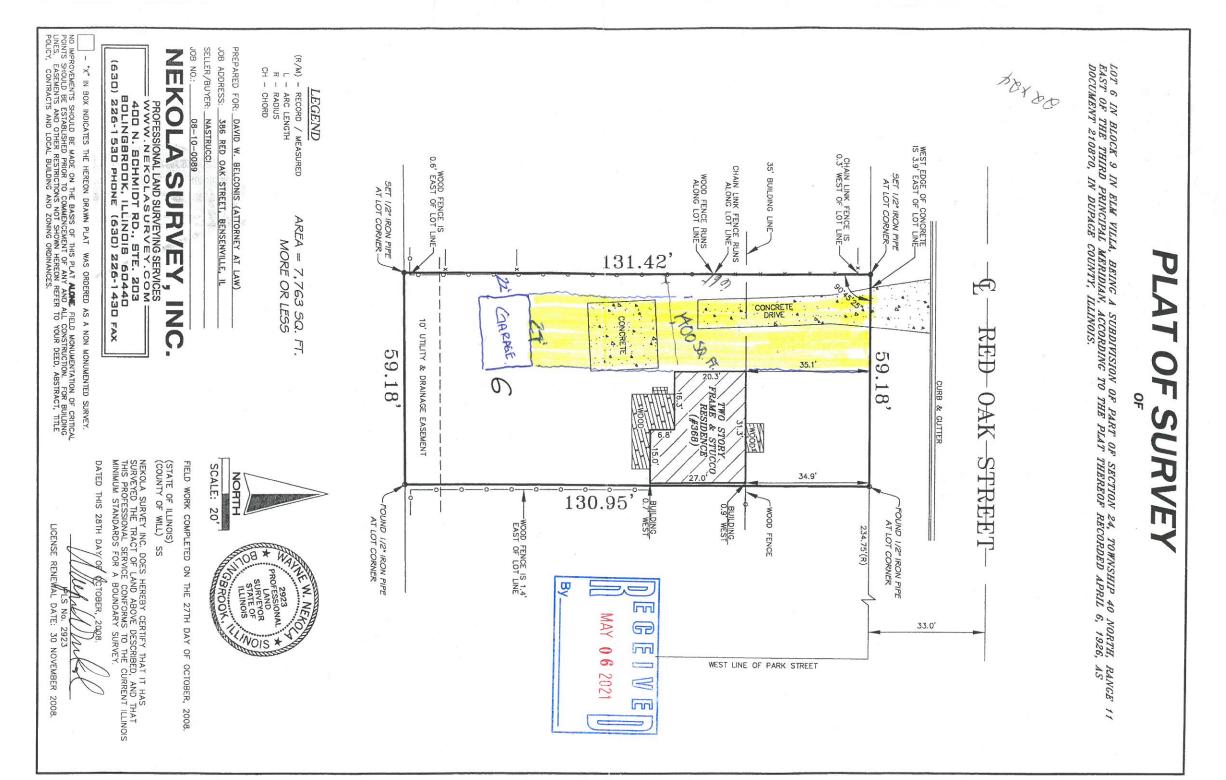
Staff recommends the Denial of the above Findings of Fact as they pertain to a Variation for an increase in maximum driveway width, and therefore the Denial of the Variation.

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation for an increase in the area of a driveway parking pad at 386 E Red Oak with the following conditions:

- 1) The draining pattern shall remain unchanged and the property shall drain toward the rear of the lot. Any alteration in the proposed grading is subject to Village review and approval; and
- 2) The applicant may pave a pad the width of the garage which connects to the existing concrete slab before tapering back down to the existing driveway width.

Respectfully Submitted,

Department of Community & Economic Development



(B)

TYPE:

SUBMITTED BY: K. Fawell

DEPARTMENT: CED

DATE: 06.01.21

DESCRIPTION:

CDC Case 2021-11: Consideration of Site Plan Review, a Final PUD, and a Plat of Subdivision for the Properties Located in the Mohawk Terrace Subdivision

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

Х

Financially Sound Village Quality Customer Oriented Services Safe and Beautiful Village

Х	Major E
Х	Vibrant

Enrich the Lives of Residents Business/Corporate Center Major Corridors

REQUEST:

- 1. Site Plan Review Municipal Code Section 10 – 3 – 2
- 2. Plat of Subdivision Municipal Code Section 11 – 3
- 3. Final Planned Unit Development Municipal Code Section 10 – 4
 - With the following Code Departures:
 - 1. Industrial District Parking Location, Section 10 6 19.B.4
 - 2. Outdoor Storage Area, Section 10 7 2 1
 - 3. Maximum Number of Parking Spaces. Section 10 8 2 B.6
 - 4. Maximum Driveway Width, Section 10 8 8 1
 - 5. Driveway Apron Width, Section 10 8 8 F
 - 6. Tree Replacement Standards, Section 10 9 2 B

SUMMARY:

- 1. In November of 2020, the Owners appeared before the Community Development Commission and Village Board of Trustees, seeking approval of the following requests: Preliminary Plat of Subdivision, rezoning from residential to industrial, Site Plan Review, and a Preliminary Planned Unit Development with code departures. These requests, which were conditionally approved by the Village Board, were sought in order to assemble the previously residentially-zoned properties in the Mohawk Terrace Subdivision (southwest corner of Devon Avenue and Illinois Route 83) into an industrial use business park.
- The site plan features four industrial buildings with parking for both trucks and passenger vehicles.
- 3. In conjunction with the Preliminary Planned Unit Development that was granted, the Petitioners sought code departures, as certain aspects of the site do not meet the strict application of the Village Zoning Ordinance requirements.
- 4. The Owners are now seeking approval of a Final Planned Unit Development.
- 5. A new code departure is being sought with the Final PUD: Outdoor Storage Area. Zoning Code considers truck and trailer parking as outdoor storage, and the area is restricted to a certain size, which this development exceeds.
- 6. This Final PUD request is simply for site improvement work, and the Owners will come back through the Public Hearing process for PUD Amendments when they have final plans for each proposed building and that lot's respective landscaping.
- 7. Please note the Petitioner has requested approval of a Final Plat of Subdivision. Staff has not received a Plat to review, making this request null and void.

RECOMMENDATION:

- 1. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Site Plan Review.
- 2. Staff recommends the Approval of the Findings of Fact and therefore the Approval of the Final Planned

Public Hearing

Unit Development with the following conditions:

- 1. All conditions of approval required of the Preliminary Planned Unit Development (Ord. No. 66-2020) are consequently conditions of approval of the Final Planned Unit Development; and
- 2. No grading work shall commence until a Plat of Vacation, subject to Village review and approval, is recorded; and
- 3. The water main infrastructure is subject to Village review and approval; and
- 4. The code departure for Outdoor Storage, Municipal Code Section 10-7-2-1 is granted; and
- 5. The center landscape spine between buildings 2 and 3 be increased from 21 feet to 26 feet; and
- 6. To the fullest extent possible of the Owners/Petitioner, the Wood Dale Park District Property shall feature infrastructure improvements to promote the use of the future employees of the subject site; and
- 7. The Owners/Petitioner are required to seek approval of Amendments to the Planned Unit Development for building plans and their respective landscape plans.

ATTACHMENTS:

Description	Upload Date	Туре
Case Cover Page	5/25/2021	Cover Memo
Aerial & Zoning Exhibits	5/25/2021	Backup Material
Legal Notice	5/25/2021	Backup Material
Application	5/25/2021	Backup Material
Approval Standards Letter	5/25/2021	Backup Material
Staff Report	5/25/2021	Executive Summary
Existing Conditions & Demolition Plan	5/25/2021	Backup Material
Site Layout & Paving Plan	5/25/2021	Backup Material
Erosion Control Plan	5/25/2021	Backup Material
Grading & Drainage Plans	5/25/2021	Backup Material
Utility Plan	5/25/2021	Backup Material
Construction Details	5/25/2021	Backup Material
Stormtrap Drawings	5/25/2021	Backup Material



Community Development Commission Public Hearing 06.01.21

CDC Case #2021 – 11

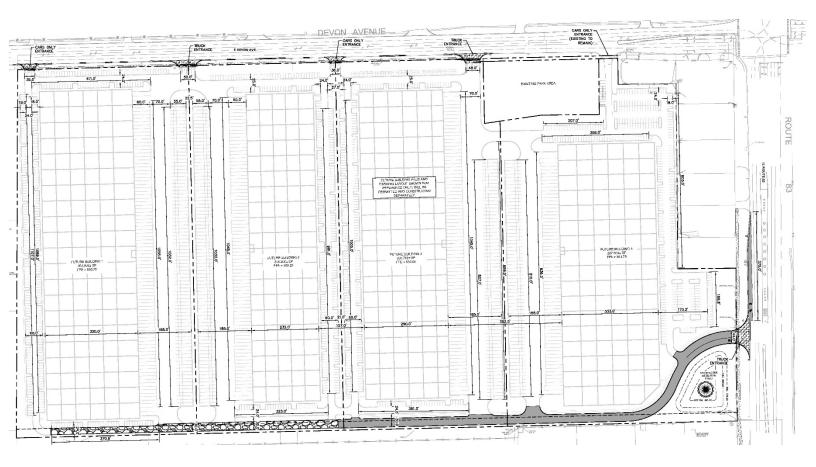
ML Realty Mohawk Terrace Subdivision

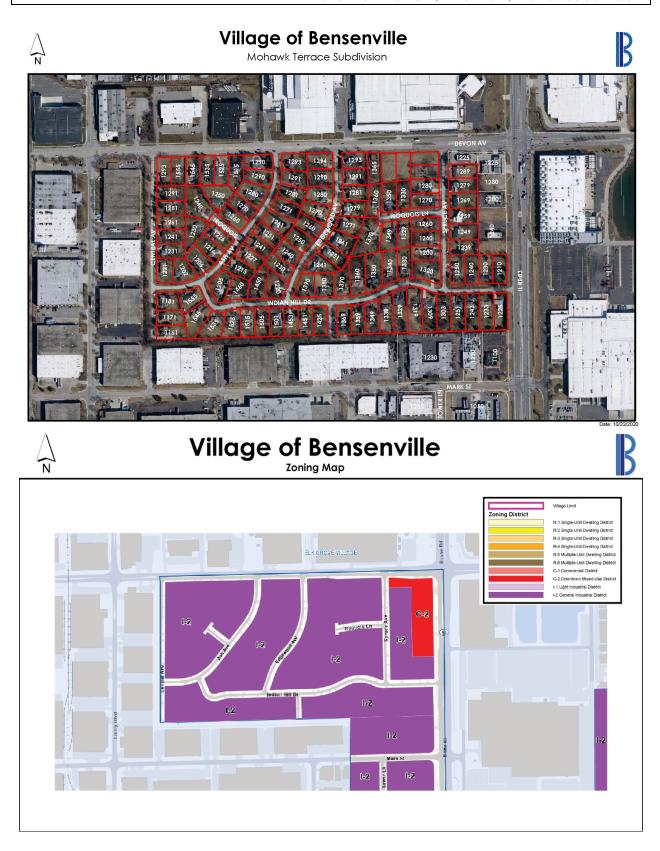
Site Plan Review Municipal Code Section 10 – 3 – 2 Plat of Subdivision Municipal Code Section 11 – 3 Final Planned Unit Development with Code Departures Municipal Code Section 10 – 4

1. Aerial Photograph & Zoning Map of Subject Property

- 2. Legal Notice
- 3. Application
- 4. Staff Report & Exhibits

5. Plans





LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, June 1, 2021 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2021 - 11 to consider a request for:

Site Plan Review Municipal Code Section 10 – 3 – 2

Plat of Subdivision Municipal Code Section 11 – 3

Final Planned Unit Development Municipal Code Section 10 – 4

In conjunction with the requested Planned Unit Development, the Petitioner is asking the Community Development Commission consider a request of the following code departures:

> Industrial District Parking Location Municipal Code Section 10 - 6 - 19.B.4

Outdoor Storage Area Municipal Code Section 10 - 7 - 2 - 1

Maximum Number of Parking Spaces Municipal Code Section 10 - 8 - 2 - B.6

Maximum Driveway Width Municipal Code Section 10 - 8 - 8 - 1

Driveway Apron Width Municipal Code Section 10 - 8 - 8 - F

Tree Replacement Standards Municipal Code Section 10 - 9 - 2 - B

at Mohawk Terrace Subdivision in the I - 2 General Industrial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

THAT PART OF BRANIGAR'S MOHAWK TERRACE, BEING A SUBDIVISION IN SECTION 3, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 17, 1956 AS DOCUMENT NUMBER R1956-786620, IIN DU PAGE COUNTY, ILLINOIS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 1 IN SAID SUBDIVISION, SAID POINT ALSO LYING ON THE SOUTH RIGHT OF WAY LINE OF DEVON AVENUE; THENCE NORTH 88 DEGREES 38 MINUTE 21 SECONDS EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 2,031.91 FEET TO THE NORTHWEST CORNER

OF LOT 58 IN SAID SUBDIVISION; THENCE SOUTH 00 DEGREES 34 MINUTES 40 SECONDS EAST ALONG THE WEST LINE OF SAID LOT 58, A DISTANCE OF 99.68 FEET TO THE SOUTHWEST CORNER OF SAID LOT 58; THENCE NORTH 89 DEGREES 31 MINUTES 35 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT 58, A DISTANCE OF 200.3 FEET TO THE SOUTHEAST CORNER OF SAID LOT 58: THENCE SOUTH 00 DEGREES 35 MINUTES 04 SECONDS EAST, A DISTANCE OF 529.89 TO THE NORTHWEST CORNER OF LOT 52 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 24 MINUTES 35 SECONDS EAST ALONG THE NORTH LINE OF SAID LOT 52, A DISTANCE OF 199.60 FEET TO THE NORTHEAST CORNER OF SAID LOT 52, SAID POINT ALSO LYING ON THE WEST RIGHT OF WAY LINE OF ILLINOIS ROUTE 83; THENCE SOUTH 00 DEGREES 32 MINUTES 46 SECONDS EAST ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 633.99 FEET TO THE SOUTHEAST CORNER OF LOT 49 IN SAID SUBDIVISION, SAID POINT ALSO LYING ON THE SOUTH LINE OF SAID SUBDIVISION; THENCE SOUTH 88 DEGREES 38 MINUTES 54 SECONDS WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION, A DISTANCE OF 2,448.16 FEET TO THE SOUTHWEST CORNER OF LOT 27 IN SAID SUBDIVISION, SAID POINT ALSO LYING ON THE EAST RIGHT OF WAY OF CENTRAL AVENUE; THENCE NORTH 00 DEGREES 11 MINUTES 02 SECONDS EAST ALONG SAID EAST RIGHT OF WAY LINE. A DISTANCE OF 1,269.29 FEET TO THE POINT OF THE BEGINNING.

Commonly known as the Mohawk Terrace Subdivision, Bensenville, IL 60106.

ML Realty Partners of 1 Pierce Place, Itasca, IL 60143 and Prologis of 321 N. Clark St, Suite 2625, Chicago, IL 60654 are the owners and applicants for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend the Public Hearing and be heard. Interested parties are encouraged to attend the Public Hearing via electronic means. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through June 1, 2021 until 5:00 P.M

Office of the Village Clerk Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT May 13, 2021

		For Office Use Onl	у	
Date of Submission:	4/30/21	_MUNIS Account #:) CDC Case #:	2021-11

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address:		
Property Inc	dex Number(s) (PIN):	
A. PROF	PERTY OWNER:	
Name	Corporation (if applicable)	
Street		
City	State	Zip Code
Contact Person	n Telephone Number	Email Address
B. APPL	LICANT: Check box if same as Corporation (if applicable)	owner
City	State	Zip Code
Contact Perso	on Telephone Number	Email Address
B.	ACTION REQUESTED (Check applicable): Site Plan Review Special Use Permit Variation Administrative Adjustment Zoning Text or Map Amendment Zoning Appeal Plat of Subdivision Annexation Planned Unit Development* *See Staff for additional information on PUD requests	SUBMITTAL REQUIREMENTS: Affidavit of Ownership** (signed/notarized) Application** Approval Standards** Plat of Survey/Legal Description Site Plan Building Plans & Elevations Engineering Plans Landscape Plan Application Fees Fees agreement**

C. PROJECT DATA:

- 1. General description of the site:
- 2. Acreage of the site: _____Building Size (if applicable): _____
- 3. Is this property within the Village limits? (Check applicable below)
 - □ Yes
 - \square No, requesting annexation
 - □ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
- 4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:			
North:			
South:			
East:			
West:			

D. APPROVAL STANDARDS:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Standards, found in Village Code and on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Standards."

To: Village of Bensenville Community Development Commission RE: CDC Case 2021-11 From: ML Realty

Mohawk Terrace Approval Standards for Planned Unit Developments

ML Realty Partners and Prologis are teaming up to redevelop a +/-68 acre site known as the Mohawk Terrace subdivision in Bensenville. The new industrial park will include four buildings totaling 1,257,580 square feet. Currently, the Mohawk Terrace Subdivision is made up of 107 single family homes, a 1.5-acre park owned by Wood Dale Park District and public roadways within the subdivision. There are three commercial lots at the corner of Devon Avenue and Route 83. The Park and the commercial properties are not included in our redevelopment plans and shall remain as-is.

ML Realty Partners and Prologis own all residential properties. On November 17, 2020, the Village of Bensenville approved our Preliminary PUD which included rezoning to I-2 zoning, right of way vacations, and the development of four buildings. It was understood that the petitioner would need to come back for individual building approvals. Due to timing, we are now requesting a final PUD for the development of the building pads and infrastructure so we can begin the mass grading process.

The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.

To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A separate Memorandum of Understanding was agreed to between the Village and the Petitioner providing a payment of \$200,000 into the Villages Tree Fund in lieu of providing all of the required trees. We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between

buildings 1 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park.

We are requesting that we relocate the four existing full access curb-cuts and add two new full access curb cuts along Devon Avenue and plan on utilizing the existing full access at Route 83. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

We are also requesting a couple minor departures from the existing code. The departures include Industrial Parking Locations, Outdoor Storage Area, Number of Parking Spaces, Maximum Driveway Width, Driveway Apron Width, and the Tree Replacement Standards.

Including the potential to add new jobs to the community, this project will have other direct financial gains to the Village of Bensenville. Currently, Mohawk Terrace generates approximately \$670,000 in property taxes annually. Once completed and stabilized this park could generate upwards of \$2,000,000 in property taxes. Additionally, by vacating the streets and right of ways, the Village will also save on road maintenance and snow plowing costs.



STAFF REPORT	
HEARING DATE:	June 1, 2021
CDC CASE #:	2021 - 11
PROPERTY:	Mohawk Terrace Subdivision
PROPERTY OWNER:	ML Realty & Prologis
APPLICANT:	ML Realty
SITE SIZE:	2,895,2692 SF (66.476 AC)
BUILDING SIZE:	±1,214,300 SF
ZONING:	I-2 General Industrial District
REQUEST:	Site Plan Review
	Municipal Code Section $10 - 3 - 2$
	Final Planned Unit Development
	Municipal Code Section 10-4
	Plat of Subdivision
	Municipal Code Section 11 – 3
	With the following code departures:
	Industrial District Parking Location
	Municipal Code Section 10 – 6 – 19.B.4
	Outdoor Storage Area
	Municipal Code Section $10 - 7 - 2 - 1$
	Maximum Number of Parking Spaces
	Municipal Code Section $10 - 8 - 2 - B.6$
	Maximum Driveway Width
	Municipal Code Section $10 - 8 - 8 - 1$
	Driveway Apron Width
	Municipal Code Section 10 – 8 – 8 – F
	Tree Replacement Standards
	Municipal Code Section 10 – 9 – 2 – B

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday, May 13, 2021. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.

- 2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Wednesday, May 12, 2021.
- 3. On Wednesday, May 12, 2021, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

In November of 2020, the Owners appeared before the Community Development Commission and Village Board of Trustees, seeking approval of the following requests: Preliminary Plat of Subdivision, rezoning from residential to industrial, Site Plan Review, and a Preliminary Planned Unit Development with code departures. These requests, which were conditionally approved by the Village Board, were sought in order to assemble the previously residentially-zoned properties in the Mohawk Terrace Subdivision (southwest corner of Devon Avenue and Illinois Route 83) into an industrial use business park. The site plan features four industrial buildings with parking for both trucks and passenger vehicles. In conjunction with the Preliminary Planned Unit Development that was granted, the Petitioners sought code departures, as certain aspects of the site do not meet the following Village Zoning Ordinance requirements.

The Owners are now seeking approval of a Final Planned Unit Development. A new code departure is being sought with the Final PUD: Outdoor Storage Area. Zoning Code considers truck and trailer parking as outdoor storage, and the area is restricted to a certain size, which this development exceeds.

This Final PUD request is simply for site improvement work, and the Owners will come back through the Public Hearing process for PUD Amendments when they have final plans for each proposed building and that lot's respective landscaping.

	Zoning Land Use Comprehensive Pl		Comprehensive Plan	Jurisdiction
Site	I – 2	Industrial	Industrial Single-Family Residential Village of Bens	
North	I-2	Industrial	N/A	Elk Grove Village
South	$\begin{array}{c} I-1\\ I-2 \end{array}$	Industrial Industrial	N/A Regional Commercial	Elk Grove Village Village of Bensenville
West	I-1	Industrial	N/A	Elk Grove Village
East	I-2 C-2	Industrial Commercial	N/A Local Commercial	Elk Grove Village Village of Bensenville

SURROUNDING LAND USES:

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

X Financially Sound Village

Quality Customer Oriented Services

Safe and Beautiful Village

Enrich the Lives of Residents

X Major Business/Corporate Center

X Vibrant Major Corridors

Finance:

1) No comments.

Police:

1) No objections.

Engineering and Public Works: Public Works:

1) No comments.

Engineering:

- 1) This development consists demolishing off all existing single family homes on this 67.712 acre site and proposing a four lot sub-division consisting of four industrial buildings with associated parking lot, utilities and underground detention.
- 2) All existing public right-of-way maintained by the Village of Bensenville will be located for this proposed development.
- 3) A DuPage County Stormwater Management Certification will be required for this project as the total land disturbing activity exceeds 5,000 SF. The developer must meet all other DuPage County Floodplain and Stormwater Ordinance requirements including submittal of a stormwater report. A stormwater report has been furnished and will be reviewed in details.
- 4) An Illinois Department of Transportation (IDOT) permit will be required for the proposed entrance within IL-83 right-of-way.
- 5) An IEPA-Sanitary, IEPA-Water, IHPA, IEPA-NOI and IEPA-NOT permit will be required for this development.
- 6) A Cook County Department of Transportation and Highways (CCDOTH) permit will be required for the proposed work in the Devon Ave rights-of-way.
- 7) The site doesn't appear to contain any floodplain and/or wetlands. However, it is the developer's responsibility to property identify and mitigate and special management areas in accordance with applicable rules and regulations.
- 8) It appears the site will breach the detention (25,000 SF) and PCBMP (2,500 SF) threshold set forth in the DuPage County Floodplain and Stormwater Ordinance. Therefore, site detention and PCBMP will be required. The proposed plan depict an underground detention basins to meet these criteria.
- 9) A 5-feet wide ADA compliant public sidewalk will be required along the Devon Ave frontage of the site and shall connect to existing sidewalk.
- 10) A 10-feet wide ADA compliant public shared use path will be required along the IL-83 frontage of the site and shall connect to existing sidewalk/path.
- 11) The driveway openings along Devon Ave shall line up as best as possible with curb opening on opposite side of Devon Ave. This will likely be dictated by CCDOTH. It is my understanding the designer is working through this comment with CCDOTH.
- 12) Sanitary Manholes will be required every 300-feet.
- 13) Individual water services for the building shall be equipped with a shut-off valve outside of the building (valve vault inside 60-inch diameter vault).
- 14) The proposed detention basins are discharging to the existing storm sewer under Devon Ave. The CCDOTH will have the final say on permitting these connections. It is my understanding the designer is working through this comment with CCDOTH.
- 15) All proposed retaining walls over 3-feet in height will need to be accompanied with structural calculations signed and sealed by licensed structural engineering in the State of Illinois.

- 16) The Village owned public water supply mains currently dead ends at the intersection of IL-83/Devon Ave. My recommendation will be to build a secondary source of water by expanding the Village watermain along Devon Ave to Ellis St. This will be beneficial to the development in the long run for both domestic water supply and fire safety reasons.
- 17) The current plans show the proposed watermain being installed along the southern property line and dead-end at the southwest corner of the site. The designer will need to ensure all fire suppression requirements are met in accordance with applicable codes.
- 18) There are issues with the proposed plans that can be resolved during final engineering. In general, staff does not see any major problems that would hinder this concept plan from proceeding.

Community & Economic Development:

Fire Safety:

- 1) The developer will be required to meet the minimum water flow rates shown in the 2015 International Fire Code Appendix B. See table B105.1(2)
- 2) Village ordinance 40-2015 adopted on October 27, 2015- sections 903.7 and 903.8 Fire Hydrant location and water flow rates.
- 3) It appears that the existing water main system will not be adequate for this project. The existing water main infrastructure will need to updated.

Building:

1) No comments.

Economic Development:

- 1) Industrial property is, generally speaking, valued much higher than residential property.
- 2) Residential taxes for 2019 in this subdivision amounted to \$670,288. The Village received 12.224% of that amount totaling \$81,936.05 for 2019.
- 3) Staff projected industrial taxes for the new 1,214,300 square foot development at \$1.34 per square foot, which is an average taken from CoStar data of Class A industrial space of similar size in DuPage County. This would come out to approximately \$1,627,162 in total taxes. The Village, using the same tax rate in 2019, would see approximately \$200,000.
- 4) The increase in proposed taxes as a result of this development is estimated around \$100,000 annually.
- 5) It should be noted that the development team estimated the proposed taxes higher than what staff estimated.
- 6) The new development will bring new businesses and new jobs into Bensenville.
- 7) As a direct result of this development, staff estimates that additional investment will happen in and around the proposed development area, again increasing the tax base.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Single Family Residential" for the large majority of the properties in the subject site.
- 2) The current zoning of the subject properties are is I-2 General Industrial District. The site was previously zoned R-1 Single-Unit Dwelling District.
- 3) This development project was granted code departures upon approval of the Preliminary PUD for the following:
 - a. Industrial District Parking Location

- i. In industrial districts, parking areas in the front and corner side yards shall not be the dominant point of view from the right-of-way and shall consist of less than 50 parking stalls.
- b. Maximum Number of Parking Spaces
 - i. Parking facilities exceed the maximum required of parking spaces required by code, which states that the number of parking stall shall not exceed the minimum required amount by 125%.
- c. Maximum Driveway Width and Driveway Apron Width
 - i. The proposed driveways for the development exceed Code's maximum requirement for industrial uses of 30 feet. The driveways' aprons exceed the width of the driveways by more than three feet on either side, which is prohibited by the Zoning Ordinance.
- d. Tree Replacement Standards
 - i. In order to construct this proposed site plan, 408 existing trees will need to be removed. The proposed tree replacement plan does not meet the amount of replacement trees as required by Code; however, the Village and the Owners have executed a fee-in-lieu agreement for the replacement trees, as was requested by ML Realty and Prologis.
- 4) A new code departure is being sought for Outdoor Storage Area, as code restricts these areas to 25% of the gross lot area, as well as requires screening. Staff does not object to the current location and size proposal of the truck and trailer parking, as the areas are located on the interiors of each building and will be screened by the parking lot perimeter landscape.
 - a. The total area of the site is approximately 2,895,692 SF. The proposed outdoor storage area is $\pm 800,000$ SF, or 27.62% of the gross lot area.
- 5) The following minor changes have been made to the site plan from the original that was approved during the Preliminary PUD process:
 - a. The previously approved site plan included the Wood Dale Park District park property at the southwest corner of Devon Avenue and Spruce Avenue- that property is no longer being developed with this site. The Petitioner plans to incorporate infrastructure on the park site to encourage employee use, such as benches, picnic tables, etc.
 - b. The exclusion of the nearly 2-acre park site has consequently caused alterations to be made to the plans, such as a reconfiguration of parking facilities and building square footages and widths. Staff does not have concerns with these revisions.
 - i. The previous total square footage of the buildings was 1,257,580 and it is now $\pm 1,214,300$.
 - c. The configuration of the previously approved driveways along Devon Avenue has been altered. Previous plans indicated 6 driveways along Devon, and the plans for the Final PUD show 5 driveways. The single curb cut along IL-Rte. 83 has remained.
 - i. The previous driveways along Devon, from west to east, had the following widths: 24ft, 60ft, 24ft, 60ft, and 27ft.
 - ii. The driveways on the subject plans submitted for final approval have the following widths: 36ft, 50ft, 36ft, 48ft, and the existing curb cut for Spruce Avenue is to remain.
 - iii. The preliminary approved driveway along IL-83 had a width of 30ft; the Owners are now proposing a width of 44ft.

- 6) Please note that the Petitioner has indicated the center "green spine" (landscape island running north/south) between buildings 2 and 3 on the site will be increased from its width of 21ft shown on the plans to 26ft.
- 7) Staff believes the submitted plans for Final PUD approval are in accordance with those that were granted preliminary approval.
- 8) While the Petitioner has requested approval of a Final Plat of Subdivision, Staff has not received a Plat to review, making this request null and void.
- 9) This Final PUD request is simply for site improvement work, and the Owners will come back through the Public Hearing process for PUD Amendments when they have final plans for each proposed building and that lot's respective landscaping.

APPROVAL STANDARDS FOR SITE PLAN REVIEW

1) **Surrounding Character:** The site plan for the proposed development is consistent with the existing character and zoning of adjacent properties and other property within the immediate vicinity of the proposed development.

Applicant's Response: The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

2) **Neighborhood Impact:** The site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development.

Applicant's Response: As the proposed use of the site is harmonious with surrounding properties, the site plan for the proposed development will not adversely impact adjacent properties and other properties within the immediate vicinity of the proposed development. Including the potential to add new jobs to the community, this project will have other direct financial gains to the Village of Bensenville. Currently, Mohawk Terrace generates approximately \$670,000 in property taxes annually. Once completed and stabilized this park could generate upwards of \$2,000,000 in property taxes. Additionally, by vacating the streets and right of ways, the Village will also save on road maintenance and snow plowing costs.

3) **Public Facilities:** The site plan for the proposed development will be provided with adequate utilities, access roads, parking, loading, drainage, stormwater flow paths, exterior lighting, and/or other necessary facilities.

Applicant's Response: All buildings will have ample parking for cars and adequate trailer parking for trucks. The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

4) **Environmental Preservation:** The site plan for the proposed development is designed to preserve the environmental resources of the zoning lot.

Applicant's Response: To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. We have come to a feein-lieu agreement with the Village. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

5) **On-site Pedestrian Circulation System:** The site plan shall accommodate on-site pedestrian circulation from parking areas, plazas, open space, and public rights-of-way. Pedestrian and vehicular circulation shall be separated to the greatest extent possible.

Applicant's Response: We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

6) Vehicle Ingress and Egress: The site plan shall locate curb cuts for safe and efficient ingress and egress of vehicles. The use of shared curb cuts and cross-access easements shall be provided when appropriate.

Applicant's Response: The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades.

7) Architectural Design: The site plan for the proposed development includes architectural design that contributes positively to the Village's aesthetic appearance.

Applicant's Response: We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.

8) **Consistent with Title and Plan:** The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

Applicant's Response: The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village.

	Meets Standard		
Site Plan Review Approval Standards	Yes	No	
1. Surrounding Character	Х		
2. Neighborhood Impact	Х		
3. Public Facilities	Х		
4. Environmental Preservation	Х		
5. On-site Pedestrian Circulation	Х		
6. Vehicle Ingress & Egress	Х		
7. Architectural Design	Х		
8. Consistent with Title and Plan	Х		

APPROVAL STANDARDS FOR PLANNED UNIT DEVELOPMENTS:

1) **Comprehensive Plan:** The proposed planned unit development fulfills the objectives of the Comprehensive Plan, and other land use policies of the Village, through an innovative and creative approach to the development of land.

Applicant's Response: The site plan for the proposed development is consistent with the intent of the Comprehensive Plan, this title, and the other land use policies of the Village. Below responses should reflect the innovative and creatives approaches our team has taken in our proposal. The site is a natural fit for an industrial park and will be consistent with the existing surroundings, which is comprised of industrial, commercial or data centers. The property is surrounded by Devon Avenue to the north, commercial properties and Route 83 to the east, and industrial properties to the west and south. It should be noted that ML Realty Partners and Prologis own most of the industrial buildings adjacent to the property lines on the west and south.

2) **Public Facilities:** The proposed planned unit development will provide walkways, driveways, streets, parking facilities, loading facilities, exterior lighting, and traffic control devices that adequately serve the uses within the development, promote improved access to public transportation, and provide for safe motor vehicle, bicycle, and pedestrian traffic to and from the site.

Applicant's Response: We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. We are requesting that we relocate the existing full access curb-cuts and add new full access curb cuts along Devon Avenue and plan on utilizing the existing full access at Route 83. The curb cuts have been designed by a traffic engineer to account for traffic flow, separation of cars and trucks, adjacent driveways, and existing grades. The final locations of the curb-cuts will ultimately be up to the County on Devon Avenue and IDOT on Route 83.

3) Landscaping and Screening: The proposed planned unit development will provide landscaping and screening that enhances the Village's character and livability, improves air and water quality, reduces noise, provides buffers, and facilitates transitions between different types of uses.

Applicant's Response: To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A separate Memorandum of Understanding was agreed to between the Village and the Petitioner providing a payment of \$200,000 into the Villages Tree Fund in lieu of providing all of the required trees. We have included public sidewalks along both Devon Avenue and Route 83 to provide safe access to the Pace Bus Stop which is located at the southeast corner of the site. Additionally, we have included walking paths and sidewalks west of building 1, in the center median between buildings 2 and 3, and along the access drive south of buildings 3 and 4 to tie into all public walks. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

4) **Site Design:** The proposed planned unit development will incorporate sustainable and low impact site design and development principles.

Applicant's Response: We will formally apply for a final approval of each individual building, however, this application is for the construction of site infrastructure and mass grading. The previously approved Preliminary PUD included the four proposed buildings. All will have rear loading and will be constructed on a speculative basis meaning they do not have any specific tenants at this time. The buildings are designed for maximum flexibility and could be leased to tenants from 40,000 SF to 350,000 SF. We have included architectural elements constructed from glass, aluminum and precast at the corner entries and at the center entry of the buildings. All buildings will have ample parking for cars and adequate trailer parking for trucks.

5) **Natural Environment:** The proposed planned unit development will protect the community's natural environment to the greatest extent practical, including existing natural features, water courses, trees, and native vegetation.

Applicant's Response:. To enhance the aesthetics and create some amenities within the park we have increased green space areas from the I-2 zoning requirements. While we do fall short for the total number of trees required to be replaced for the large established residential subdivision, our landscape plan will exceed the code required plantings for any typical industrial developments. A water feature has been included at the park entry on Route 83 to showcase this first-class industrial park.

6) Utilities: The proposed planned unit development will be provided with underground installation of utilities when feasible, including electricity, cable, and telephone, as well as appropriate facilities for storm sewers, stormwater retention, and stormwater detention.

Applicant's Response: The existing subdivision is currently on well and septic systems so the redevelopment will include bringing water and sanitary sewers from the southeast corner of the site. All stormwater will be accounted for and contained on site via underground detention and water feature and released at the required rate. All new franchise utilities (ComEd, Nicor, AT&T, etc.) will be installed underground for the new park.

	Meets Standard		
Planned Unit Development Approval Standards	Yes	No	
1. Comprehensive Plan	Х		
2. Public Facilities	Х		
3. Landscaping and Screening	Х		
4. Site Design	Х		
5. Natural Environment	Х		
6. Utilities	Х		

RECOMMENDATIONS:

- 1) Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Site Plan Review.
- 2) Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Final Planned Unit Development with the following conditions:
 - 1. All conditions of approval required of the Preliminary Planned Unit Development (Ord. No. 66-2020) are consequently conditions of approval of the Final Planned Unit Development; and
 - 2. No grading work shall commence until a Plat of Vacation, subject to Village review and approval, is recorded; and
 - 3. The water main infrastructure is subject to Village review and approval; and
 - 4. The code departure for Outdoor Storage, Municipal Code Section 10-7-2-1 is granted; and
 - 5. The center landscape spine between buildings 2 and 3 be increased from 21 feet to 26 feet; and
 - 6. To the fullest extent possible of the Owners/Petitioner, the Wood Dale Park District Property shall feature infrastructure improvements to promote the use of the future employees of the subject site; and
 - 7. The Owners/Petitioner are required to seek approval of Amendments to the Planned Unit Development for building plans and their respective landscape plans.

Respectfully Submitted,

Department of Community & Economic Development

FINAL ENGINEERING PLANS **CORPORATE PARK - PHASE 1** INFRASTRUCTURE IL-83 & DEVON AVENUE BENSENVILLE, ILLINOIS 60106

UTILITY AND GOVERNING AGENCY CONTACTS

PLANNING DEPARTMENT VILLAGE OF BENSENVILLE 12 SOUTH CENTER ST. BENSENVILLE, IL 60106 TEL: (630) 350-3411 CONTACT: SCOTT VIGER, A.I.C.P.

SANITARY/STORM/WATER SERVICE VILLAGE OF BENSENVILLE 12 SOUTH CENTER ST. BENSENVILLE, IL 60106 TEL: (630) 594–1196 EMAIL: MPATEL@BENSENVILLE.IL.US CONTACT: MEHUL PATEL

ROADWAY AUTHORITY ILLINOIS DEPARTMENT OF TRANSPORTATION 201 WEST CENTER COURT SCHAUMBURG, IL 60196 TEL: (847) 705-4000 CONTACT: JOSE RIOS

COOK COUNTY DEPARTMENT OF TRANSPORTATION 69 WEST WASHINGTON ST, 24TH FLOOR CHICAGO, IL 60602 TEL: (312) 603-1601

PROJECT TEAM

<u>DEVELOPER</u>

ML REALTY PARTNERS LLC ONE PIERCE PLACE, SUITE 450 ITASCA, IL 60143 TEL: (630) 250-2900 CONTACT: TIMOTHY GEISLER

PROLOGIS INC. 321 NORTH CLARK ST. SUITE 2625 CHICAGO, IL 60654 TEL: (847) 292-3900 CONTACT: JESS KNIGGE

<u>GEOTECH</u> TESTING SERVICE CORPORATION 457 EAST GUNDERSON DR CAROL STREAM, IL 60188 TEL: (630) 653-3920 CONTACT: JOHN MASSA, P.E.

TRAFFIC ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD RD, SUITE 600 WARRENVILLE, IL 60555 TEL: (630) 487-5550 EMAIL: TIM.SJOGREN@KIMLEY-HORN.COM CONTACT: TIM SJOGREN, P.E.

NATURAL GAS COMPANY NICOR GAS TEL: (847) 598-4011 EMAIL: FSHAH@SOUTHERNCO.COM CONTACT: FORAM SHAH

POWER COMPANY COMED TEL: (630) 576-7094 CONTACT: FIRST LAST NAME

<u>TELEPHONE</u> AT&T TEL: (XXX) XXX-XXXX EMAIL: G11629@ATT.COM CONTACT: FIRST LAST NAME

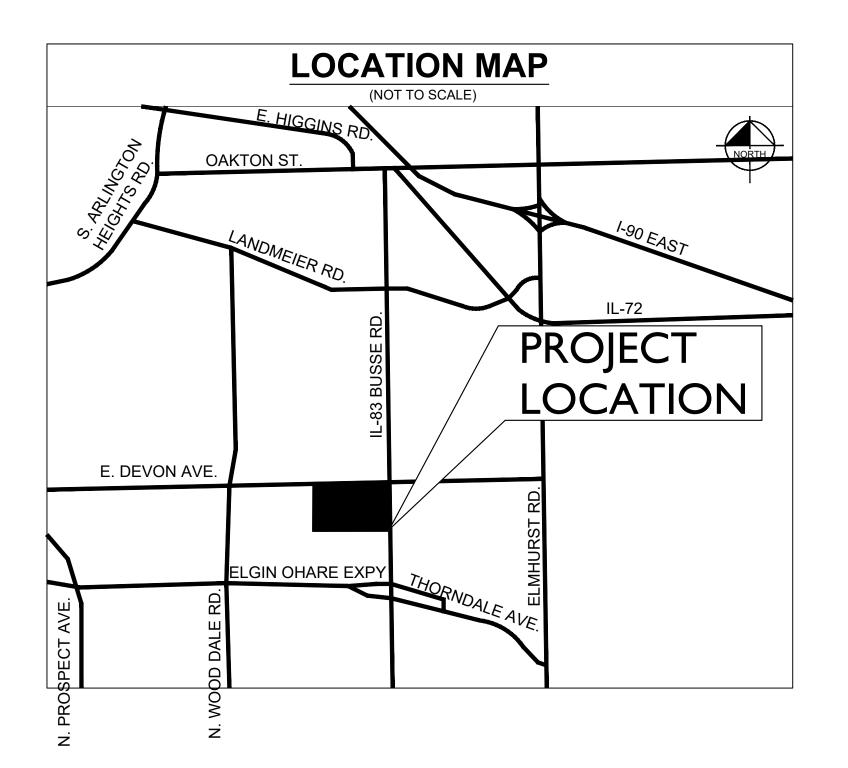
CIVIL_ENGINEER KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD RD, SUITE 600 WARRENVILLE, IL 60555 TEL: (630) 487-5550 EMAIL: JAMIE.PUTNAM@KIMLEY-HORN.COM CONTACT: JAMIE PUTNAM, P.E. EMAIL: NATE.GROFF@KIMLEY-HORN.COM CONTACT: NATE GROFF, P.E.

LANDSCAPE ARCHITECT KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD RD. SUITE 600 WARRENVILLE, IL 60555 TEL: (630) 487-5550 EMAIL: DANIEL.GROVE@KIMLEY-HORN.COM CONTACT: DANIEL GROVE, P.L.A.

<u>SURVEYOR</u> COMPASS SURVEYING, LTD. 2631 GINGER WOODS PKWY, SUITE 100 AURORA, ILLINOIS 60502 TEL: (630) 820-9100 CONTACT: CHRIS SALAZAR, P.L.S.

LEGAL DESCRIPTION

THAT PART OF BRANIGAR'S MOHAWK TERRACE, BEING A SUBDIVISION IN SECTION 3, TOWNSHIP 40 NORTH, RAN THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 17, 1956 AS DOCUME R1956-786620, IN DU PAGE COUNTY, ILLINOIS MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION, SAID POINT ALSO LYING ON THE SOUTH RIGHT (DEVON AVENUE; THENCE NORTH 88 DEGREES 38 MINUTES 21 SECONDS EAST ALONG SAID SOUTH RIGHT OF WA DISTANCE OF 1506.24 FEET TO THE NORTHWEST CORNER OF LOT 77 IN SAID SUBDIVISION; THENCE SOUTH 85 MINUTES 55 SECONDS EAST, A DISTANCE OF 100.18 FEET TO A POINT ON THE EAST LINE OF SAID LOT 77, SA 10.00 FEET SOUTH OF THE NORTHEAST CORNER OF SAID LOT 77; THENCE NORTH 88 DEGREES 38 MINUTES 21 465.87 FEET TO A POINT ON THE WEST LINE OF LOT 58 IN SAID SUBDIVISION, SAID POINT BEING 10.00 FEET S NORTHWEST CORNER OF SAID LOT 58; THENCE SOUTH OO DEGREES 34 MINUTES 40 SECONDS EAST ALONG THE SAID LOT 58, A DISTANCE OF 89.68 FEET TO THE SOUTHWEST CORNER OF SAID LOT 58; THENCE NORTH 89 D MINUTES 35 SECONDS EAST ALONG THE SOUTH LINE OF SAID LOT 58, A DISTANCE OF 200.03 FEET TO THE SOUTH LINE S OF SAID LOT 58; THENCE SOUTH OO DEGREES 35 MINUTES 04 SECONDS EAST, A DISTANCE OF 637.50 FEET T CORNER OF LOT 52 IN SAID SUBDIVISION; THENCE NORTH 89 DEGREES 27 MINUTES 31 SECONDS EAST ALONG OF SAID LOT 52, A DISTANCE OF 199.52 FEET TO THE SOUTHEAST CORNER OF SAID LOT 52, SAID POINT ALSO WEST RIGHT OF WAY LINE OF ILLINOIS ROUTE 83; THENCE SOUTH OO DEGREES 32 MINUTES 46 SECONDS EAST WEST RIGHT OF WAY LINE, A DISTANCE OF 526.22 FEET TO THE SOUTHEAST CORNER OF SAID SUBDIVISION; TH DEGREES 38 MINUTES 54 SECONDS WEST ALONG THE SOUTH LINE OF SAID SUBDIVISION, A DISTANCE OF 2488. SOUTHWEST CORNER OF SAID SUBDIVISION; THENCE NORTH OO DEGREES 11 MINUTES 02 SECONDS EAST ALONG THE WEST LINE OF SAID SUBDIVISION, A DISTANCE OF 1269.29 FEET TO THE POINT OF BEGINNING.



	INDEX OF SHEETS
Sheet Number	Sheet Title
C0.0	TITLE SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN - WEST
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN - EAST
C2.0	OVERALL SITE LAYOUT AND PAVING PLAN
C2.1	SITE PLAN - NORTHWEST
C2.2	SITE PLAN - NORTHEAST
C2.3	SITE PLAN - SOUTHWEST
C2.4	SITE PLAN - SOUTHEAST
C3.0	EROSION CONTROL PLAN
C3.1	EROSION CONTROL DETAILS
C4.0	OVERALL GRADING PLAN
C4.1	GRADING & DRAINAGE PLAN - NORTHWEST
C4.2	GRADING & DRAINAGE PLAN - NORTHEAST
C4.3	GRADING & DRAINAGE PLAN - SOUTHWEST
C4.4	GRADING & DRAINAGE PLAN - SOUTHEAST
C5.0	OVERALL UTILITY PLAN
C5.1	UTILITY PLAN - NORTHWEST
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C5.3	UTILITY PLAN - SOUTHWEST
C5.4	UTILITY PLAN - SOUTHEAST
C5.5	UTILITY PLAN - SOUTHEAST DETAIL
C5.6	UTILITY PROFILES
C6.0	CONSTRUCTION DETAILS
C6.1	CONSTRUCTION DETAILS
C7.0	STORMTRAP DRAWINGS - SYSTEM 1 (BY OTHERS)
C7.1	STORMTRAP DRAWINGS - SYSTEM 1 (BY OTHERS)
C7.2	STORMTRAP DRAWINGS - SYSTEM 2 (BY OTHERS)
C7.3	STORMTRAP DRAWINGS - SYSTEM 2 (BY OTHERS)
C7.4	STORMTRAP DRAWINGS - SYSTEM 3 (BY OTHERS)
C7.5	STORMTRAP DRAWINGS - SYSTEM 3 (BY OTHERS)
C7.6	STORMTRAP DRAWINGS - SYSTEM 4 (BY OTHERS)
C7.7	STORMTRAP DRAWINGS - SYSTEM 4 (BY OTHERS)
C7.8	STORMTRAP DRAWINGS - SYSTEM 5 (BY OTHERS)
C7.9	STORMTRAP DRAWINGS - SYSTEM 5 (BY OTHERS)

GE 11 EAST OF NT NUMBER
DF WAY LINE OF AY LINE, A DEGREES 37
ND POINT BEING SECONDS EAST SOUTH OF THE
E WEST LINE OF DEGREES 31
OUTHEAST CORNER O THE SOUTHWEST THE SOUTH LINE
D LYING ON THE ALONG SAID IENCE SOUTH 88
17 FEET TO THE

BENCHMARKS

SITE BENCHMARKS: (LOCATIONS SHOWN ON SURVEY)

DUPAGE COUNTY BENCHMARKS:

BENCHMARK COO DUP83 3A

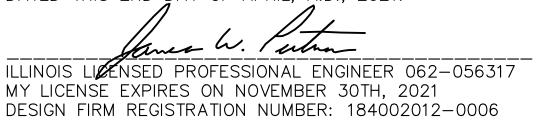
SOUTH SIDE OF DEVON AVE, APPROXIMATELY 330 FEET WEST OF THE INTERSECTION OF SPRUCE AVE AND DEVON AVE ELEVATION = 673.15 (NAVD 88)



PROFESSIONAL ENGINEER'S CERTIFICATION

, JAMES PUTNAM, A LICENSED PROFESSIONAL ENGINEER OF ILLINOIS, HEREBY CERTIFY THAT THIS SUBMISSION, PERTAINING ONLY TO THE "C" SERIES CIVIL SHEETS LISTED ABOVE BUT EXCLUDING DETAILS PREPARED BY OTHERS, WAS PREPARED ON BEHALF OF ML REALTY PARTNERS LLC AND PROLOGIS INC. BY KIMLEY-HORN AND ASSOCIATES, INC. UNDER MY PERSONAL DIRECTION. THIS TECHNICAL SUBMISSION IS INTENDED TO BE USED AS AN INTEGRAL PART OF AND IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND CONTRACT DOCUMENTS.

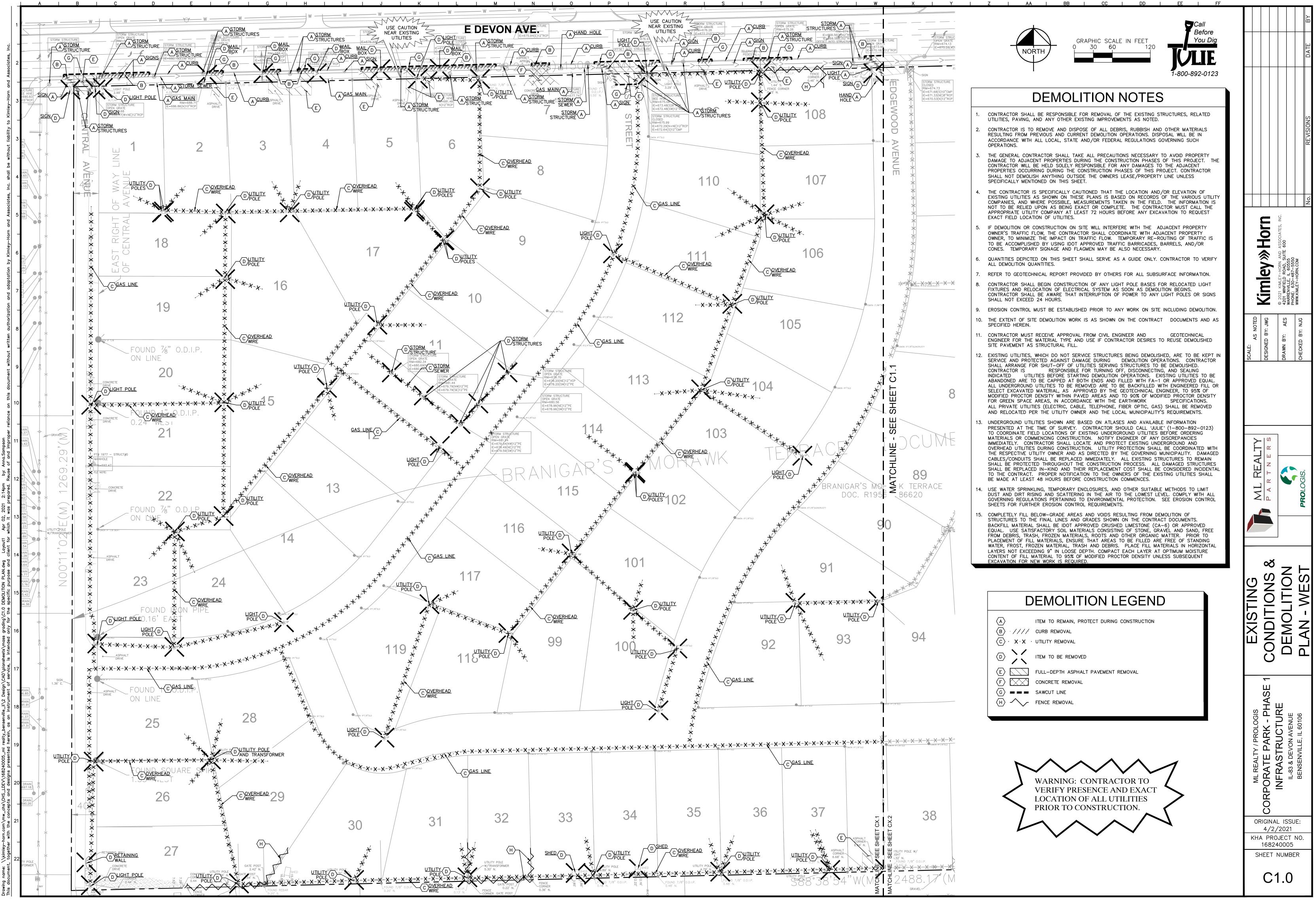
DATED THIS 2ND DAY OF APRIL, A.D., 2021.

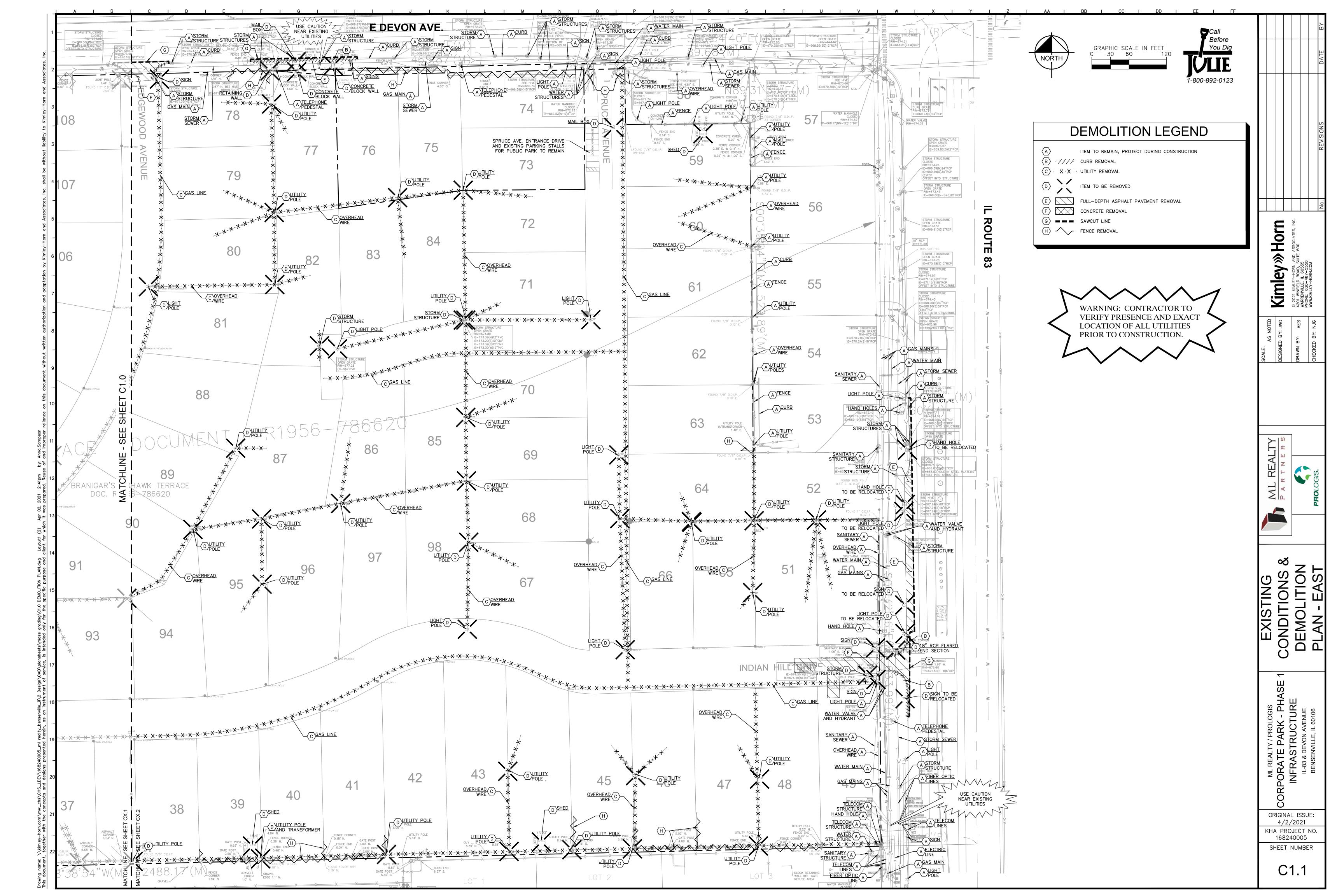


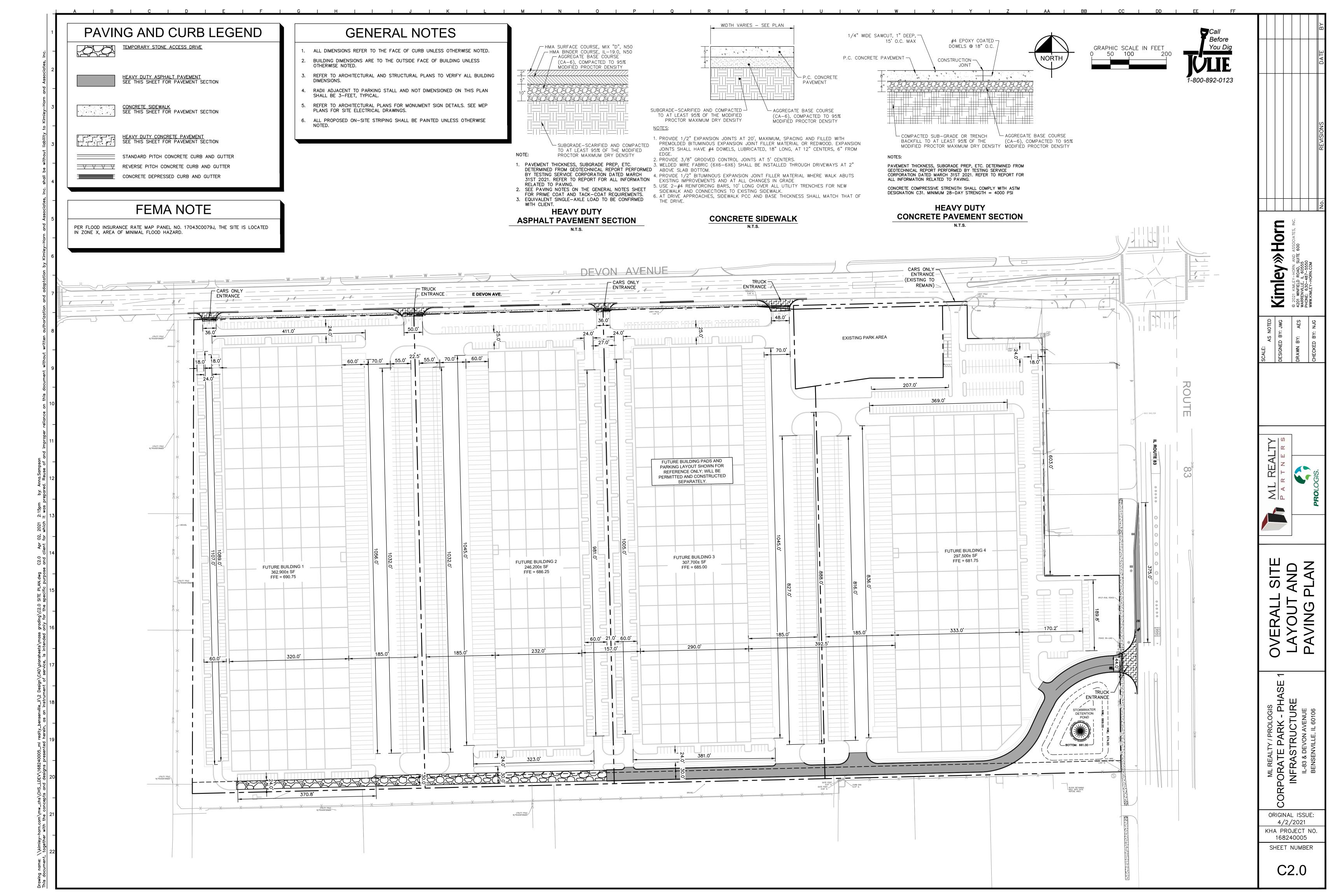


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							No.
		KIMIEV» HOFN		© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 4201 WINFIELD ROAD, SUITE 600	WARRENVILLE, IL 60555 PHONE: 630-487-5550	WWW.KIMLEY-HORN.COM	
SCALE:	AS NOTED	DESIGNED BY: JWG		DRAWN BY: AES		CHECKED BY: NJG	
	ML REALTY						
┢							
	ML REALTY / PROLOGIS	CORPORATE PARK - PHASE		Ζ	IL-83 & DEVON AVENUE		
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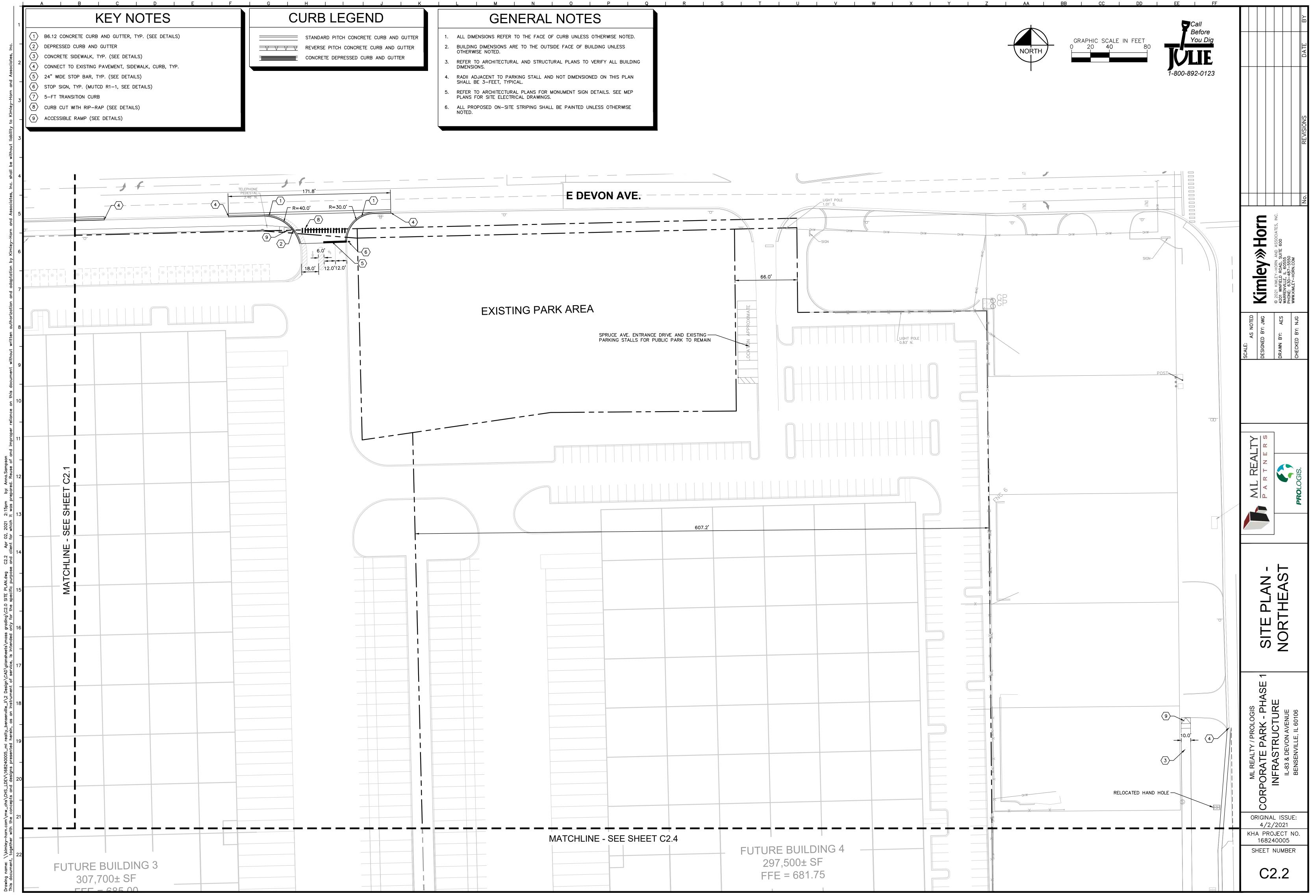
	A I B I C I D I E I F I G I	I H I I J I K I L I M			IZIAAIBBICCIDDIEEIFF	
1	GENERAL NOTES 1. EXISTING SITE TOPOGRAPHY, UTILITIES, RIGHT-OF-WAY AND HORIZONTAL CONTROL SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SURVEY PREPARED BY:	29. ALL FRAMES AND LIDS FOR STORM AND SANITARY SEWERS, VALVE VAULT COVERS, FIRE HYDRANTS, AND B-BOXES ARE TO BE ADJUSTED TO MEET FINISHED GRADE. THE CONTRACTOR'S ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR, AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT.	PAVING NOTES 1. GENERAL 1.1. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION, AND COMPACTION; PLACEMENT OF	5. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.		BY
ss, Inc.	COMPASS SURVEYING, LTD. 2631 GINGER WOODS PKWY, SUITE 100 AURORA, ILLINOIS 60502 TEL: (630) 820–9100	30. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ONTO THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM, IF AVAILABLE. DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR	SUBBASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING, AND CURING CONCRETE PAVEMENT, CURBS, AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.	 CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE VILLAGE OF BENSENVILLE. WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) REQUIREMENTS, AS SPECIFIED IN THE STANDARDS 	16.1.2. WATERMAINS MAY BE LAID CLOSER THAN TEN (10) FEET TO A SEWER LINE WHEN: 16.1.2.1. LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN (10) FEET;	DATE
2 ssociate	COPIES OF THE SURVEY ARE AVAILABLE FROM THE ENGINEER. SITE CONDITIONS MAY HAVE CHANGED SINCE THE SURVEY WAS PREPARED. CONTRACTORS TO VISIT SITE TO FAMILIARIZE THEMSELVES WITH THE CURRENT CONDITIONS.	EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR FLUSHING OR USING THE HYDRANT AT THE CONTRACTOR'S OWN EXPENSE. LEAKS IN THE WATER DISTRIBUTION SYSTEM SHALL BE THE RESPONSIBILITY OF THE WATER MAIN CONTRACTOR AND SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.	1.2. COMPACTION REQUIREMENTS [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] FOR SUBGRADE, SUBBASE, AGGREGATE BASE COURSE, AND BITUMINOUS COURSES SHALL MEET ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) HIGHWAY STANDARDS.	FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. 8. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE, EXCEPT UNDER SPECIAL	16.1.2.2. THE WATERMAIN INVERT IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE SEWER; 16.1.2.3. THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN	
A hand A	2. COPIES OF SOILS INVESTIGATION REPORTS MAY BE OBTAINED FROM THE OWNER. ANY BRACING, SHEETING OR SPECIAL CONSTRUCTION METHODS DEEMED NECESSARY BY THE CONTRACTOR IN ORDER TO INSTALL	31. TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE SEWERS AND WATERMAIN WITHIN TWO (2) FEET HORIZONTAL OF PROPOSED OR EXISTING PAVEMENT.	1.3. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING WARNING DEVICES, AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL	CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES: A. IF NECESSARY PERMISSION SHALL BE OBTAINED FROM THE VILLAGE OF BENSENVILLE IN WRITING PRIOR TO BEGINNING CONSTRUCTION.	16.1.2.0. UNDISTURBED EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER. 16.1.3. WHEN IT IS IMPOSSIBLE TO MEET (1) OR (2) ABOVE, BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED OF SLIP-ON OR MECHANICAL JOINT CAST OR DUCTILE IRON	
Ley-Horr C	THE PROPOSED IMPROVEMENTS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PROJECT. ANY ADDITIONAL SOILS DATA NEEDED TO CONFIRM THE CONTRACTOR'S OPINIONS OF THE SUBSOIL CONDITIONS SHALL BE DONE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN AUTHORIZATION TO ACCESS THE SITE TO CONDUCT A SUPPLEMENTAL SOILS INVESTIGATION.	32. IF SOFT, SPONGY, OR OTHER UNSUITABLE SOILS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED AT THE BOTTOM OF THE TRENCH, ALL SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH WELL-COMPACTED, CRUSHED LIMESTONE BEDDING MATERIAL. IF ROCK IS	DEVICES (MUTCD), LATEST EDITION, AND IN ACCORDANCE WITH THE VILLAGE OF BENSENVILLE CODE.	B. THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18 INCHES ABOVE THE TOP OF THE SEWER AND 18 INCHES HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.	PIPE, PRESTRESSED CONCRETE PIPE, OR PVC PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION AND IN CONFORMANCE WITH THE ILLINOIS STANDARDS FOR WATER AND SEWER CONSTRUCTION IN ILLINOIS. THE DRAIN OR SEWER SHALL BE PRESSURE-TESTED TO THE	
to Kimi	3. THE CONTRACTOR SHALL PHOTOGRAPH THE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.	ENCOUNTERED, IT SHALL BE REMOVED TO AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE TO ALLOW PROPER THICKNESS OF BEDDING. ANY UNDERCUTS OF TWO (2) FEET OR LESS SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT. DEPTHS GREATER THAN TWO (2) FEET SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PROCEEDING.	2.1. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL CONFIRM THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISHED TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS, UNLESS THE CONTRACTOR ADVISES THE ENGINEER IN	9. ALL SANITARY MANHOLES (AND STORM MANHOLES IN COMBINED SEWER AREAS) SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE. A WATERTIGHT BOOT, CONFORMING TO ASTM C-923, SHALL BE USED AT THE PIPE-STRUCTURE CONNECTION.		SNS
د د	 EXCEPT WHERE MODIFIED BY THE CONTRACT DOCUMENTS, ALL PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS WHICH ARE HEREBY MADE A PART HEREOF: A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS," AS PREPARED BY 	33. THE TRENCHES FOR PIPE INSTALLATION SHALL BE KEPT DRY AT ALL TIMES DURING PIPE PLACEMENT. APPROPRIATE FACILITIES TO MAINTAIN THE DRY TRENCH SHALL BE PROVIDED BY THE CONTRACTOR, AND THE COST OF SUCH SHALL BE INCIDENTAL TO THE UNIT PRICE BID FOR THE ITEM. PLANS FOR THE SITE	WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION. IT IS UNDERSTOOD THAT THE CONTRACTOR HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE. 2.2. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF-ROLLED AND	10.ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER-TIGHT SLEEVES. THE BOTTOM OF THE MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS. 11.FRAMES AND LIDS: SEE DETAILS FOR ALL SANITARY SEWER MANHOLE FRAMES AND LIDS. THE LIDS SHALL	16.2.1. A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS EIGHTEEN (18) INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS, SANITARY SEWERS, OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN (10) FEET HORIZONTALLY OF	SEVISIO
without	IDOT, LATEST EDITION. B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS" AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.	DEWATERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR DEWATERING DURING CONSTRUCTION UNLESS APPROVED IN WRITING BY THE OWNER.	INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS:	HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF-SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORD "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN THE FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.	ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANT FROM THE SEWER OR DRAIN. 16.2.2. BOTH THE STORM SEWER AND SANITARY SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT	
equipe 4	C. "ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS," AS PUBLISHED BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA), LATEST EDITION.	34. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE PROPER INLET PROTECTION EROSION CONTROL AT LOCATIONS INDICATED BY THE ENGINEER. THE PURPOSE OF THE INLET PROTECTION WILL BE TO MINIMIZE THE AMOUNT OF SILTATION THAT NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.	2.2.1. SCARIFY, DISC, AND AERATE. 2.2.2. REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL.	12.A MAXIMUM OF TWELVE (12) INCHES OF CONCRETE-ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE. 13.CLEANING: ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS. AND ALL	TO WATERMAIN STANDARDS OF CONSTRUCTION OR THE STORM SEWER SHALL BE CONSTRUCTED USING "O" RING GASKET JOINTS, PER ASTM C-443, OR THE WATERMAIN MAY BE IN ENCASED IN A WATERTIGHT CASING PIPE WHEN:	
a la	 D. REGULATIONS, STANDARDS AND GENERAL REQUIREMENTS SET FORTH BY THE VILLAGE OF BENSENVILLE, UNLESS OTHERWISE NOTED ON THE PLANS. E. THE NATIONAL ELECTRIC CODE. 	35. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.	2.2.3. REMOVE AND REPLACE WITH GRANULAR MATERIAL. 2.2.4. USE OF GEOTEXTILE FABRIC.	VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE. 14. TESTING: DEFLECTION, AIR, AND LEAKAGE TESTING WILL BE REQUIRED FOR SANITARY SEWER PIPE, INCLUDING SERVICES, FLEXIBLE PIPE SHALL BE TESTED FOR DEFLECTION IN ACCORDANCE WITH THE	16.2.2.1.IT IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION, AS DESCRIBED ABOVE; OR16.2.2.2.THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.	
ssociate	F. ALL APPLICABLE PROVISIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT ARE HEREIN INCORPORATED BY REFERENCE.	36. EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH IEPA REGULATIONS AND IDOT STANDARDS FOR SOIL EROSION AND SEDIMENTATION CONTROL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND REMAIN IN PLACE UNTIL A SUITABLE GROWTH OF GRASS, ACCEPTABLE TO THE ENGINEER, HAS DEVELOPED.	MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE ONE-QUARTER (1/4) INCH TO ONE-HALF (1/2) INCH IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA. 2.3. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE	ILLINOIS RECOMMENDED STANDARDS FOR SEWAGE WORKS, CURRENT EDITION. ALL SANITARY MANHOLES SHALL BE LEAKAGE TESTED AND VACUUM TESTED PER ASTM C1244-02. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS AND VILLAGE OF BENSENVILLE REQUIREMENTS.	16.2.3. A VERTICAL SEPARATION OF EIGHTEEN (18) INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER A SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING OF THE WATERMAIN.	
¥ 5	5. STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS, AND RECURRING SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THE CONTRACTOR'S WORK MAY NOT BE SPECIFICALLY NOTED, BUT ARE CONSIDERED A PART OF THE CONTRACTOR'S CONTRACT.	37. THE CONTRACTOR SHALL CONFORM TO ALL EROSION CONTROL REQUIREMENTS AS SET FORTH BY THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY THROUGH THE NPDES PHASE II PERMIT PROGRAM REQUIREMENTS AND GOVERNING MUNICIPALITY. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL	MATERIAL, THE PAVEMENT AREA SHALL BE FINE-GRADED TO WITHIN 0.04 FEET (1/2 INCH) OF FINAL SUBGRADE ELEVATION, TO A POINT TWO (2) FEET BEYOND THE BACK OF THE CURB, SO AS TO ENSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.	15. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH THE VILLAGE OF BENSENVILLE CODE.	16.2.4. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN (10) FEET.	ES, INC.
ley-Horr 	6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL ITEMS REQUIRED FOR CONSTRUCTION OF THE PROJECT, AS SHOWN ON THE PLANS, ARE INCLUDED IN THE CONTRACT. ANY ITEM NOT SPECIFICALLY INCLUDED IN THE CONTRACT, BUT SHOWN ON THE PLANS, SHALL BE	EROSION CONTROL MEASURES AS INDICATED ON THE EROSION CONTROL DRAWINGS AND SPECIFICATIONS AS WELL AS THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING THE PROVISIONS INDICATED IN THE SWPPP AT A MINIMUM, INCLUDING EROSION CONTROL MEASURES AND INSPECTION FREQUENCY. AS	2.4. PRIOR TO PLACEMENT OF THE BASE COURSE, THE SUBGRADE SHALL BE APPROVED BY THE TESTING ENGINEER.	16. TELEVISING: IF REQUIRED BY THE MUNICIPALITY, ALL SANITARY SEWERS SHALL BE TELEVISED, AND A COPY OF THE TAPE AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE VILLAGE OF BENSENVILLE BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS, AND LENGTHS, IDENTIFY MANHOLE TO MANHOLE	17. ALL WATERMAINS SHALL BE PRESSURE-TESTED FOR A MIN. OF 2 HOURS AT 200 PSI, FLUSHED, AND DISINFECTED IN ACCORDANCE WITH AWWA AND VILLAGE OF BENSENVILLE SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE-TESTED FOR A MINIMUM OF ONE (1) HOUR. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE VILLAGE OF BENSENVILLE. AT NO TIME IS THERE TO BE	
by Kim 9	CONSIDERED INCIDENTAL TO THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IN THE EVENT OF A DISCREPANCY WITH THE PLANS AND QUANTITIES. 7. THE CONTRACTOR IS RESPONSIBLE FOR HAVING A SET OF "APPROVED" ENGINEERING PLANS WITH THE	REQUIRED BY THE IEPA NPDES PHASE II PERMIT PROGRAM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SWPPP DOCUMENTATION CURRENT AND READILY AVAILABLE ON THE PROJECT SITE AT ALL TIMES FOR REVIEW BY THE OWNER, ENGINEER, AND REGULATORY AGENCIES. KIMLEY-HORN AND ASSOCIATES. INC. IS NOT RESPONSIBLE FOR THE ACTS OR OMISSIONS OF THE	 CONCRETE WORK 3.1. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX 	BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEOTAPES.	ANY VISIBLE LEAKAGE FROM THE MAIN.	SS50 COM
aptation I	LATEST REVISION DATE ON THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT THEM TO THE SURVEYOR OR ENGINEER BEFORE DOING ANY WORK. OTHERWISE, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS.	CONTRACTOR, SUBCONTRACTORS OR SUPPLIERS, WHICH CONTRIBUTE TO DEFICIENCIES IN THE SWPPP OR ANY VIOLATIONS RESULTING FROM INADEQUATE EROSION CONTROL PROTECTION AND/OR DOCUMENTATION. 38. THE PAVEMENT SHALL BE KEPT FREE OF MUD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSARY	(6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 4,000 PSI COMPRESSIVE STRENGTH AT TWENTY-EIGHT (28) DAYS. ALL CONCRETE SHALL BE BROOM-FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL.	SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND REPAIR, OR REPLACE ALL MATERIALS AND WORKMANSHIP, AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.	ADA GENERAL NOTES 1. CURB RAMPS ALONG PUBLIC STREETS AND IN THE PUBLIC RIGHT-OF-WAY SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS OF THE AUTHORITY	MLEY-HO MLEY-HO ELD ROAD S0-487-5 Y-HORN.
opp 7 Dua	SPECIFICATIONS, AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT THE CONTRACTOR'S OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR	 38. THE PAVEMENT SHALL BE REPTIFIED OF MOD AND DEBRIS AT ALL TIMES. IT MAY BE NECESSART TO KEEP A SWEEPER ON-SITE AT ALL TIMES. 39. ALL DISTURBED AREAS OF THE RIGHT-OF-WAY SHALL BE FULLY RESTORED TO PRE-CONSTRUCTION CONDITIONS WITH A MINIMUM OF SIX (6) INCHES OF TOPSOIL, SEEDING, AND MULCH AS PER IDOT 	3.2. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PRE-MOLDED FIBER EXPANSION JOINTS. WITH	18.CERTIFICATION: CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING." ASTM STANDARDS D-2241. AS APPROPRIATE FOR THE PIPE, TO BE	 ALL ACCESSIBLE ROUTES, GENERAL SITE AND BUILDING ELEMENTS, RAMPS, CURB RAMPS, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO ADA STANDARDS FOR ACCESSIBLE DESIGN, LATEST EDITION. 	2021 KIN ARRENVILI WW.KIMLE'
rization I	QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.	STANDARDS. 40. ALL PROPOSED GRADES SHOWN ON PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS NOTED	TWO 3/4-INCH BY 18-INCH EPOXY-COATED STEEL DOWEL BARS, SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES	USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT FIVE (5) PERCENT MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.	 ANY COMPONENTS OF THE PROJECT SERVING MULTI-FAMILY DWELLINGS IN BUILDINGS THAT HAVE (4) OR MORE UNITS PER DWELLING SHALL ALSO CONFORM TO THE FAIR HOUSING ACT (FHA), AND COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL BY THE US DEPARTMENT OF HOUSING AND URBAN 	
n autho	8. THE CONTRACTOR SHALL SUBSCRIBE TO ALL GOVERNING REGULATIONS AND SHALL OBTAIN ALL NECESSARY PUBLIC AGENCY PERMITS PRIOR TO STARTING WORK. THE CONTRACTOR, BY USING THESE PLANS FOR THEIR WORK, AGREE TO HOLD HARMLESS KIMLEY-HORN AND ASSOCIATES, INC, THE MUNICIPALITY, THEIR EMPLOYEES AND AGENTS AND THE OWNER FROM AND AGAINST ANY AND ALL	OTHERWISE. 41. ALL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. IF REQUESTED BY THE MUNICIPALITY OR ENGINEER, COPIES OF ALL TEST RESULTS SHALL BE PROVIDED TO THE ENGINEER	3.3. CURBS SHALL BE DEPRESSED AND MEET THE SLOPE REQUIREMENTS OF THE ILLINOIS ACCESSIBILITY CODE AT LOCATIONS WHERE PUBLIC WALKS INTERSECT CURB LINES AND OTHER LOCATIONS, AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY.	19.CONTRACTOR SHALL VERIFY THAT THE TESTING METHODS DESIGNATED HEREIN ARE ACCEPTABLE TO THE LOCAL AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT. STORM SEWER NOTES	DEVELOPMENT. 4. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE ACCESSIBLE PEDESTRIAN	S NOTEL BY: JWG : AES 3Y: NJG
t writte	LIABILITY, CLAIMS, DAMAGES, AND THE COST OF DEFENSE ARISING OUT OF CONTRACTOR(S) PERFORMANCE OF THE WORK DESCRIBED HEREIN. 9. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS,	FOR REVIEW AND APPROVAL. 42. PROVIDE SMOOTH VERTICAL CURVES THROUGH HIGH AND LOW POINTS INDICATED BY SPOT ELEVATIONS. PROVIDE UNIFORM SLOPES BETWEEN NEW AND EXISTING GRADES. AVOID RIDGES AND DEPRESSIONS.	3.4. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE.3.5. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED	STORM SEWER PIPE: ALL STORM SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE. IN ACCORDANCE WITH IDOT STANDARD SPECIFICATIONS FOR	ROUTES (PER ADA AND FHA) EXIST TO AND FROM EVERY DOOR AND ALONG SIDEWALKS, ACCESSIBLE PARKING SPACES, ACCESS AISLES, AND ACCESSIBLE ROUTES. IN NO CASE SHALL AN ACCESSIBLE RAMP SLOPE EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. ACCESSIBLE	ALE: AS SIGNED ANN BY
6 6	TECHNIQUES, SEQUENCES OR PROCEDURES, TIME OF PERFORMANCE, PROGRAMS OR FOR ANY SAFETY PRECAUTIONS USED BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXECUTION OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS.	43. WHEN REQUIRED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHEN RECORD DRAWINGS CAN BE PREPARED. RECORD DRAWINGS SHALL INDICATE THE FINAL LOCATION AND LAYOUT OF ALL IMPROVEMENTS, INCLUDING VERIFICATION OF ALL CONCRETE PADS, INVERT, RIM, AND SPOT GRADE	JOINTS AT 5-FOOT INTERVALS AND 1/2-INCH PRE-MOLDED FIBER EXPANSION JOINTS AT 20-FOOT INTERVALS AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, AND OTHER STRUCTURES. 3.6. CONCRETE CURING AND PROTECTION SHALL BE PER IDOT STANDARDS. TWO (2) COATS OF IDOT	DETERMINING PIPE CLASS AND CONFORMING TO ASTM C76. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF BENSENVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL STORM SEWER PIPE SHALL BE INSTALLED IN	 PARKING SPACES AND ACCESS AISLES SHALL NOT EXCEED 2.0 PERCENT SLOPE IN ANY DIRECTION. 5. CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PAVEMENT TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR 	SC/ DR/ CHE
ocumen.	 CONSTRUCTION MATERIALS AND/OR EQUIPMENT MAY NOT BE STORED IN THE RIGHT-OF-WAY, AS DIRECTED BY THE OWNER. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC 	ELEVATIONS, AND INCORPORATE ALL FIELD DESIGN CHANGES APPROVED BY THE OWNER. 44. BEFORE ACCEPTANCE, ALL WORK SHALL BE INSPECTED BY THE VILLAGE OF BENSENVILLE, AS NECESSARY.	APPROVED CURING AGENT SHALL BE APPLIED TO ALL EXPOSED CONCRETE SURFACES. 3.7. THE COST OF AGGREGATE BASE OR SUBBASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.	ACCORDANCE WITH THE FOLLOWING: PIPE SIZE CODE PIPE MATERIAL 12"-60" RCP REINFORCED CONCRETE PIPE (ASTM C76); SEE IDOT SPECS FOR PIPE CLASS	SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.	
this 10	RIGHT-OF-WAYS ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE	EARTHWORK NOTES 1. GENERAL	 FLEXIBLE PAVEMENT THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, AND DRIVE AISLES SHALL BE AS 	3"-12"PVCPOLYVINYLCHLORIDEPLASTICPIPESDR-26(ASTM D3034 AND D2241)3"-48"HDPEHIGH DENSITYPOLYETHYLENEPIPE3"-48"DIPDUCTILEIRONPIPE, CLASS52(ANSI 21.51 AND AWWA C151)		
iance o	CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED. 12. OWNER SHALL OBTAIN EASEMENTS AND APPROVAL OF PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED	1.1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE.	DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B, HMA BINDER COURSE, IL-19, N50; AND HMA SURFACE COURSE, MIX N50, OF THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS. THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS.	2. BAND-SEAL OR SIMILAR COUPLING SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.		
	BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS AND EASEMENTS. 13. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY	1.2. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND BE KNOWLEDGEABLE OF ALL SITE CONDITIONS.	4.2. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE IDOT	 ALL FOOTING DRAIN DISCHARGE PIPES AND DOWN SPOUTS SHALL DISCHARGE TO THE STORM SEWER SYSTEM. CONSTRUCTION: ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN 		N 100
Sampson Ind impi	THE SURVEYOR AT THE CONTRACTOR'S EXPENSE. 14. NOTIFICATION OF COMMENCING CONSTRUCTION:	1.3. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC., MUST BE ACCOUNTED FOR.1.4. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION AND PREVENT	APPROVED. 4.3. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED AND TACK-COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE, OR CURB SHALL BE	LINE AND GRADE. 5. COVER: THE CONTRACTOR SHALL MAINTAIN AT LEAST TWO (2) FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES		
y: Anna. use of o	14.A. THE CONTRACTOR SHALL NOTIFY AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY, AS NECESSARY, ALL TESTING AGENCIES, THE VILLAGE OF BENSENVILLE, AND THE OWNER SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.	STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION, AND TRAFFIC.	REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WHATEVER EQUIPMENT AND STAFF NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE	THAT HAVE LESS THAN TWO (2) FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.6. STRUCTURES: MANHOLE, CATCH BASIN, AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL		° SEA
ud Red	14.B. FAILURE OF THE CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN THE TESTING COMPANIES TO BE UNABLE TO VISIT THE SITE AND PERFORM TESTING WILL CAUSE THE CONTRACTOR TO SUSPEND THE OPERATION TO BE TESTED UNTIL THE TESTING AGENCY CAN	1.5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES. THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY,	OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS PER IDOT STANDARDS. 4.4. SEAMS IN BAM, BINDER, AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6 INCHES.	UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM OF FOUR (4) FEET IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH "O" RING OR BUTYL ROPE. A MAXIMUM OF TWELVE (12) INCHES OF ADJUSTING RINGS SHALL BE USED.		LOGI
21 2:14 as prepo	SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK SHALL BE BORNE BY THE CONTRACTOR. 15. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL EMERGENCY TRAFFIC, AS	WETLANDS, ETC., SHALL OCCUR BEFORE GRADING BEGINS. 1.6. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A CONSTRUCTION FENCE AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE	 TESTING AND FINAL ACCEPTANCE. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE MATERIALS/TESTING ENGINEER. 	7. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.		
r 02, 20 11 w	DIRECTED BY THE MUNICIPALITY. 16. ANY EXISTING SIGNS, LIGHT STANDARDS, AND UTILITY POLES THAT INTERFERE WITH CONSTRUCTION OPERATIONS AND ARE NOT NOTED ON THE PLANS FOR DISPOSAL SHALL BE REMOVED AND RESET BY	CENTERED AROUND THE TREE, THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.	5.2. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE VILLAGE OF BENSENVILLE, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.	 8. THE FRAME, GATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS. 9. CLEANING: THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING. 		
t for wh	THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE, AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.	1.7. EXISTING SUBSURFACE CONDITIONS WERE OBTAINED FROM A GEOTECHNICAL PREPARED BY: TESTING SERVICE CORPORATION 457 EAST GUNDERSON DR	5.3. WHEN REQUIRED BY THE VILLAGE OF BENSENVILLE, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY	10. THE STORM SEWER SHALL BE TELEVISED IF REQUIRED BY THE VILLAGE OF BENSENVILLE. 11. MANHOLES, CATCH BASINS, INLETS, FRAMES, GRATES, AND OTHER STRUCTURES SHALL BE CONSTRUCTED		
or client	17. ALL TREES TO BE SAVED SHALL BE IDENTIFIED PRIOR TO CONSTRUCTION BY THE LANDSCAPE ARCHITECT AND SHALL BE PROTECTED PER IDOT SECTION 201.05. THE RIGHT-OF-WAY LINE AND LIMITS OF THE CONTRACTOR'S OPERATIONS SHALL BE CLEARLY DEFINED THROUGHOUT THE CONSTRUCTION PERIOD. ALL	CAROL STREAM, IL 60188 TEL: (630) 653–3920 2. TOPSOIL EXCAVATION INCLUDES:	THE METHOD REQUIRED BY IDOT STANDARDS. 5.4. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.	OF THE TYPE, STYLE, AND SIZE AS SET FORTH WITH THE ORDINANCES AND STANDARDS OF THE VILLAGE OF BENSENVILLE. 12. ALL PVC PIPES CONNECTED TO REINFORCED CONCRETE PIPE SHALL BE CORED AND BOOTED PER THE		S S S S S S S S S S S S S S S S S S S
OTES.dwç rpose al	TREES NOTED TO REMAIN SHALL BE PROTECTED FROM DAMAGE TO TRUNKS, BRANCHES AND ROOTS. NO EXCAVATING, FILLING OR GRADING IS TO BE DONE INSIDE THE DRIP LINE OF TREES UNLESS OTHERWISE INDICATED.	2.1. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.	 ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE VILLAGE OF BENSENVILLE CODE. WHEN CONFLICTS ARISE BETWEEN MUNICIPAL CODE, GENERAL NOTES AND SPECIFICATIONS, THE MORE STRINGENT SHALL TAKE PRECEDENCE. 	VILLAGE OF BENSENVILLE REQUIREMENTS.		
VERAL N scific pu	18. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT, FORESTER, OR ARBORIST AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THE CONTRACTOR'S WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE CONTRACTOR'S OWN EXPENSE.	2.2. PLACEMENT OF EXCAVATED MATERIAL IN OWNER-DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.	SIGNAGE AND PAVEMENT MARKING NOTES	1. WATERMAIN PIPE: ALL WATERMAIN PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN. UNLESS OTHERWISE NOTED ON THE PLANS, ALL WATERMAIN PIPE SHALL BE CONSTRUCTED OF BITUMINOUS-COATED CEMENT-LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A21.4 (AWWA C104). THE		
CO.1 CEI the spe	ALL CUTS OVER ONE (1) INCH IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT. 19. ALL EXISTING PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAWCUT ALONG LIMITS OF PROPOSED REMOVAL BEFORE COMMENCEMENT OF PAVEMENT REMOVAL.	2.3. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.	1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT) STANDARDS.	JOINTS SHALL BE PUSH-ON COMPRESSION GASKET JOINTS CONFORMING TO ANSI A21.11 (AWWA C111). ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF BENSENVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL WATERMAIN PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING:		
grading/ only for 91	20. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT, AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT	2.4. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING SIX (6) INCHES OF TOPSOIL DIRECTLY OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE OWNER.	2. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080-INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE. LEGEND SHALL BE IN ACCORDANCE WITH THE MUTCD.	PIPE SIZE CODE PIPE MATERIAL 3"-48" DIP DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151) < 3" TYPE "K" COPPER PIPE		
ts\mass itended	UNLESS A PAY ITEM IS LISTED ON THE BID LIST. 21. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT THE	2.5. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS. 3. EARTH EXCAVATION INCLUDES:	 POSTS: SIGN POSTS SHALL BE A HEAVY-DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT, SUCH AS A TYPE B METAL POST, AS PER THE IDOT STANDARDS (OR 2-INCH PERFORATED STEEL TUBE). SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH IDOT STANDARDS. 	2. FITTINGS: ALL FITTINGS SHALL BE OF DUCTILE IRON WITH CEMENT MORTAR LINING AND MECHANICAL JOINTS CONFORMING TO ANSI AS21.10 (AWWA C110).		
planshee is is is 12	CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR IS RESPONSIBLE FOR ANY PERMITS REQUIRED FOR SUCH DISPOSAL. 22. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH,	3.1. EXCAVATION OF SUBSURFACE MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.	5. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE PUBLIC RIGHT-OF-WAY, SUCH AS STOP LINES, CENTERLINES, CROSSWALKS, AND DIRECTIONAL ARROWS, SHALL BE REFLECTORIZED THERMOPLASTIC ON ASPHALT AND EPOXY ON CONCRETE OR AS APPROVED BY IDOT.	3. VALVES: GATE VALVES SHALL BE USED ON ALL WATERMAINS. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE-MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509 OR C-515. THE VALVES SHALL HAVE MECHANICAL JOINTS.		
gn\CAD\ of serv	OIL AND GREASE RESIDUE, MACHINERY, TOOLS, AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEANUP, AS DIRECTED BY THE ENGINEER OR OWNER. BURNING	3.2. PLACEMENT OF SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIALS SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN	6. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW-WEAR" APPLICATIONS, SHALL BE PAINT IN ACCORDANCE WITH IDOT STANDARDS.	4. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.		~
1\2 Desi trument	ON THE SITE IS NOT PERMITTED. 23. NO UNDERGROUND WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE VILLAGE OF BENSENVILLE, APPROVAL TO PROCEED MUST BE OBTAINED FROM THE	THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVÉ REQUIRED COMPACTION. 3.3. STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING	 COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD AND LOCAL CODE. STANDARD PARKING SPACES SHALL BE PAINTED WHITE OR YELLOW PER LOCAL CODE. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55 DEGREES 	5. VALVE VAULTS: VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES FIVE (5) FEET IN DIAMETER, AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE ACCORDING TO THE DETAIL ON THE PLANS, WITH "WATER" EMBOSSED ON THE LID.		IASE
senville an insi 81	VILLAGE OF BENSENVILLE PRIOR TO INSTALLING PAVEMENT BASE, BINDER, AND SURFACE, AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET, AS NECESSARY. 24. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER. EXISTING DRAINAGE STRUCTURES AND	STRUCTURAL FILL, WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.	FAHRENHEIT AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT AND RISING.	6. FIRE HYDRANTS: SEE PLANS FOR APPROVED FIRE HYDRANT DETAIL. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. FIRE HYDRANTS SHALL HAVE AUXILIARY VALVES WITH A HYDRANT BARREL TO VALVE BOX RESTRAINING DEVICE. THE PUMPER CONNECTION SHALL FACE THE ROADWAY.		DGIS - PF 106 106
alty_ben erein, as I	PIPE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THE CONTRACTOR'S WORK SHALL NOT BE PAID FOR SEPARATELY, BUT SHALL BE MERGED INTO THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL, AND	3.4. COMPACTION OF SUITABLE MATERIALS SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALK, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.	SANITARY SEWER NOTES 1. SANITARY SEWER PIPE: ALL SANITARY SEWER PIPE MATERIAL, SIZE AND TYPE SHALL BE INSTALLED AS INDICATED ON THE UTILITY PLAN, UNLESS OTHERWISE NOTED ON THE PLANS, ALL SANITARY SEWER PIPE	7. PROVIDE AND INSTALL FOUR MEGALUG JOINT RESTRAINTS AT EACH JOINT FROM THE MAINLINE TEE TO THE AUXILIARY VALVE AND BETWEEN THE AUXILIARY VALVE AND THE HYDRANT BARREL.		
61 h	DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. NO EXTRA PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR STORM SEWERS CONSTRUCTED AS PART OF THE CONTRACTOR'S PROJECT.	4. UNSUITABLE MATERIAL: UNSUITABLE MATERIALS SHALL BE CONSIDERED MATERIAL THAT IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL	SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE (PVC SDR-26), CONFORMING TO ASTM D3034 AND D2241 WITH ELASTOMERIC GASKET JOINTS CONFORMING TO ASTM D3139 AND D3212. ANY CHANGES TO THE PIPE MATERIAL, SIZE AND TYPE MUST BE APPROVED BY THE OWNER, ENGINEER AND VILLAGE OF BENSENVILLE PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANITARY SEWER PIPE SHALL BE	 8. THE BREAK FLANGE AND ALL BELOW-GRADE FITTING SHALL HAVE STAINLESS STEEL NUTS AND BOLTS. 9. CORPORATION STOPS: CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-800 AND SHALL INCLUDE "J" BEND, TAILPIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS 		
l682400C jns pres I	25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING	AND TO WHAT EXTENT SHALL BE MADE BY THE ENGINEER WITH THE CONCURRENCE OF THE OWNER. 5. MISCELLANEOUS. THE CONTRACTOR SHALL:	PRIOR TO ORDERING MATERIALS OR INSTALLING THE PIPE. ALL SANTTARY SEWER PIPE SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING: PIPE SIZE CODE PIPE MATERIAL 4" - 12" PVC POLYVINYL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241)	 10. SERVICE BOX: PROVIDE CURB VALVE AND CURB BOX, AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6) FEET OF BURY. 		REA RAT RA -83 & ENSE
DEV1	UTILITIES SHOWN ON THE PLANS. THE ENGINEER DUES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLANS. THE CONTRACTOR SHALL CALL J.U.L.I.E. (1-800-892-0123) AND THE VILLAGE OF BENSENVILLE FOR UTILITY LOCATIONS.	 5.1. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS. 5.2. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES 	4 – 12 PVC POLITVINIL CHLORIDE PLASTIC PIPE SDR-26 (ASTM D3034 AND D2241) 4"-48" DIP DUCTILE IRON PIPE, CLASS 52 (ANSI 21.51 AND AWWA C151) 2. BAND-SEAL OR SIMILAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS, ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN	11. MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT RECOMMENDATIONS AND AWWA SPECIFICATIONS.		
chs/CHS cepts a	26. THE GENERAL CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO PROVIDE CABLE TV, PHONE, ELECTRIC, GAS AND IRRIGATION SERVICES. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING SITE LAYOUTS FOR THESE UTILITIES AND SHALL COORDINATE AND PROVIDE CONDUIT CROSSINGS AS REQUIRED. THIS COORDINATION SHALL BE CONSIDERED INCIDENTAL TO GENERAL CONTRACTOR AGREEMENT WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT	OF THE SUITABLE SUBGRADE MATERIAL IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS. 5.3. ADD WATER TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF	DISSIMILAR MATERIALS. ALL SANTIARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE ¼" TO 1" IN SIZE WITH MINIMUM BEDDING THICKNESS EQUAL TO ¼ THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NO LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. AS A MINIMUM, THE MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF THE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE	 12. BEDDING: ALL WATERMAINS SHALL BE BEDDED ON FIRM GROUND, WITH BELLHOLES EXCAVATED SO THAT THE PIPE HAS AN EVEN BEDDING FOR ITS ENTIRE LENGTH. 13. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO 		NOR N
om \mw_ the con 12	WITH THE OWNER. ANY CONFLICTS IN UTILITIES SHALL BE CORRECTED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. 27. CONTRACTOR IS TO VERIFY ALL EXISTING STRUCTURES AND FACILITIES AT ALL PROPOSED UTILITY CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL	 5.3. ADD WATER TO DRT MATERIAL IN ORDER TO ADJUST THE MOISTORE CONTENT FOR THE PORPOSE OF ACHIEVING THE SPECIFIED COMPACTION. 5.4. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. 	REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION OF THE STATE OF ILLINOIS OR ASTM C-33. THE GRADATION SHALL CONFORM TO GRADATION CA-11 OF THE ILLINOIS STANDARD SPECIFICATIONS AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.	 13. GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLT PLACED TO TWELVE (12) INCHES OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION. 14. A MINIMUM DEPTH OF COVER OF 5-FEET, 6-INCHES SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED 		ORIGINAL ISSUE:
y-horn.c [.] er with	CONNECTION LOCATIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO ORDERING MATERIAL AND STARTING WORK. 28. ANY FIELD TILES ENCOUNTERED SHALL BE INSPECTED BY THE ENGINEER. THE DRAIN TILE SHALL BE CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE	6. TESTING AND FINAL ACCEPTANCE 6.1. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM A FULLY LOADED SIX—WHEEL TANDEM AXLE TRUCK	3. ALL UNSUITABLE MATERIALS SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CRUSHED GRAVEL OR STONE PER IDOT STANDARDS AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.	 MAXIMUM COVER SHALL BE EIGHT (8) FEET, EXCEPT AT SPECIAL CROSSINGS AND ONLY AS DESIGNATED ON THE PLANS. 15. "MEGA-LUG" RETAINER GLANDS AND THRUST BLOCKING SHALL BE INSTALLED ON WATERMAINS AT ALL BENDS. FITTINGS. TEES, ELBOWS, ETC. "MEGA-LUG" RESTRAINED JOINTS ARE REQUIRED ON ALL VALVES 		4/2/2021 KHA PROJECT NO. 168240005
, togeth 55	CONNECTED TO THE STORM SEWER SYSTEM AND A RECORD KEPT BY THE CONTRACTOR OF THE LOCATIONS AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THE CONTRACTOR'S WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT, AND NO ADDITIONAL COMPENSATION SHALL BE ALLOWED.	FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY THE TESTING ENGINEER AND THE OWNER. (SEE PAVING SPECIFICATION.)	4. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF TWO (2) FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL PER IDDT STANDARDS AND THOROUGHLY MECHANICALLY COMPACTED IN 6-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS	AND ALL FITTINGS, THE COST FOR THIS WORK SHALL BE INCIDENTAL TO THE UNIT PRICE FOR THE PIPE INSTALLED. 16. ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (IEPA) AND MUNICIPALITY WATERMAIN PROTECTION:		SHEET NUMBER
g name: ocument		6.2. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL OR OTHERWISE CORRECTED AND APPROVED BY THE ENGINEER.	MECHANICALLY COMPACIED IN 6-INCH THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED.	16.1. HORIZONTAL SEPARATION 16.1. WATERMAINS SHALL BE LAID AT LEAST TEN (10) FEET HORIZONTALLY FROM ANY EXISTING OR		C0.1
Drawin This d				PROPOSED DRAIN, STORM SEWER, SANITARY SEWER, OR SEWER SERVICES CONNECTION.		

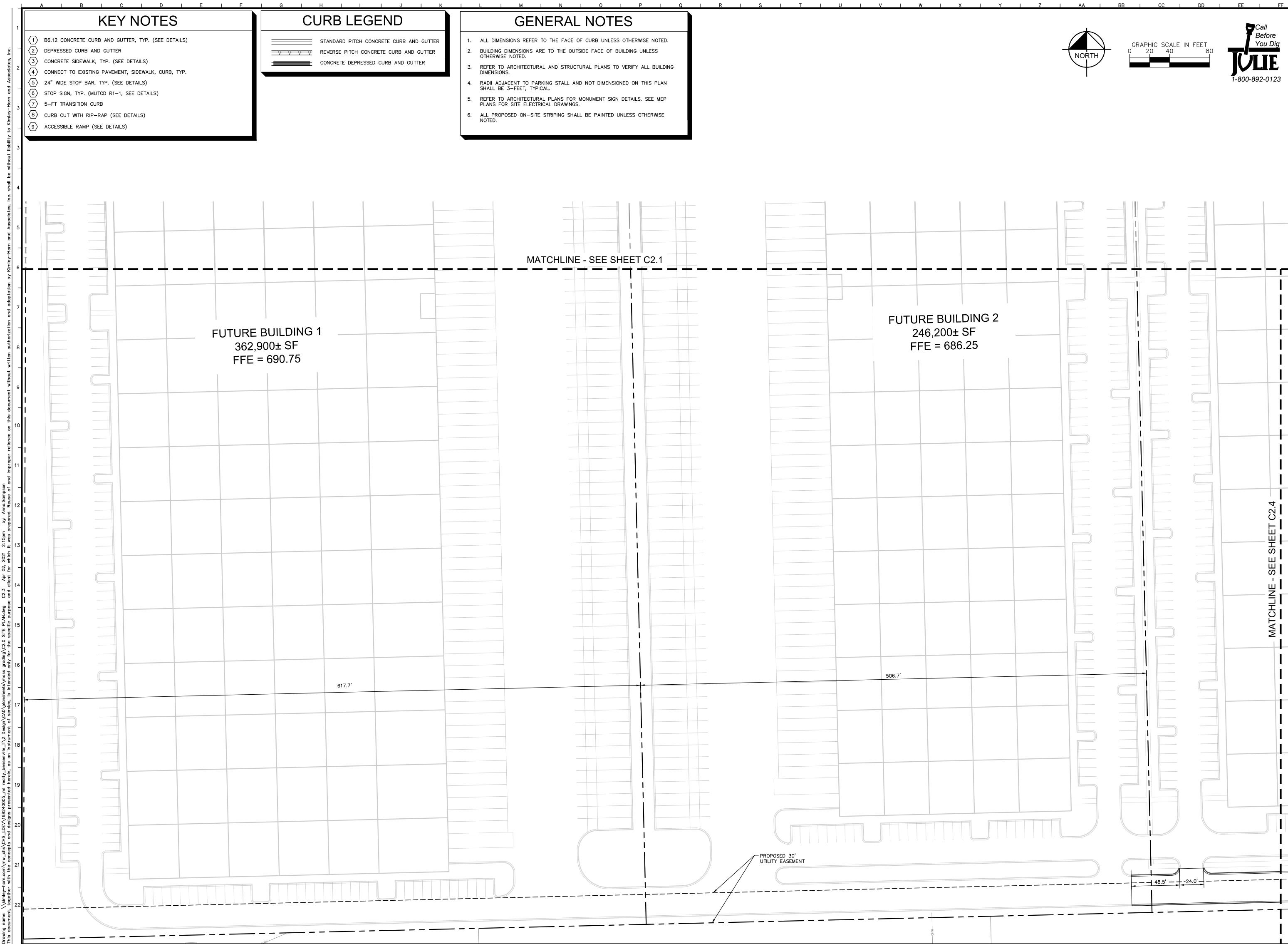




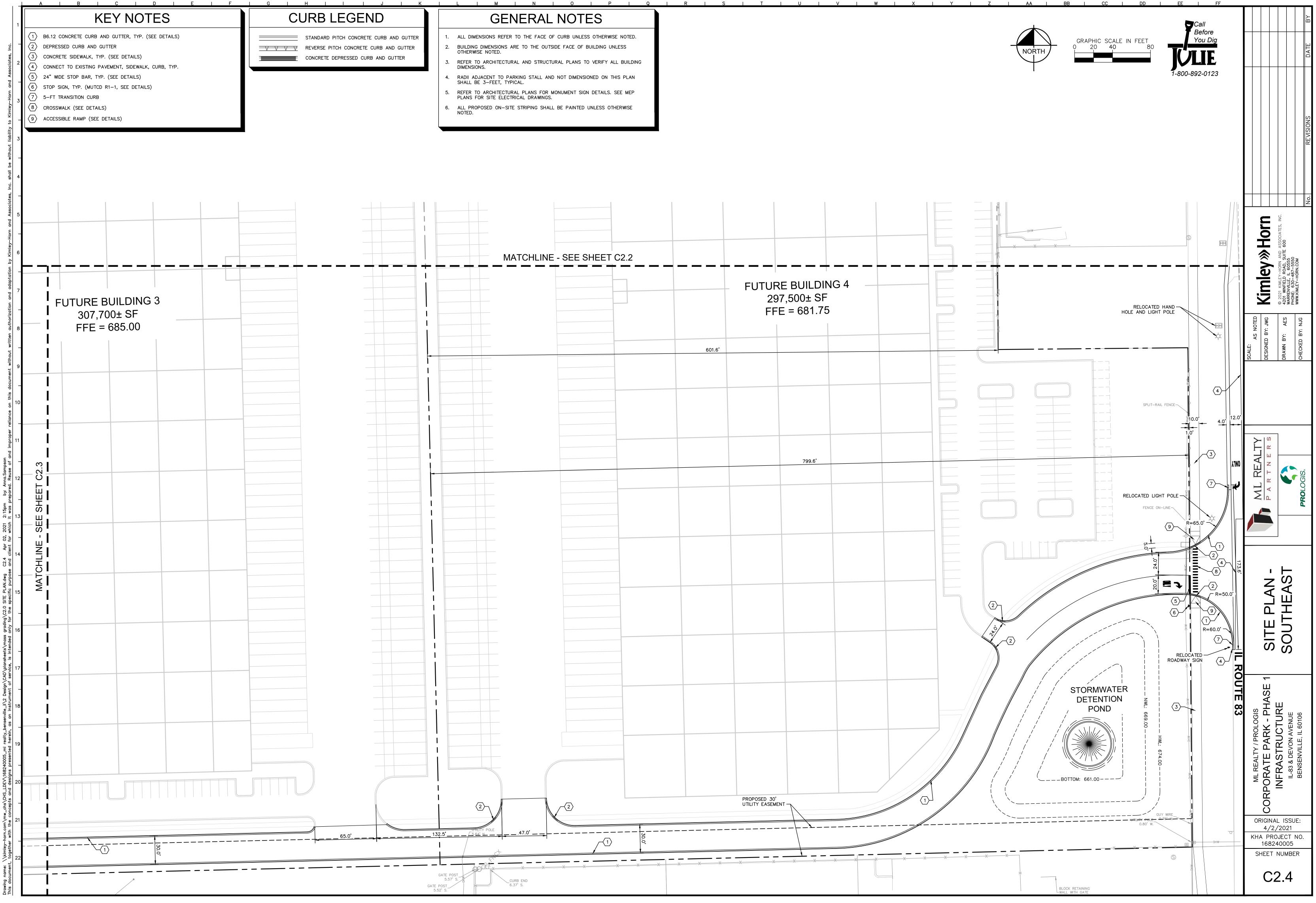


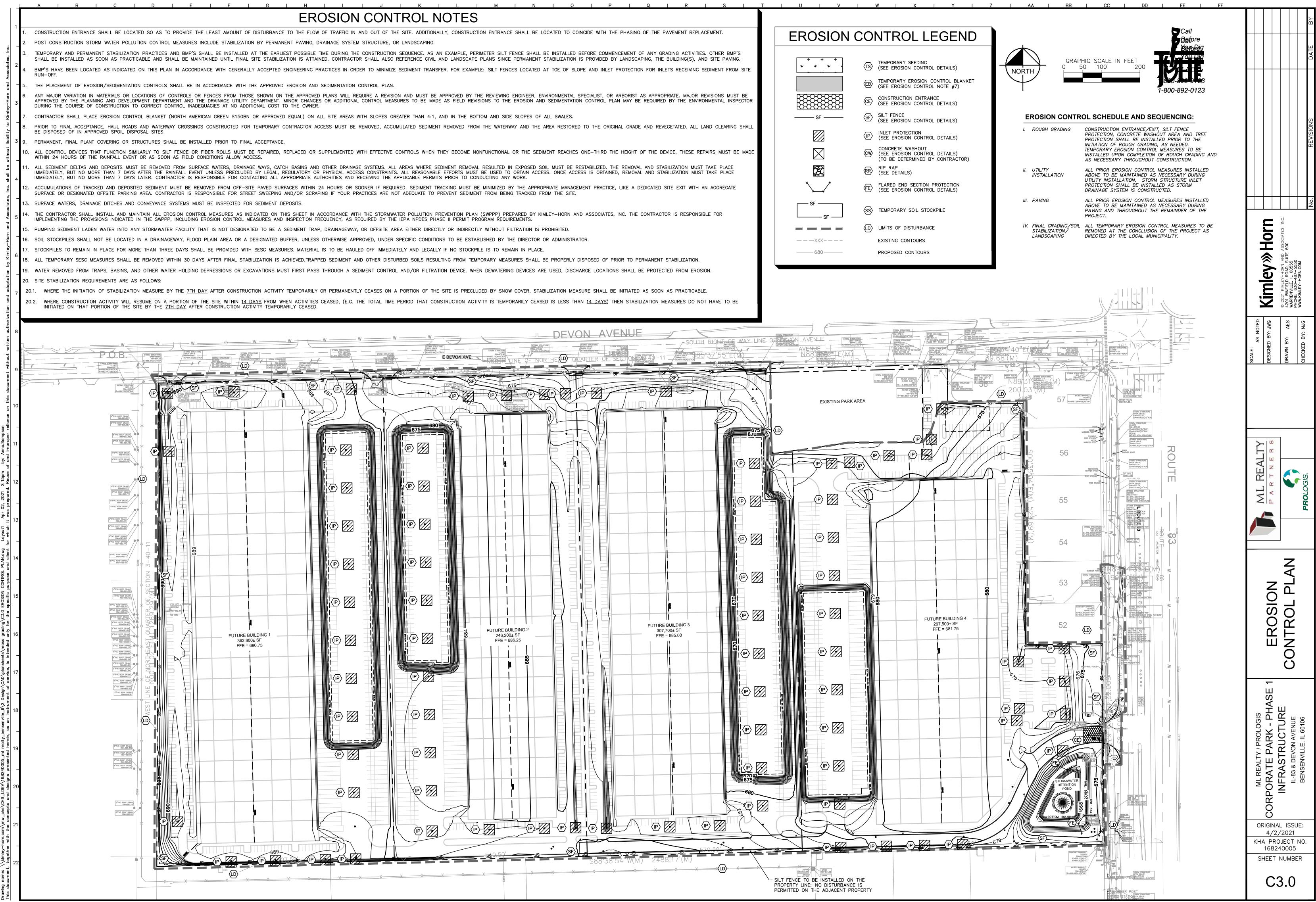
A B C D E F KEY NOTES (1) B6.12 CONCRETE CURB AND GUTTER, TYP. (SEE DETAILS) (2) DEPRESSED CURB AND GUTTER (3) CONCRETE SIDEWALK, TYP. (SEE DETAILS) (4) CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP. (5) 24" WIDE STOP BAR, TYP. (SEE DETAILS) (6) STOP SIGN, TYP. (MUTCD R1–1, SEE DETAILS) (7) 5-FT TRANSITION CURB (8) CURB CUT WITH RIP-RAP (SEE DETAILS) (9) ACCESSIBLE RAMP (SEE DETAILS)	G H H H H H K CURBLEGEND STANDARD PITCH CONCRETE CURB AND GUTTER V V REVERSE PITCH CONCRETE CURB AND GUTTER CONCRETE DEPRESSED CURB AND GUTTER	L M N Q P Q GENERAL NOTES GENERAL NOTES 1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED. 2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED. 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS. 4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3-FEET, TYPICAL. 5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS. 6. ALL PROPOSED ON—SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.	<u> </u>	Z AA I	BB CC DD GRAPHIC SCALE IN FEET 0 20 40 80	EE FF	
3 3 4 W 4 5 135.4'	W = W = W = W	W W W W W W 212.7' 4 1 R=40.0' 8 R=30.0' 9 1 1 R=30.0' 1 2 6.0 5 6 12.0' 12.0' 12.0' 12.0'	E DEVON AVE.		76.0' $R=20.0'$ $R=20.0$	LIGHT POLE 1.41' S.	Ambey Horn 1 2021 KIMLEY-HORN AND ASSOCIATES, INC. 2021 KIMLEY-HORN AND ASSOCIATES, INC. 2031 WINFIELD ROAD, SUITE 600 ARRENVILLE, IL 60555 HONE: 630-487-5550 WW.KIMLEY-HORN.COM
							SCALE: AS NOTED DESIGNED BY: JWG DRAWN BY: AES CHECKED BY: NJG
						SHEET C2.2	ML REALTY P A R T N E R S PROLOGIS.
14 14 15 15 16 16 17							SITE PLAN - NORTHWEST
							ML REALTY / PROLOGIS ML REALTY / PROLOGIS CORPORATE PARK - PHASE 1 INFRASTRUCTURE IL-83 & DEVON AVENUE IL-83 & DEVON AVENUE BENSENVILLE, IL 60106
			E - SEE SHEET C2.3				4/2/2021 KHA PROJECT NO. 168240005 SHEET NUMBER C2.1

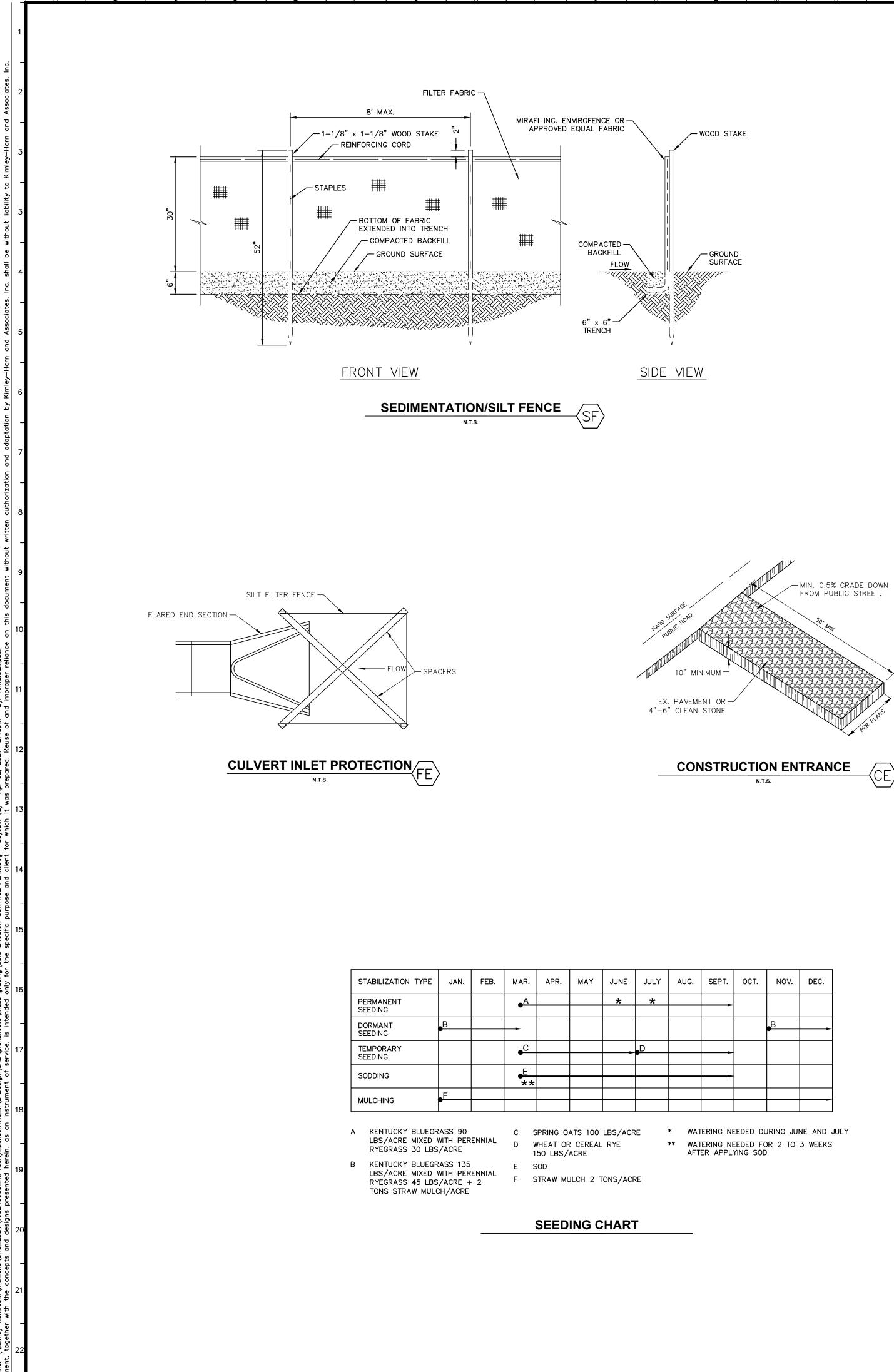


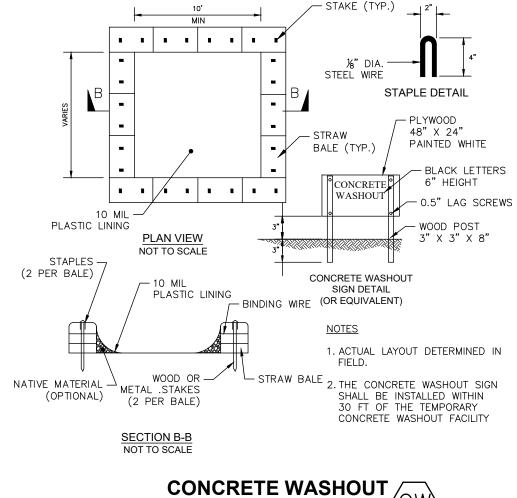


GRAPHIC SCALE IN FEET O 20 40 80 CRAPHIC SCALE IN FEET O 20 40 80 COLLE 1-800-892-0123	REVISIONS DATE BY
DING 2 SF 5.25	SCALE: AS NOTED AS NOTED AS NOTED DESIGNED BY: JWG RMMEY MORN DESIGNED BY: JWG 0 2021 KIMLEY-HORN AND ASSOCIATES, INC. DRAWN BY: AES WARRENVILLE, IL 60555 UNTE 600 VARRENVILLE, IL 60555 UNC. CHECKED BY: NJG NO.
	ML REALTY P A R T N E R S PROLOGIS.
	SITE PLAN - SOUTHWEST
	ML REALTY / PROLOGIS CORPORATE PARK - PHASE 1 INFRASTRUCTURE IL-83 & DEVON AVENUE BENSENVILLE, IL 60106
	ORIGINAL ISSUE: 4/2/2021 KHA PROJECT NO. 168240005 SHEET NUMBER C2.3

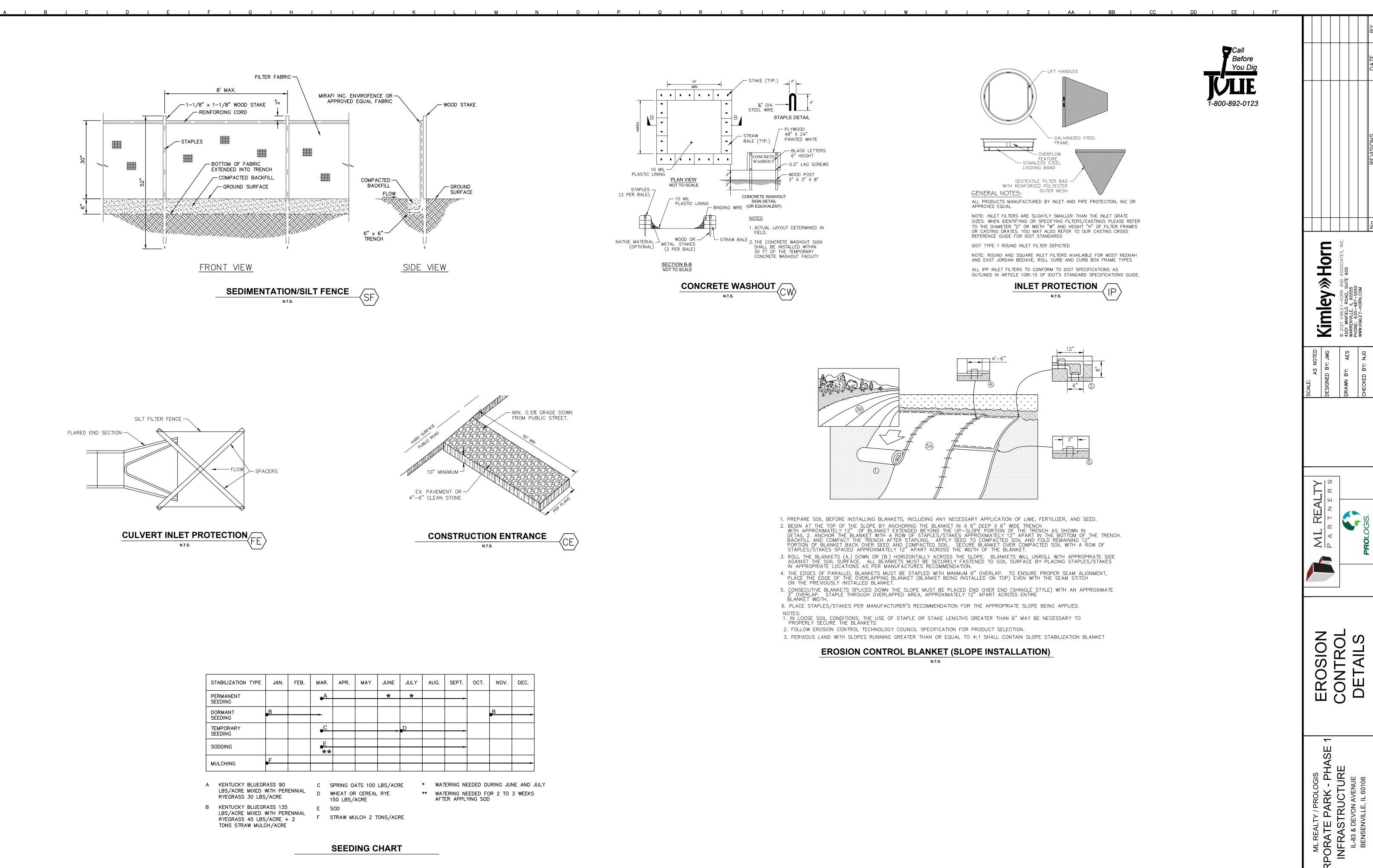








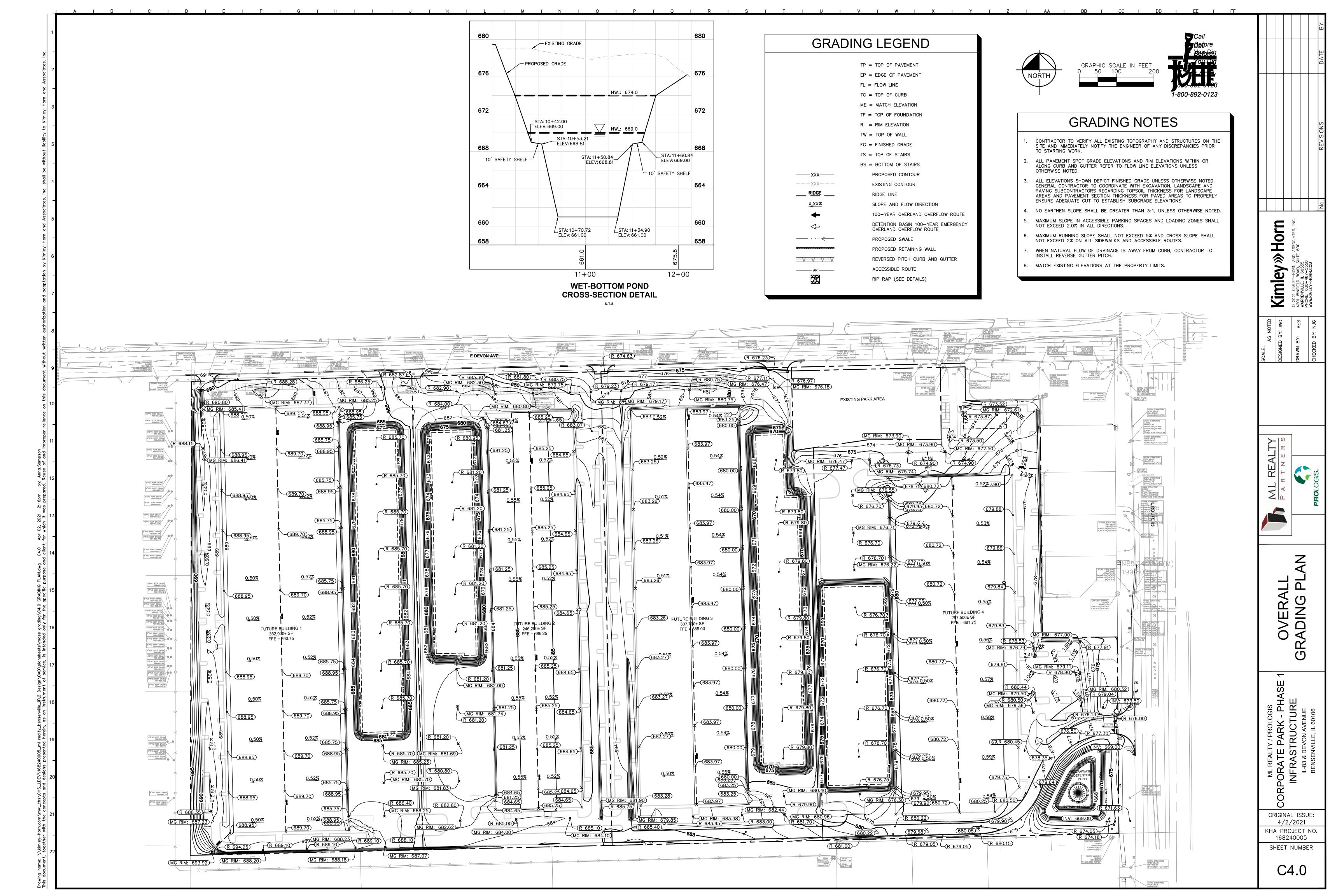
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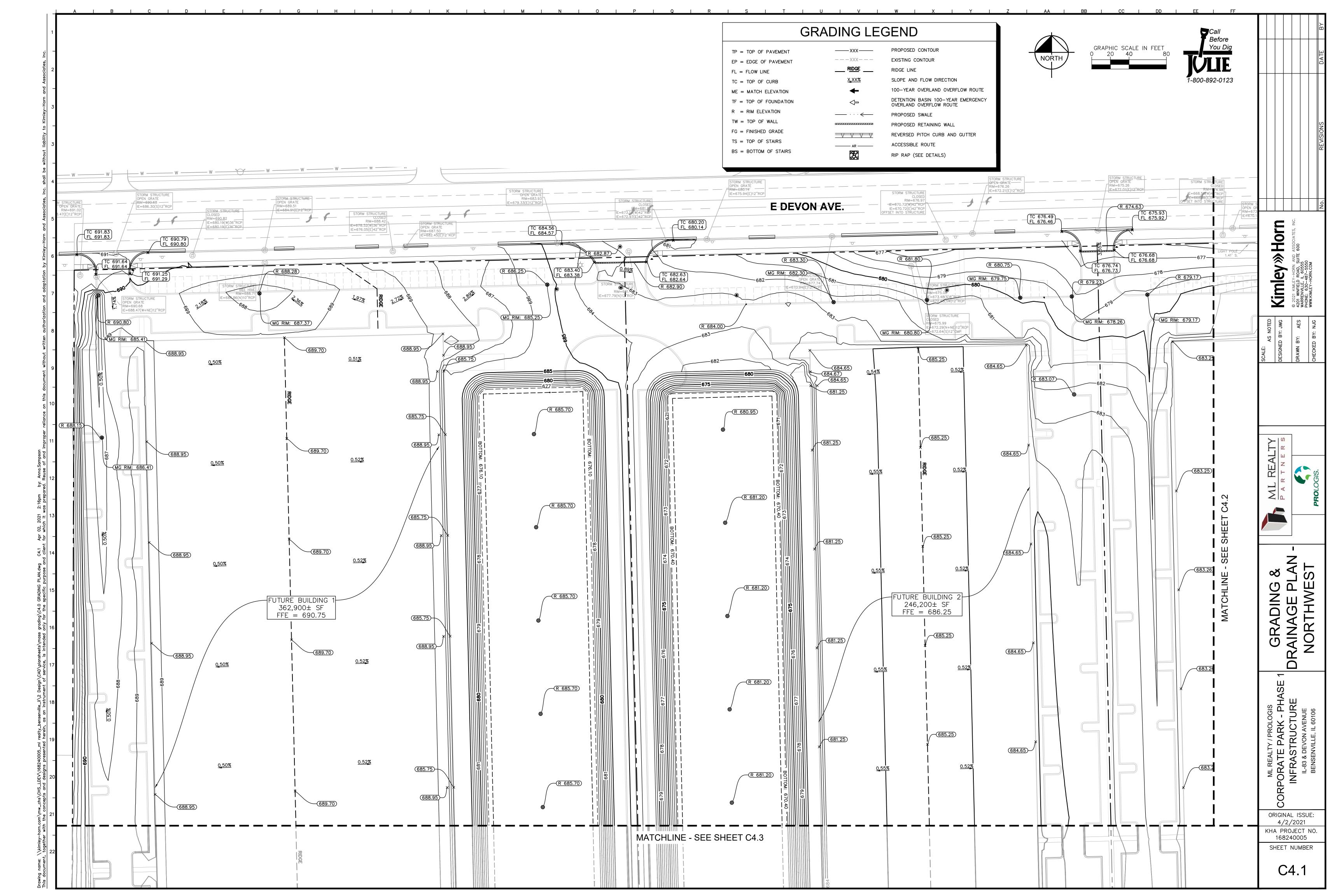


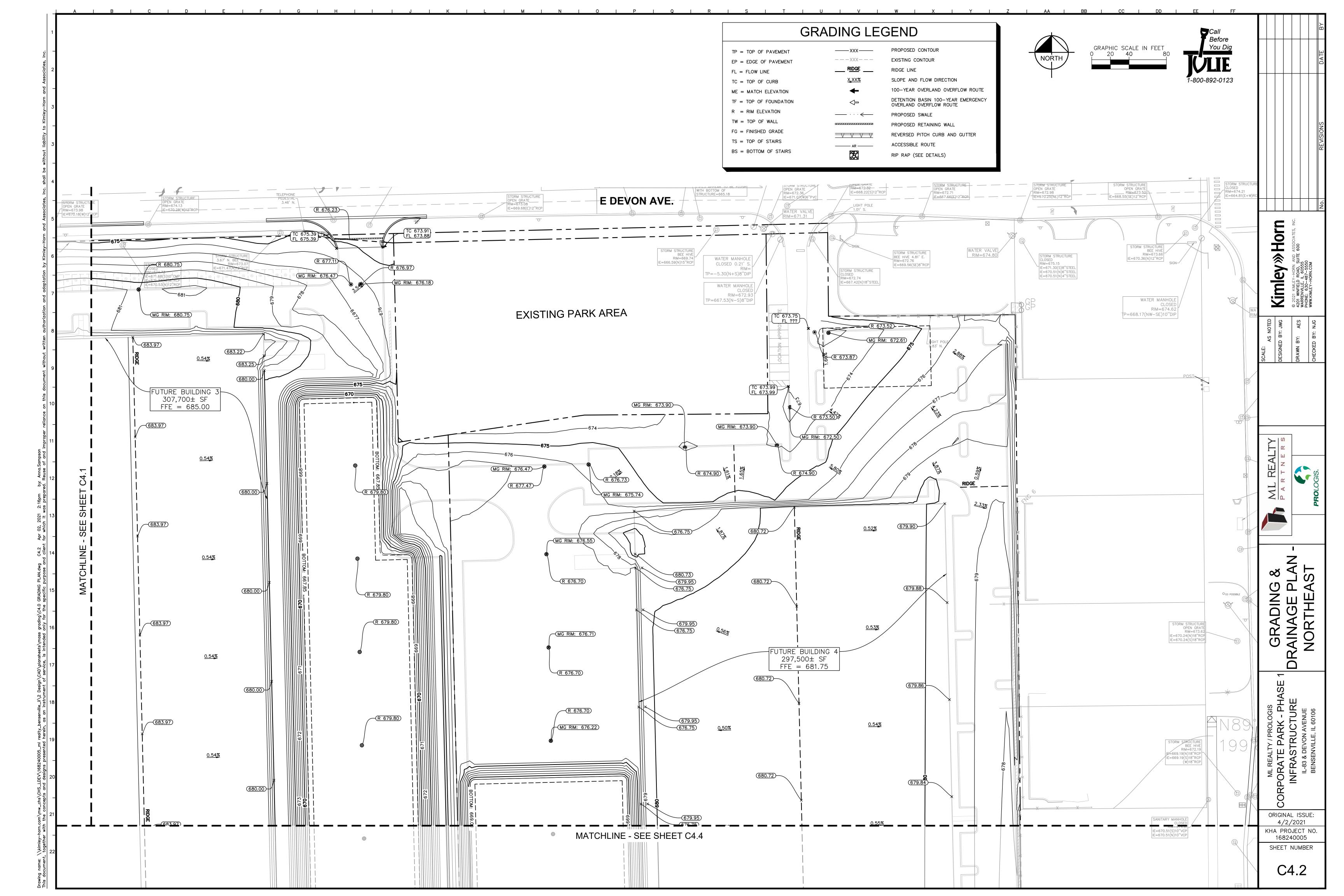
- NOTES:

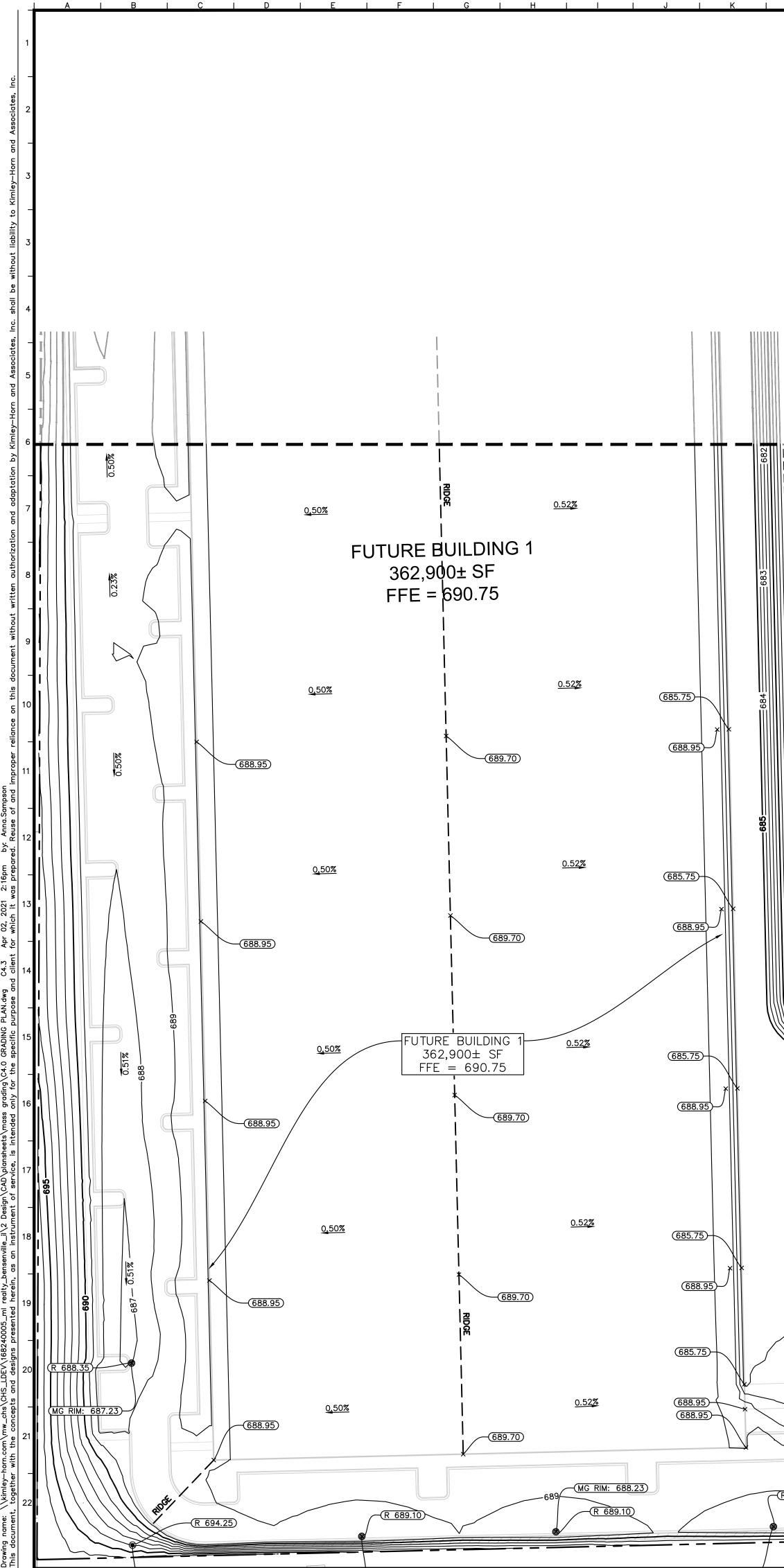
ORIGINAL ISSUE: 4/2/2021 KHA PROJECT NO. 168240005 SHEET NUMBER

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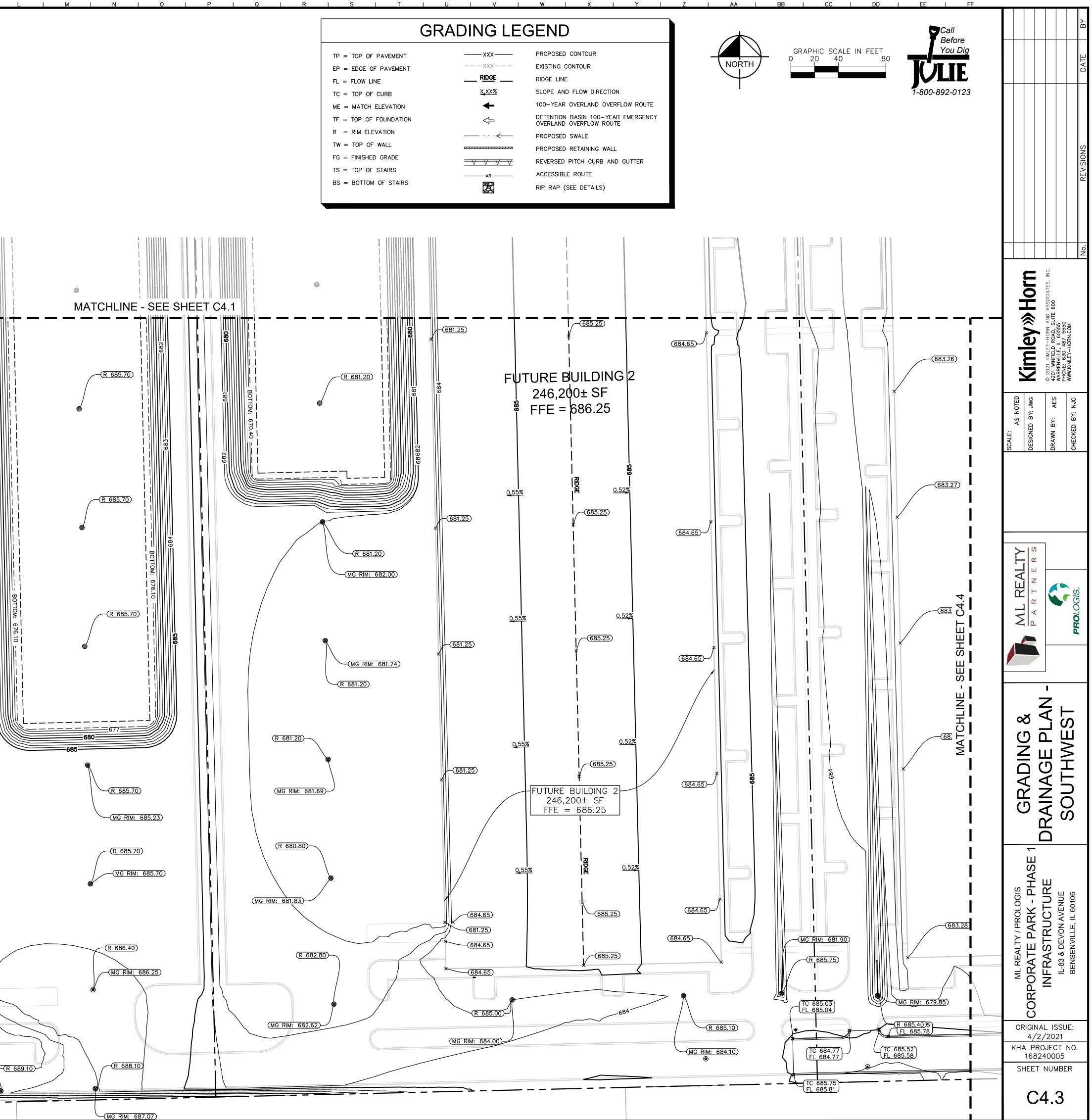


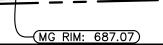


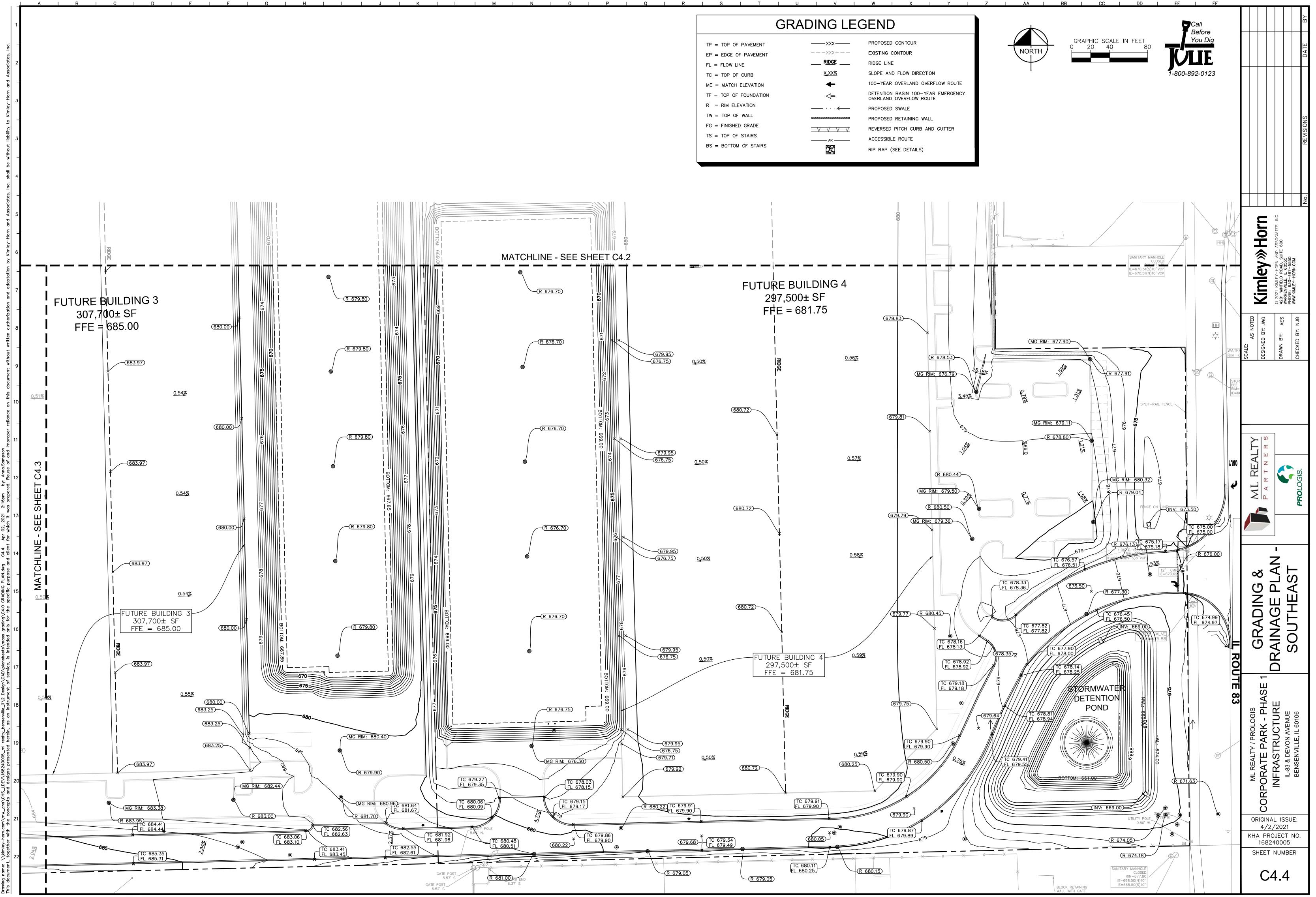


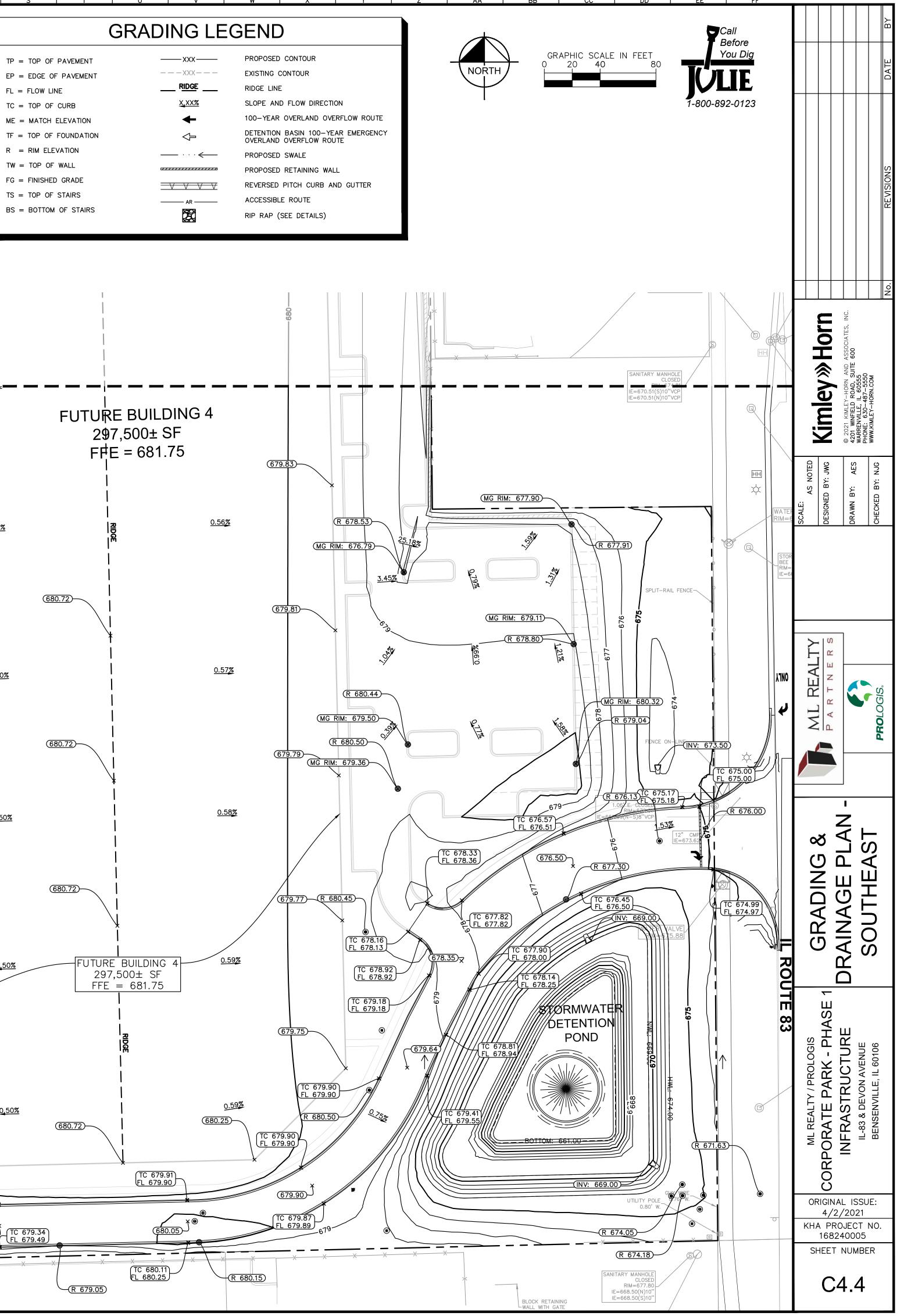


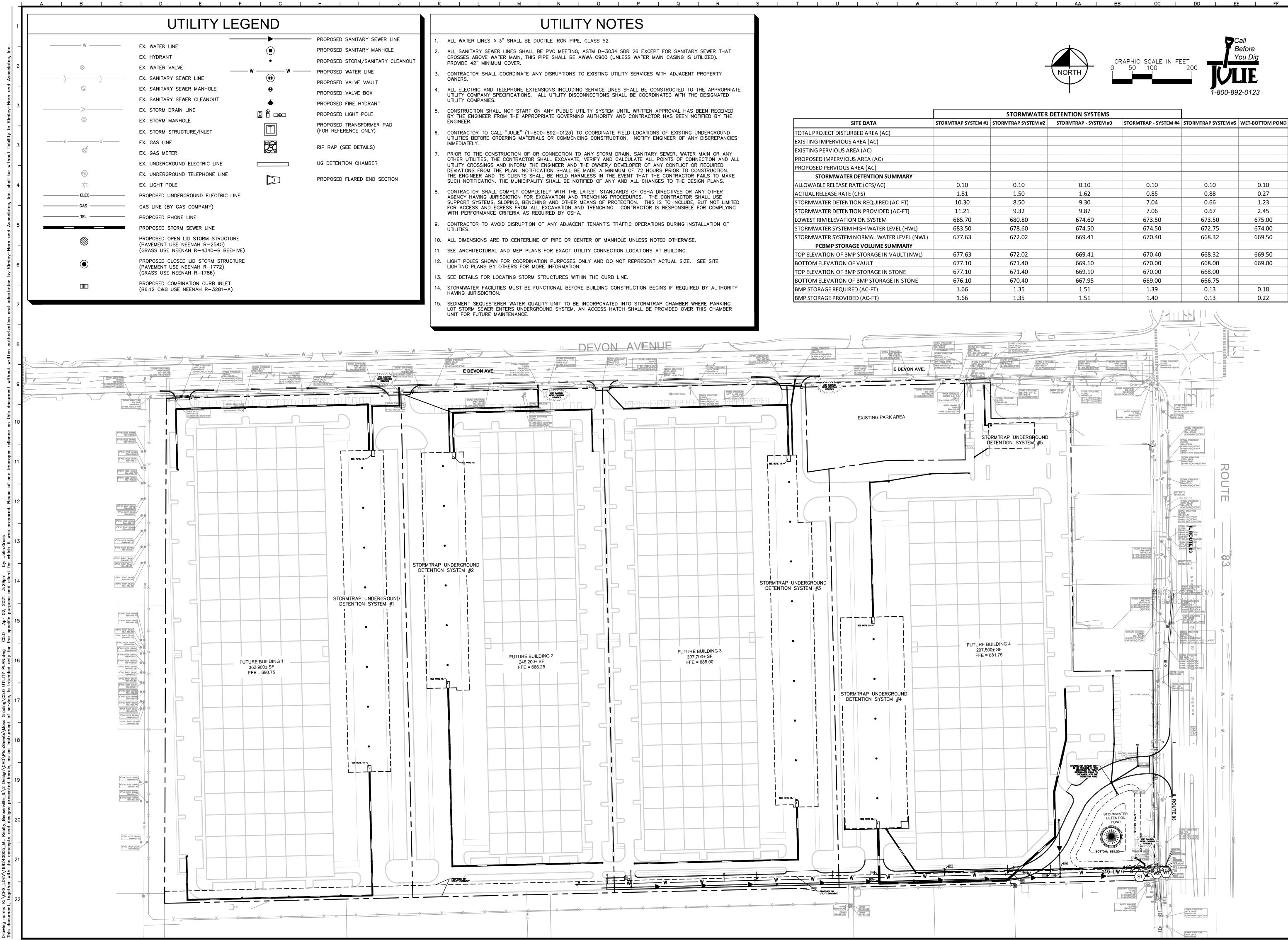
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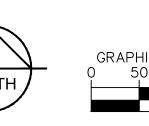






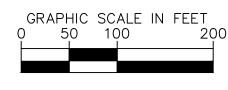
SITE DATA	STORMTR
TOTAL PROJECT DISTURBED AREA (AC)	
EXISTING IMPERVIOUS AREA (AC)	
EXISTING PERVIOUS AREA (AC)	
PROPOSED IMPERVIOUS AREA (AC)	
PROPOSED PERVIOUS AREA (AC)	
STORMWATER DETENTION SUMMARY	
ALLOWABLE RELEASE RATE (CFS/AC)	
ACTUAL RELEASE RATE (CFS)	
STORMWATER DETENTION REQUIRED (AC-FT)	1
STORMWATER DETENTION PROVIDED (AC-FT)	1
LOWEST RIM ELEVATION ON SYSTEM	6
STORMWATER SYSTEM HIGH WATER LEVEL (HWL)	6
STORMWATER SYSTEM NORMAL WATER LEVEL (NWL)	6
PCBMP STORAGE VOLUME SUMMARY	
TOP ELEVATION OF BMP STORAGE IN VAULT (NWL)	6
BOTTOM ELEVATION OF VAULT	6
TOP ELEVATION OF BMP STORAGE IN STONE	6
BOTTOM ELEVATION OF BMP STORAGE IN STONE	6
BMP STORAGE REQUIRED (AC-FT)	
BMP STORAGE PROVIDED (AC-FT)	

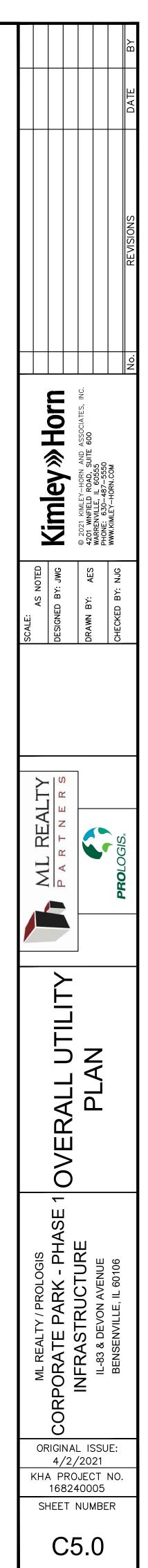


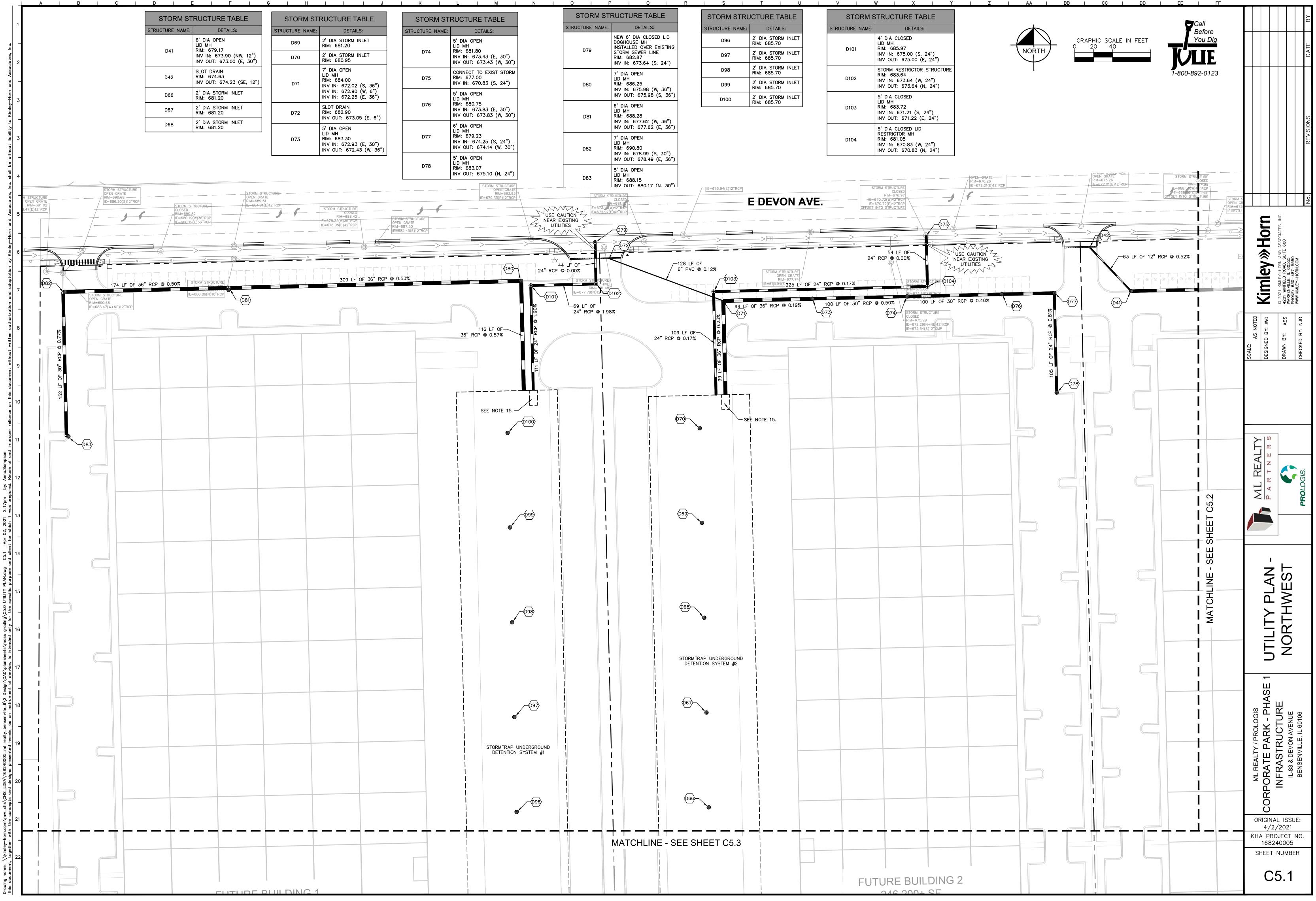


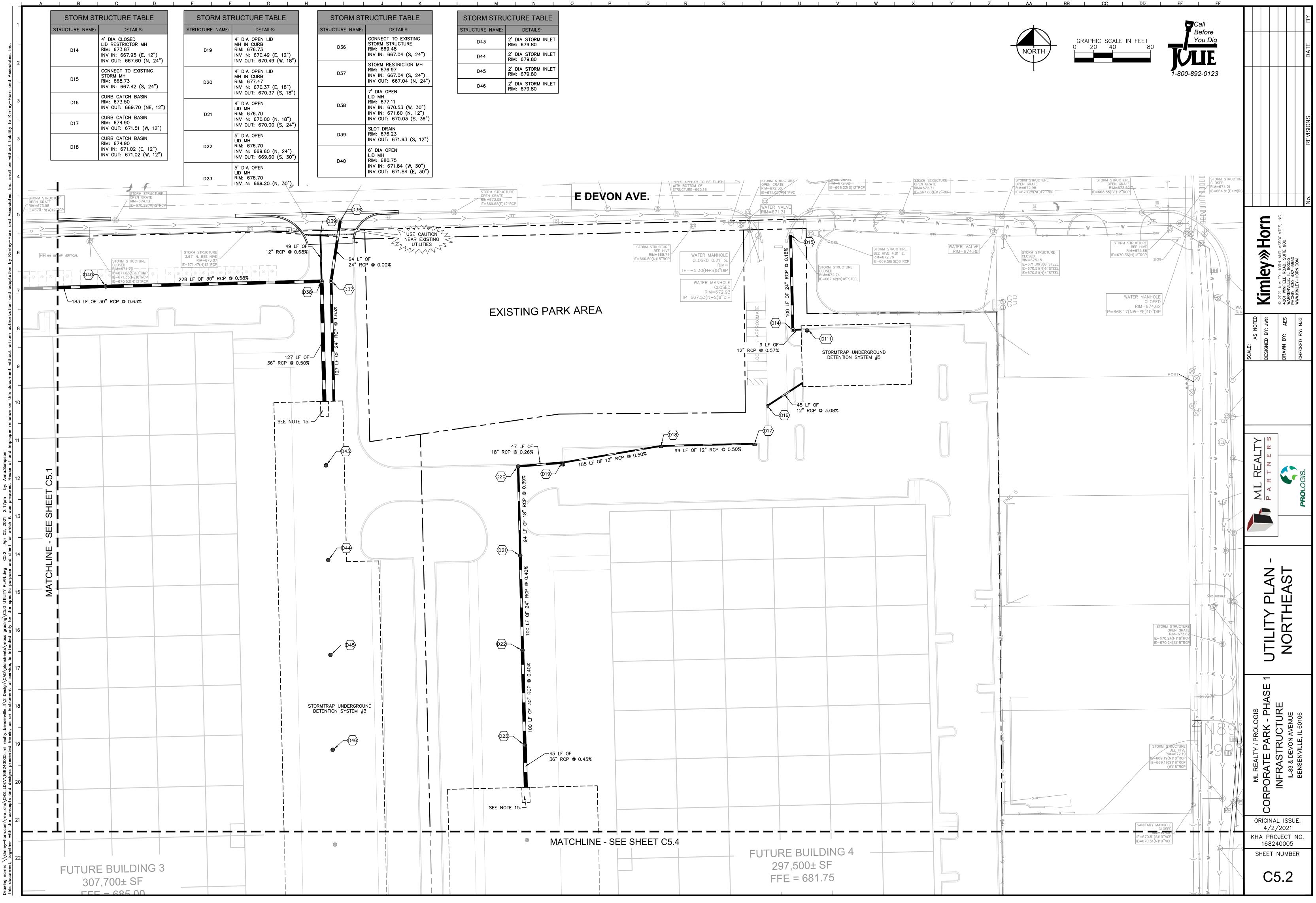


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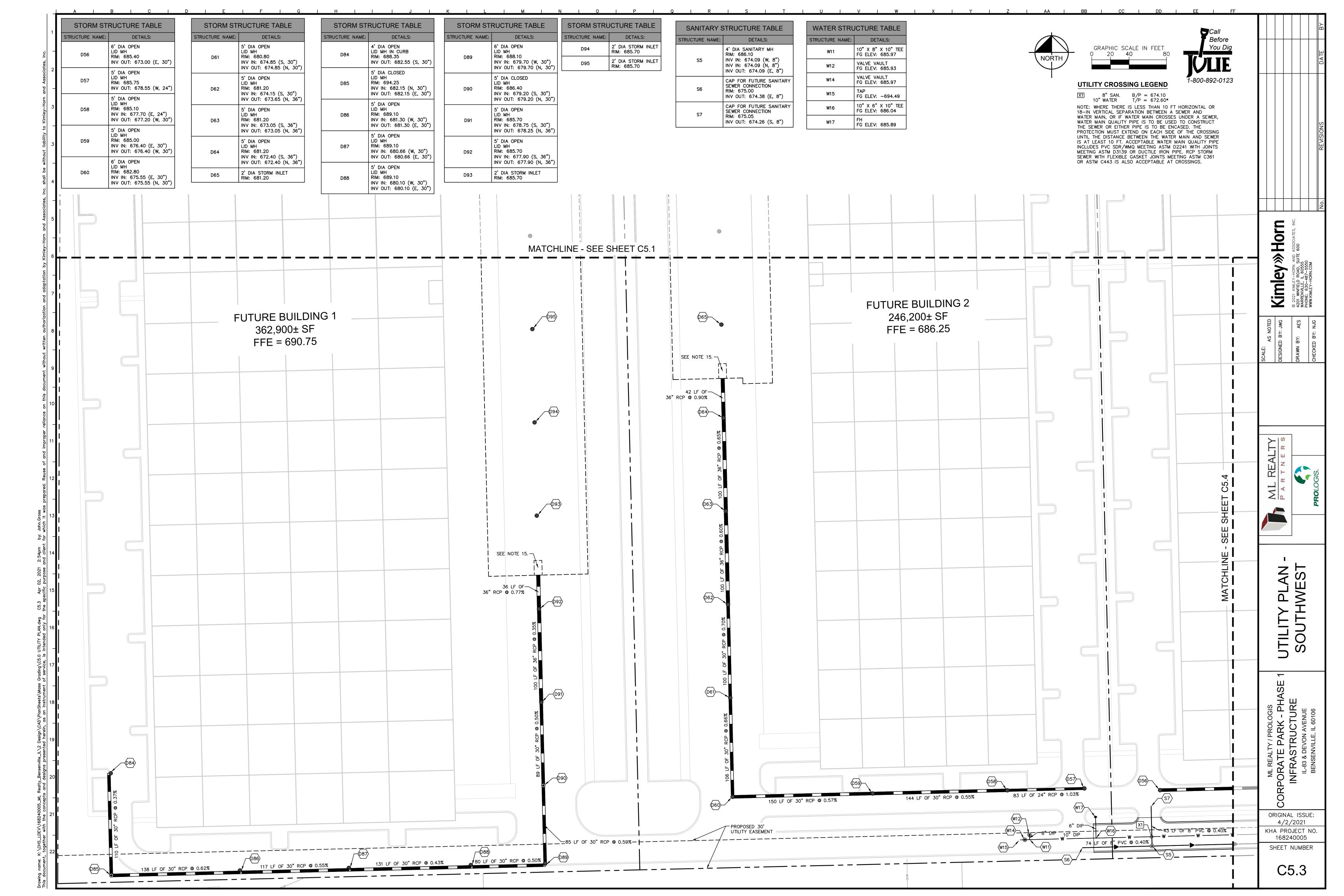


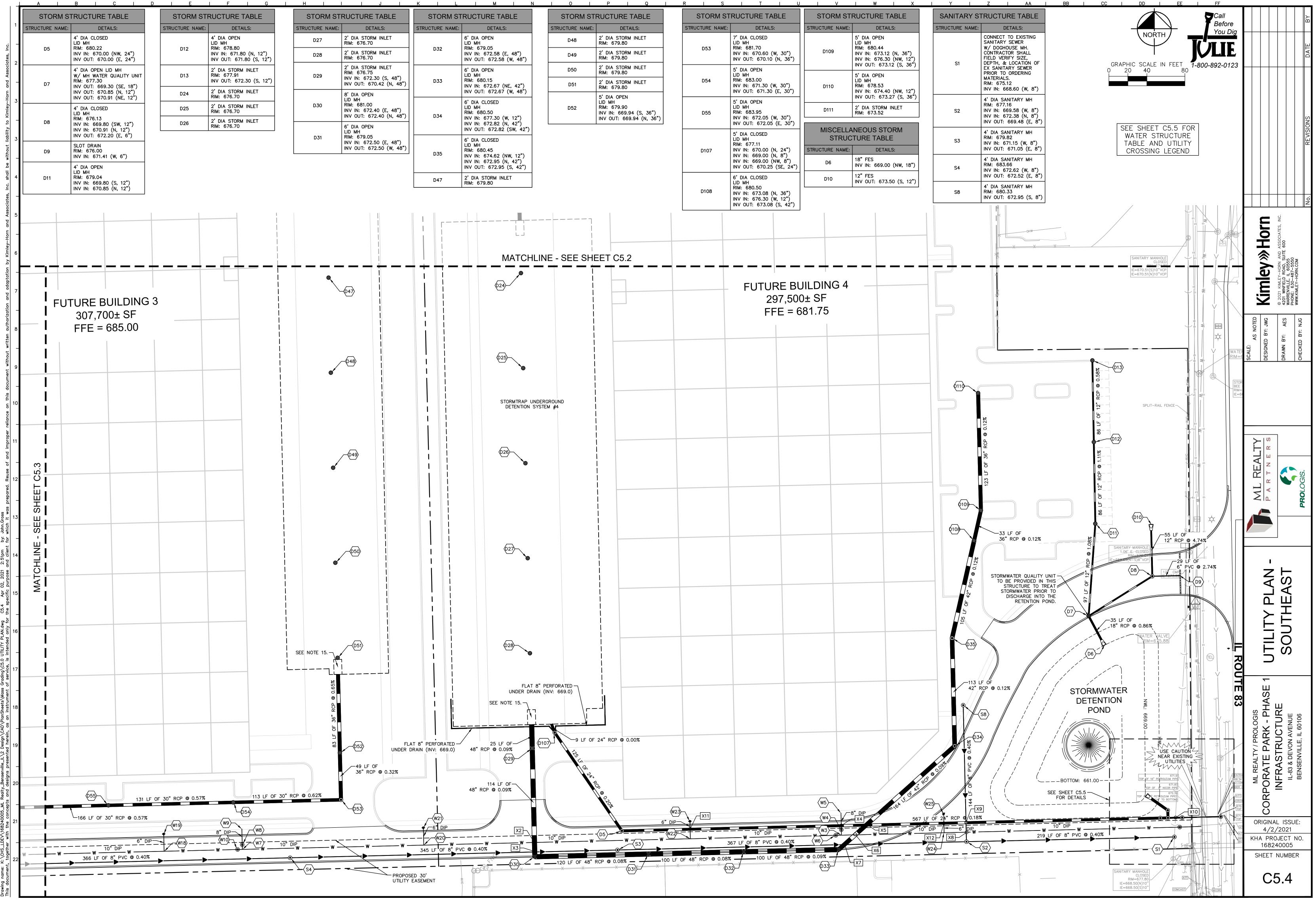






STORM STRU	ICTURE TABLE
STRUCTURE NAME:	DETAILS:
D43	2' DIA STORM INLET RIM: 679.80
D44	2' DIA STORM INLET RIM: 679.80
D45	2' DIA STORM INLET RIM: 679.80
D46	2' DIA STORM INLET RIM: 679.80





WATE	R STR	UCTURE TABLE
STRUCTURE	NAME:	DETAILS:
W1		PRESSURE CONNECT TO EXISTING WATER MAIN FG ELEV: 675.40
W2		VALVE VAULT FG ELEV: 675.40
W3		10" X 8" X 10" TEE FG ELEV: 680.32
W4		VALVE VAULT FG ELEV: 680.39
W5		TAP FG ELEV: 680.72
W6		VALVE VAULT FG ELEV: 680.34
W7		10" X 8" X 10" TEE FG ELEV: 684.11
W8		VALVE VAULT FG ELEV: 684.05
W9		TAP FG ELEV: 683.85
W10		VALVE VAULT FG ELEV: 684.17

WATER STRU	JCTURE TABLE
STRUCTURE NAME:	DETAILS:
W18	10" X 6" X 10" TEE FG ELEV: 685.02
W19	FH FG ELEV: 684.85
W20	10" X 6" X 10" TEE FG ELEV: 681.88
W21	FH FG ELEV: 681.57
W22	10" X 6" X 10" TEE FG ELEV: 679.94
W23	FH FG ELEV: 680.50
W24	10" X 6" X 10" TEE FG ELEV: 678.68
W25	FH FG ELEV: 679.34

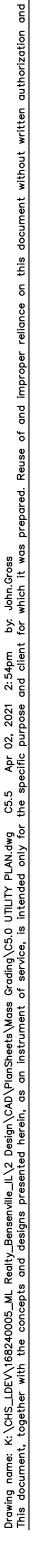
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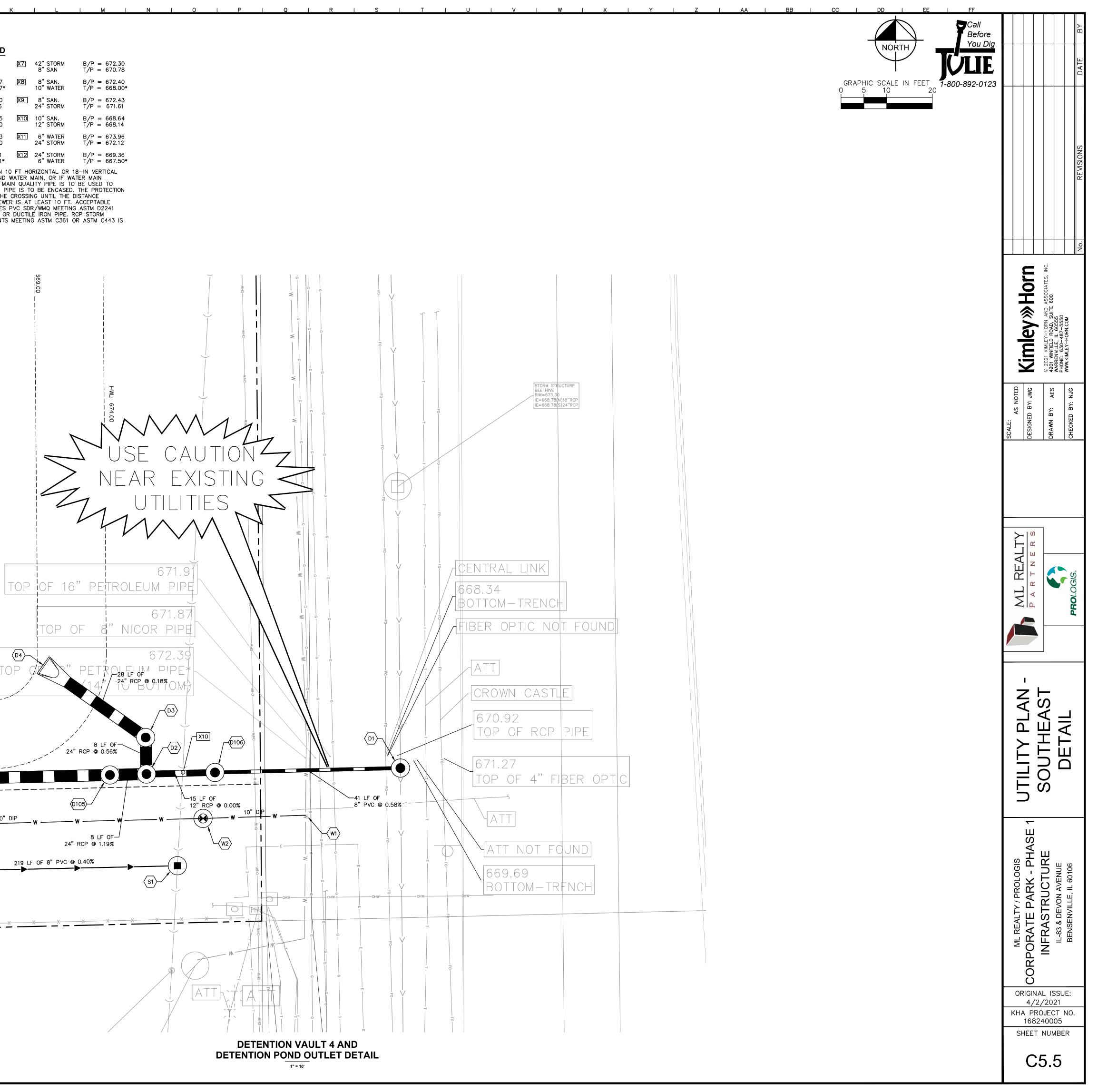
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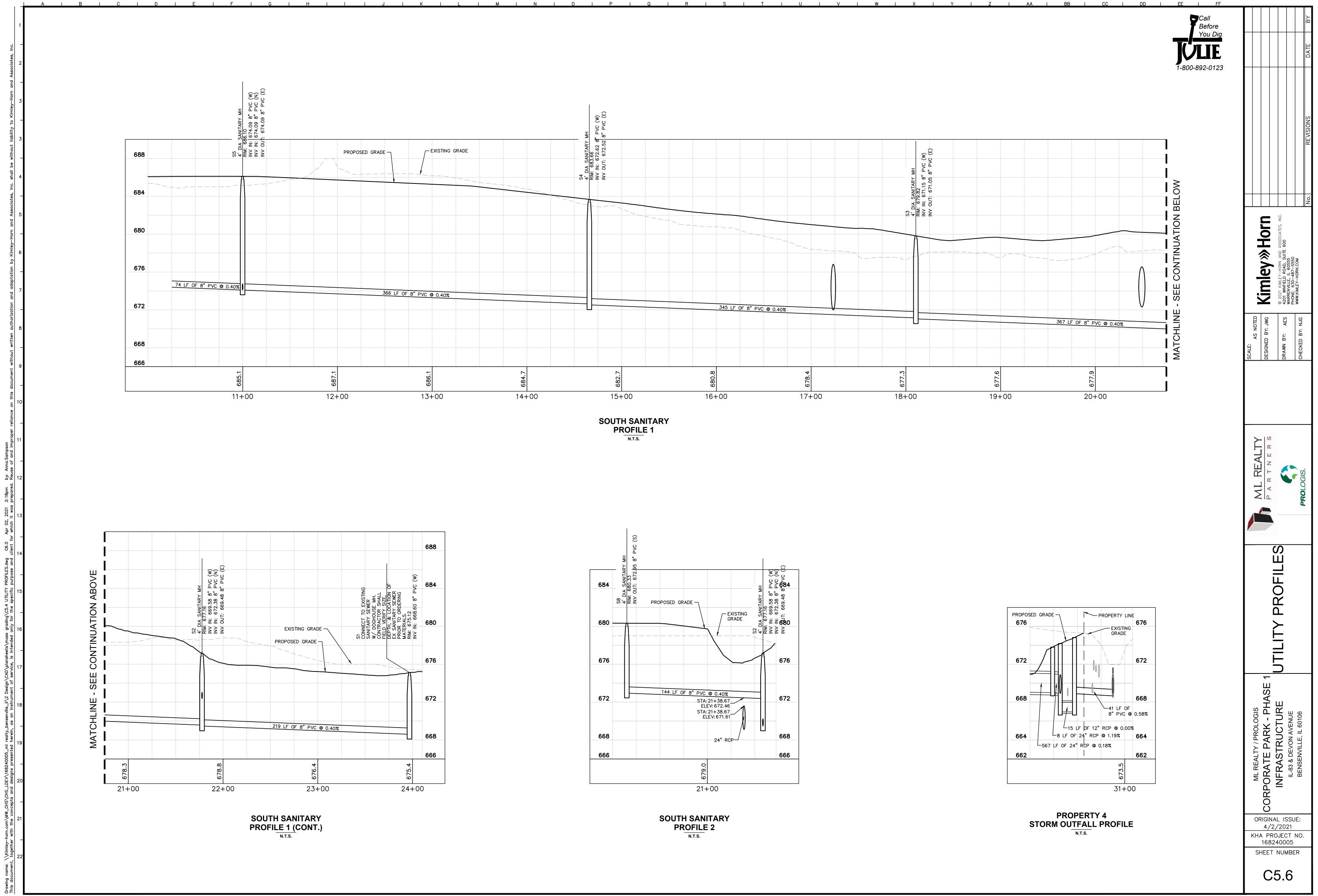
UTILITY	CROSSING	LEGEND

			<u>K7</u>	42 STORM 8" SAN	B/P = 672.30 T/P = 670.78
X2	48" STORM 10" WATER	B/P = 671.97 T/P = 670.47*	<u>X8</u>	8" SAN. 10" WATER	B/P = 672.40 T/P = 668.00*
X3	48" STORM 8" SAN.	B/P = 672.30 T/P = 672.16	<u>X9</u>	8" SAN. 24" STORM	B/P = 672.43 T/P = 671.61
X4	8" WATER 24" STORM	B/P = 673.95 T/P = 671.80	<u>X10</u>	10" SAN. 12" STORM	B/P = 668.64 T/P = 668.14
X5	42" STORM 24" STORM	B/P = 672.33 T/P = 671.80	<u>X11</u>	6" WATER 24" STORM	B/P = 673.96 T/P = 672.12
X6	42" STORM 10" WATER	B/P = 672.31 T/P = 670.81*	X12	24" STORM 6" WATER	B/P = 669.36 T/P = 667.50*
SEF CRC COI MU BE WA WIT SEV	PARATION BETWE OSSES UNDER A NSTRUCT THE SE ST EXTEND ON E TWEEN THE WATE TER MAIN QUALI 'H JOINTS MEETIN	E IS LESS THAN 10 EN A SEWER AND V SEWER, WATER MAI WER OR EITHER PIF ACH SIDE OF THE R MAIN AND SEWEF IY PIPE INCLUDES F IG ASTM D3139 OR LE GASKET JOINTS AT CROSSINGS.	VATER N QUA PE IS T CROSSI R IS A1 PVC SD DUCTIL	MAIN, OR IF WA LITY PIPE IS TO O BE ENCASED. NG UNTIL THE E LEAST 10 FT. R/WMQ MEETING LE IRON PIPE. R	TER MAIN BE USED TO THE PROTECTION DISTANCE ACCEPTABLE ASTM D2241 CCP STORM

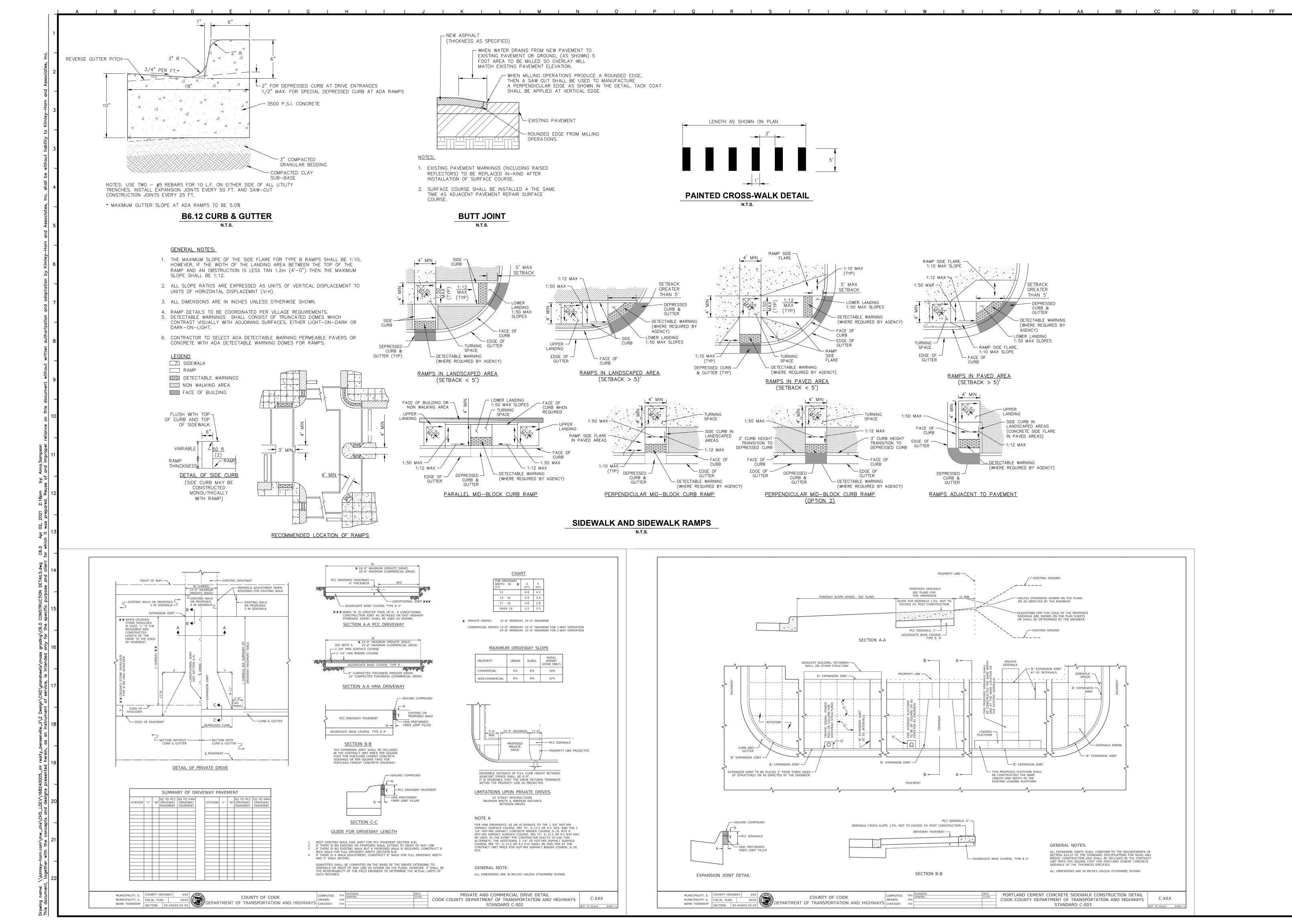
10" DIP

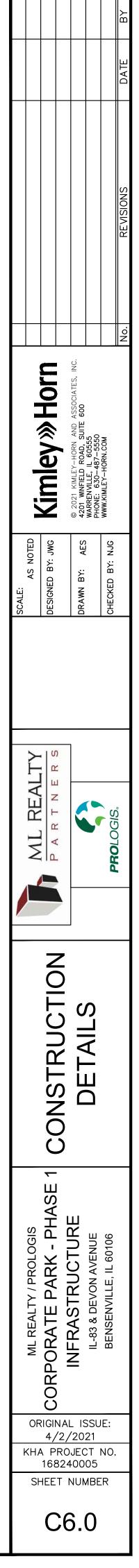


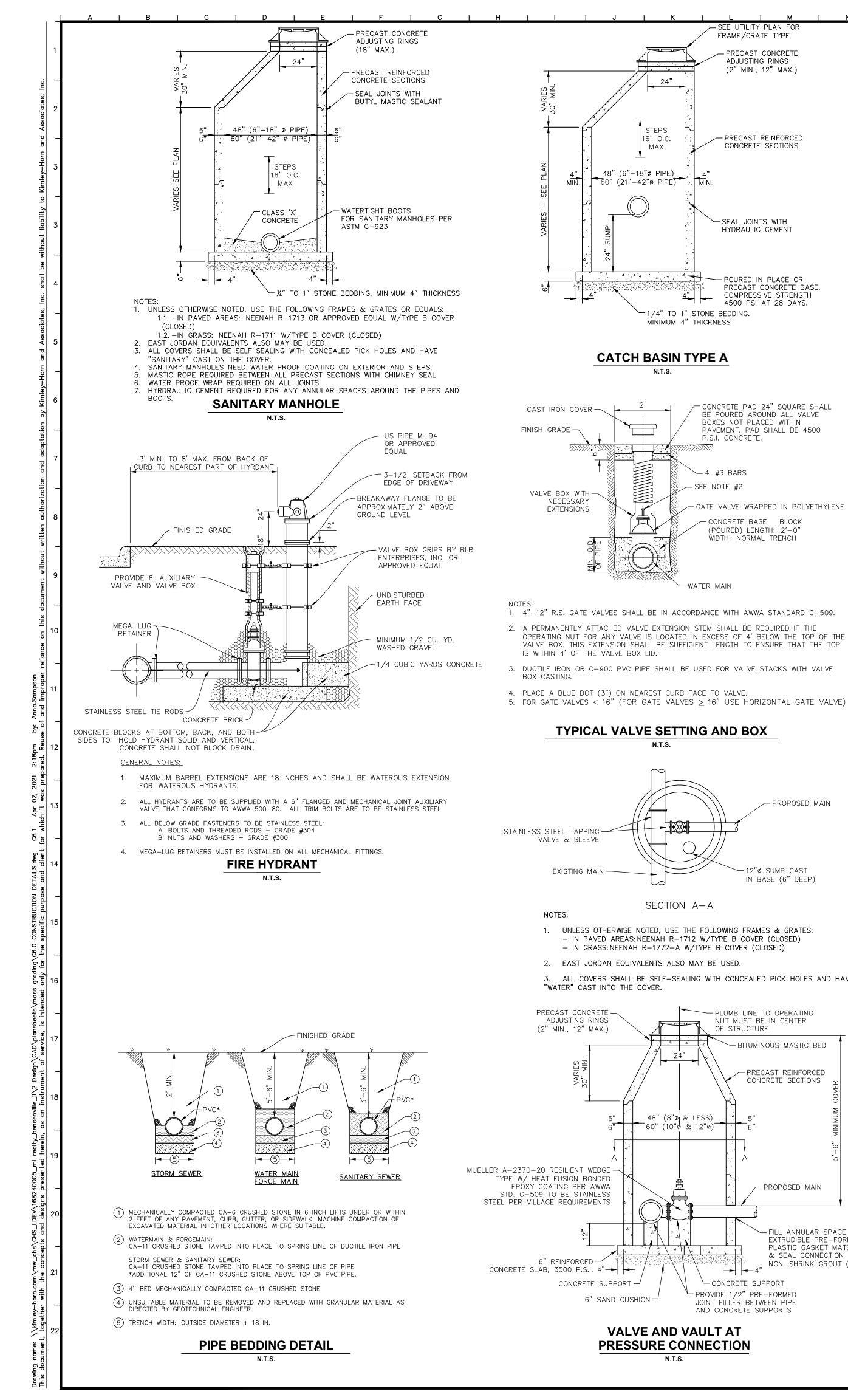




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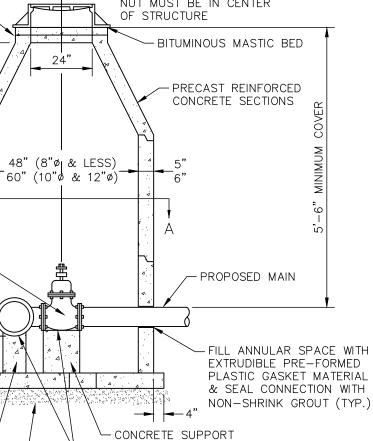


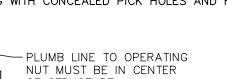




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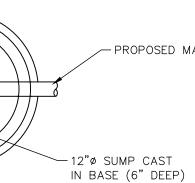
PROVIDE 1/2" PRE-FORMED JOINT FILLER BETWEEN PIPE AND CONCRETE SUPPORTS



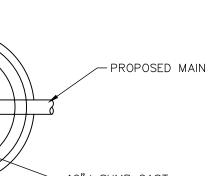


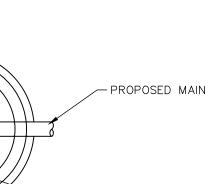
ALL COVERS SHALL BE SELF-SEALING WITH CONCEALED PICK HOLES AND HAVE

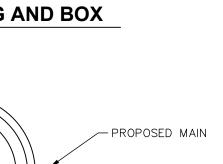
SECTION A-A

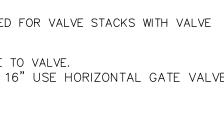


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OPERATING NUT FOR ANY VALVE IS LOCATED IN EXCESS OF 4' BELOW THE TOP OF THE VALVE BOX. THIS EXTENSION SHALL BE SUFFICIENT LENGTH TO ENSURE THAT THE TOP

└── WATER MAIN

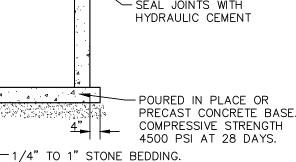
─ 4-#3 BARS - SEE NOTE #2 - GATE VALVE WRAPPED IN POLYETHYLENE - CONCRETE BASE BLOCK

(POURED) LENGTH: 2'-0"

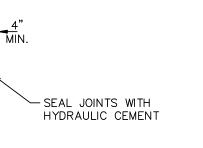
WIDTH: NORMAL TRENCH

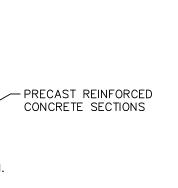
BE POURED AROUND ALL VALVE BOXES NOT PLACED WITHIN PAVEMENT. PAD SHALL BE 4500 P.S.I. CONCRETE.

- CONCRETE PAD 24" SQUARE SHALL



- SEAL JOINTS WITH





SEE UTILITY PLAN FOR

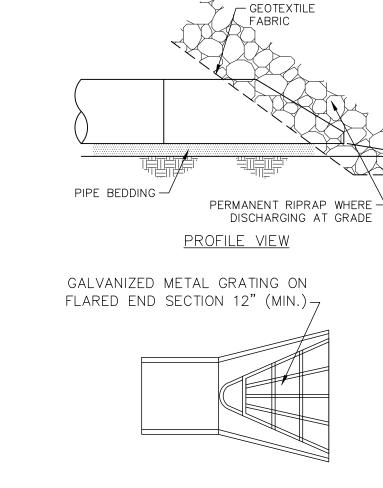
PRECAST CONCRETE

ADJUSTING RINGS

(2" MIN., 12" MAX.)

24"

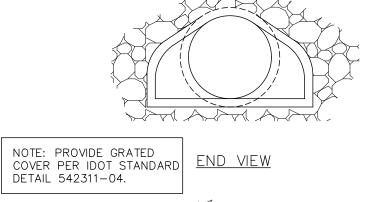
FRAME/GRATE TYPE

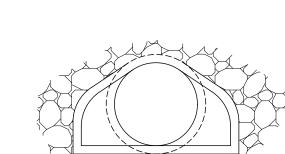


<u>plan view</u>

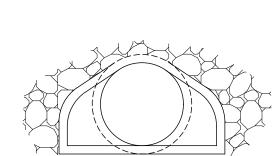
FLARED END SECTION

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CURB OPEN STRUCTURES



NOTE: WHERE THE DISTANCE FROM THE TOP OF STORM PIPE TO RIM

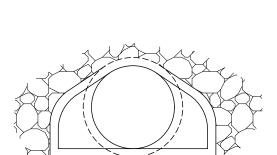
ELEVATIONS EXCEED 4', INSTALL UNDERDRAIN INVERT AT 3' BELOW RIM

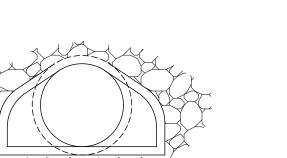
UNDERDRAIN DETAIL

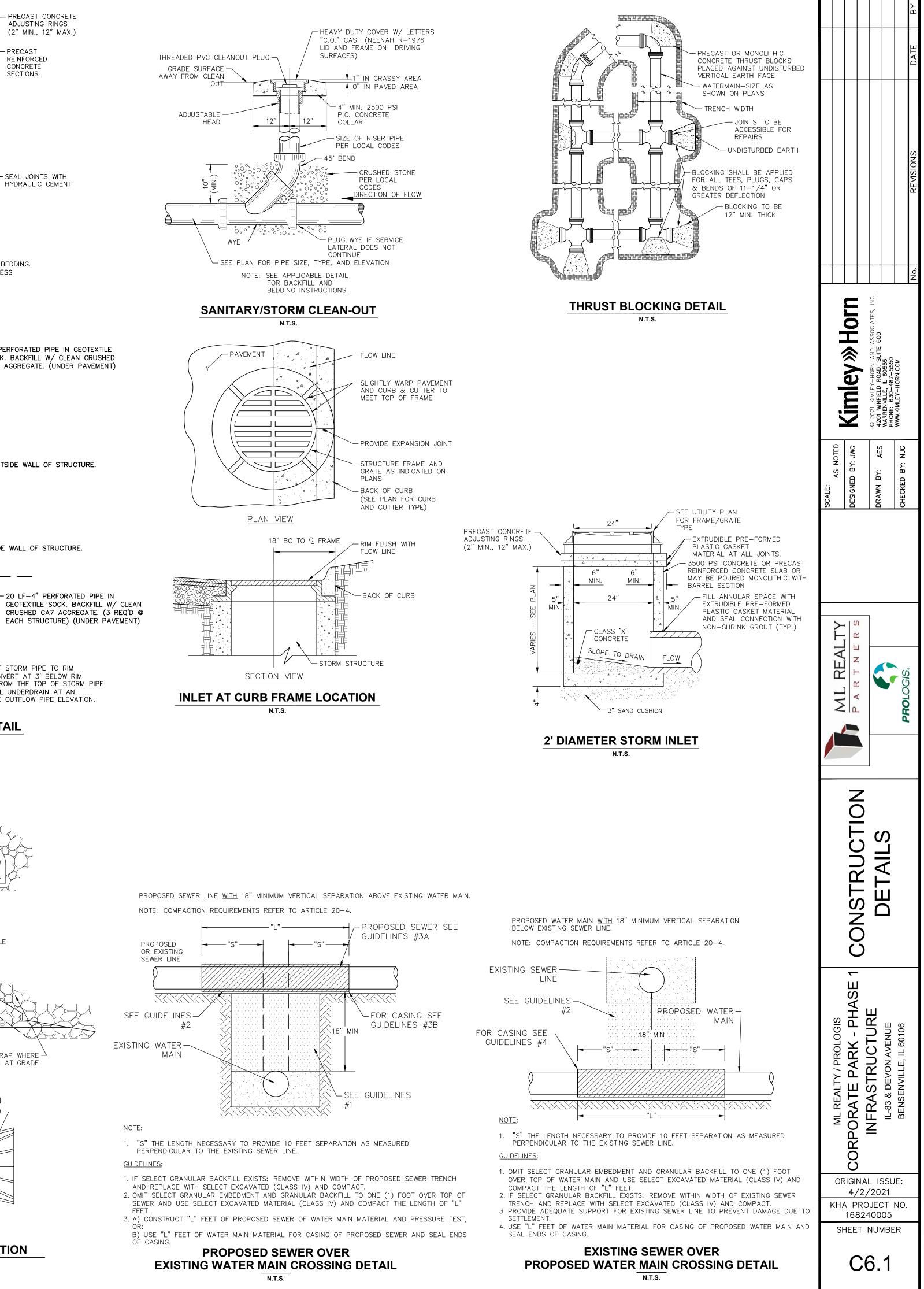
NLT.S.

ELEVATION. IN AREAS WHERE THE DISTANCE FROM THE TOP OF STORM PIPE TO RIM ELEVATIONS ARE LESS THAN 4', INSTALL UNDERDRAIN AT AN

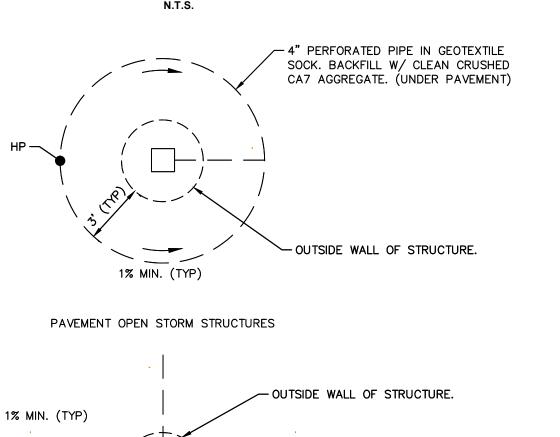
ELEVATION AT THE STRUCTURE THAT IS AT THE OUTFLOW PIPE ELEVATION.



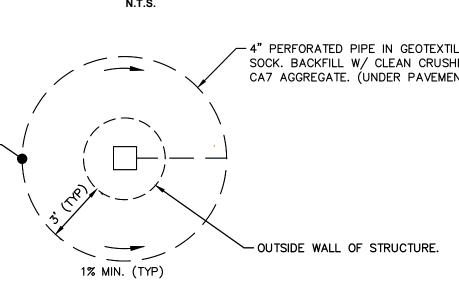


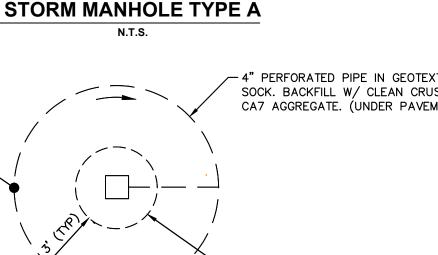


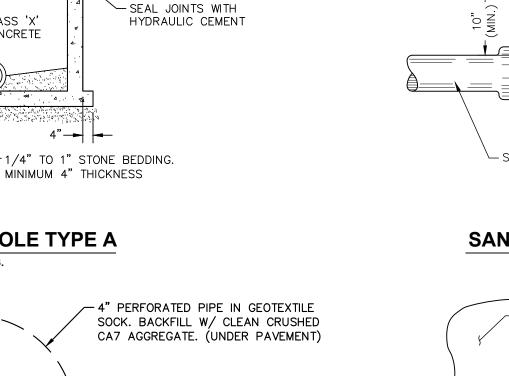
<u>NOTE</u>:

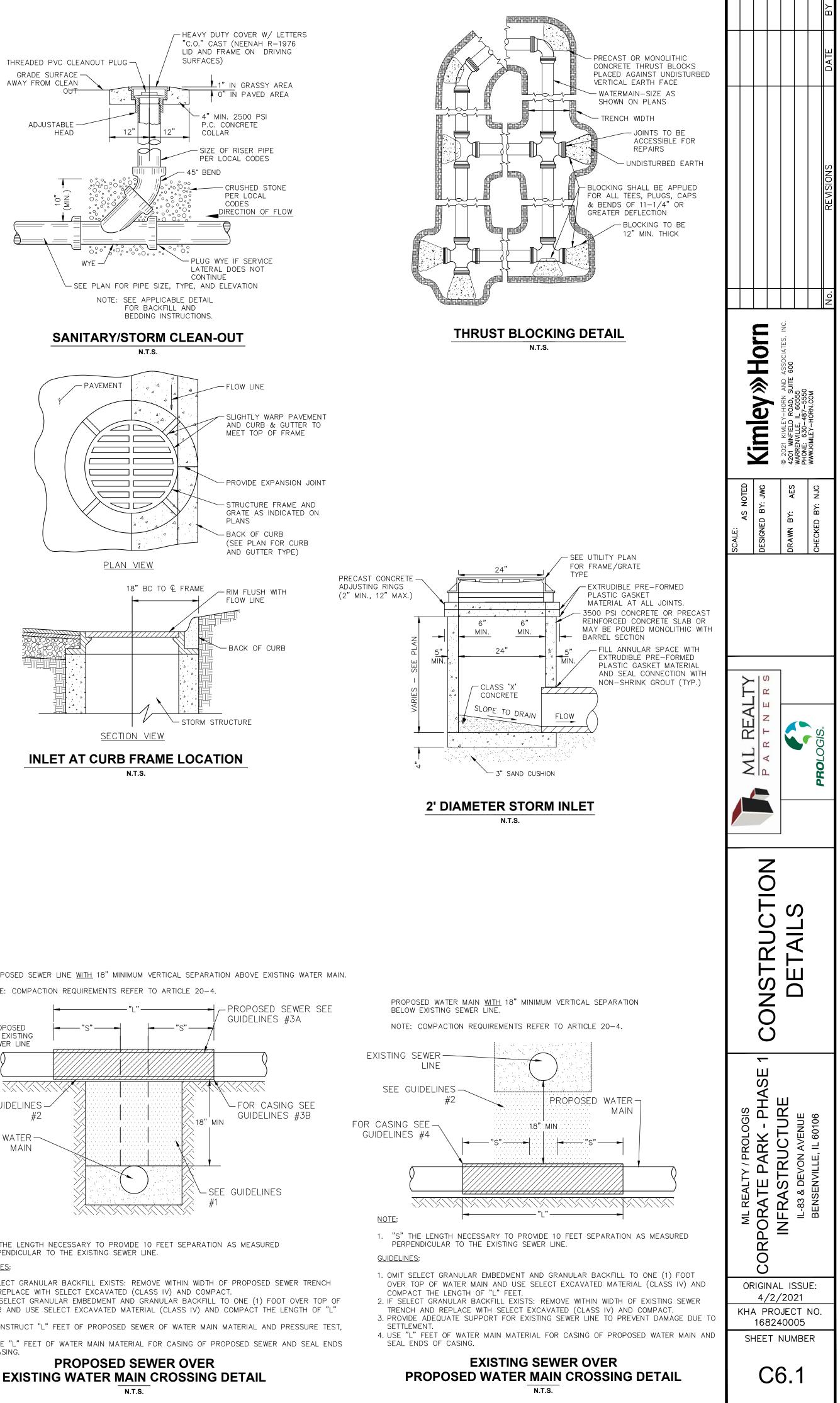


-20 LF-4" PERFORATED PIPE IN

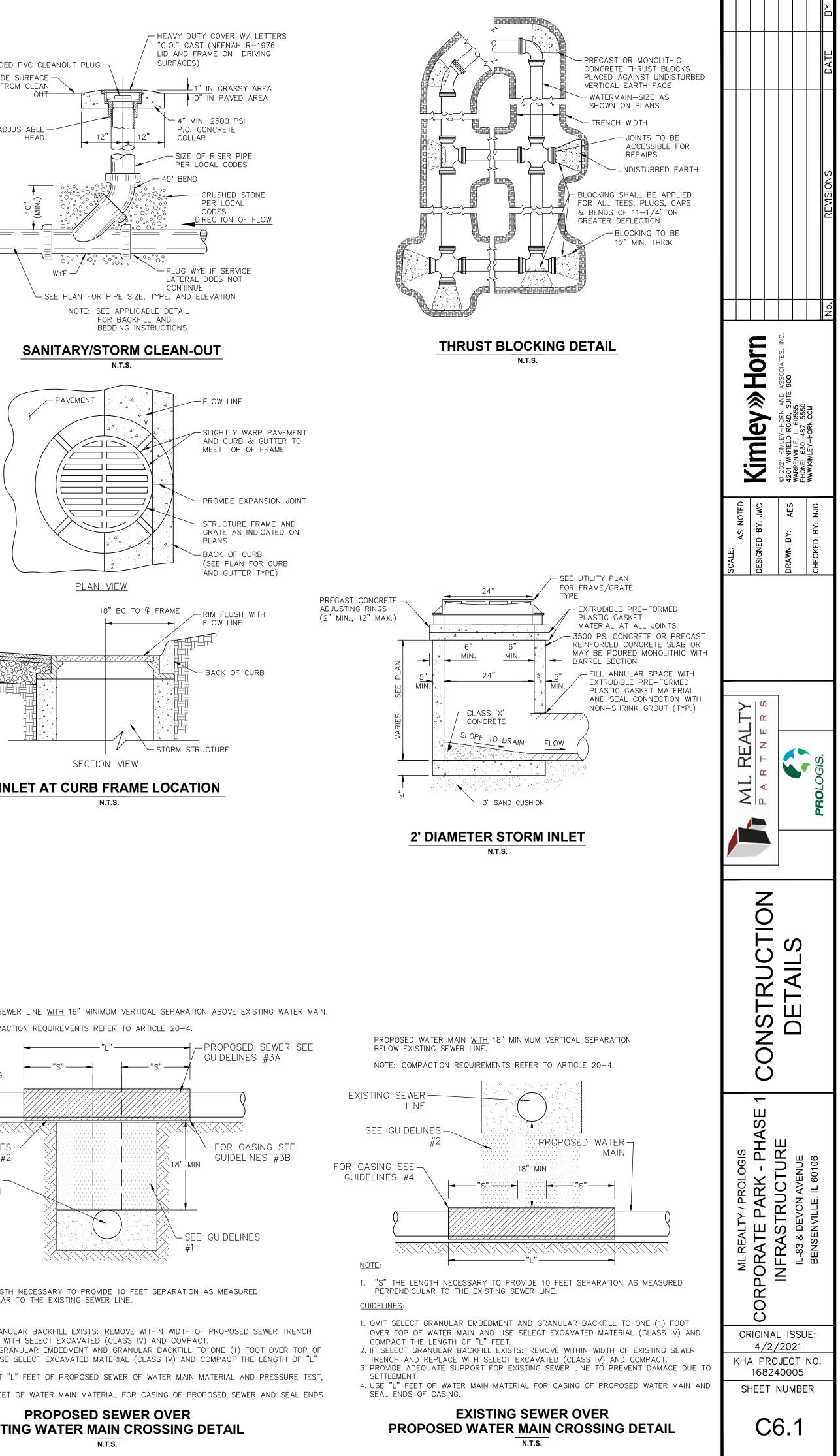


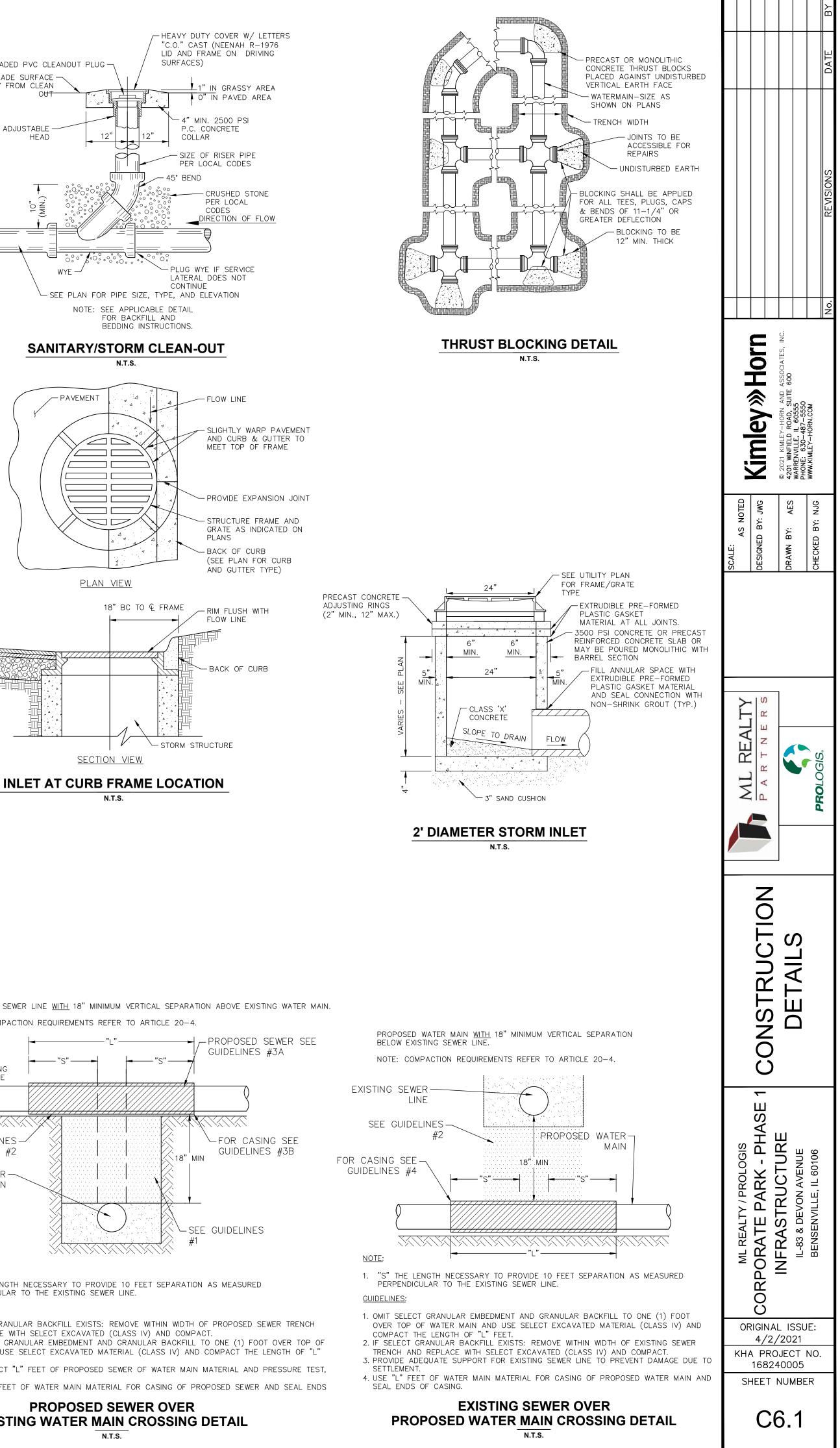


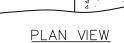


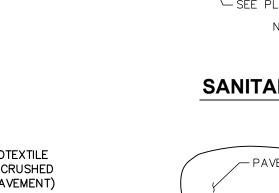


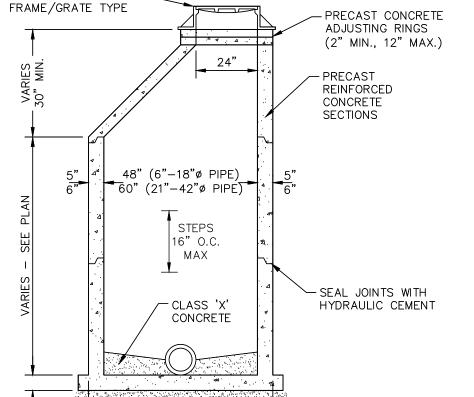
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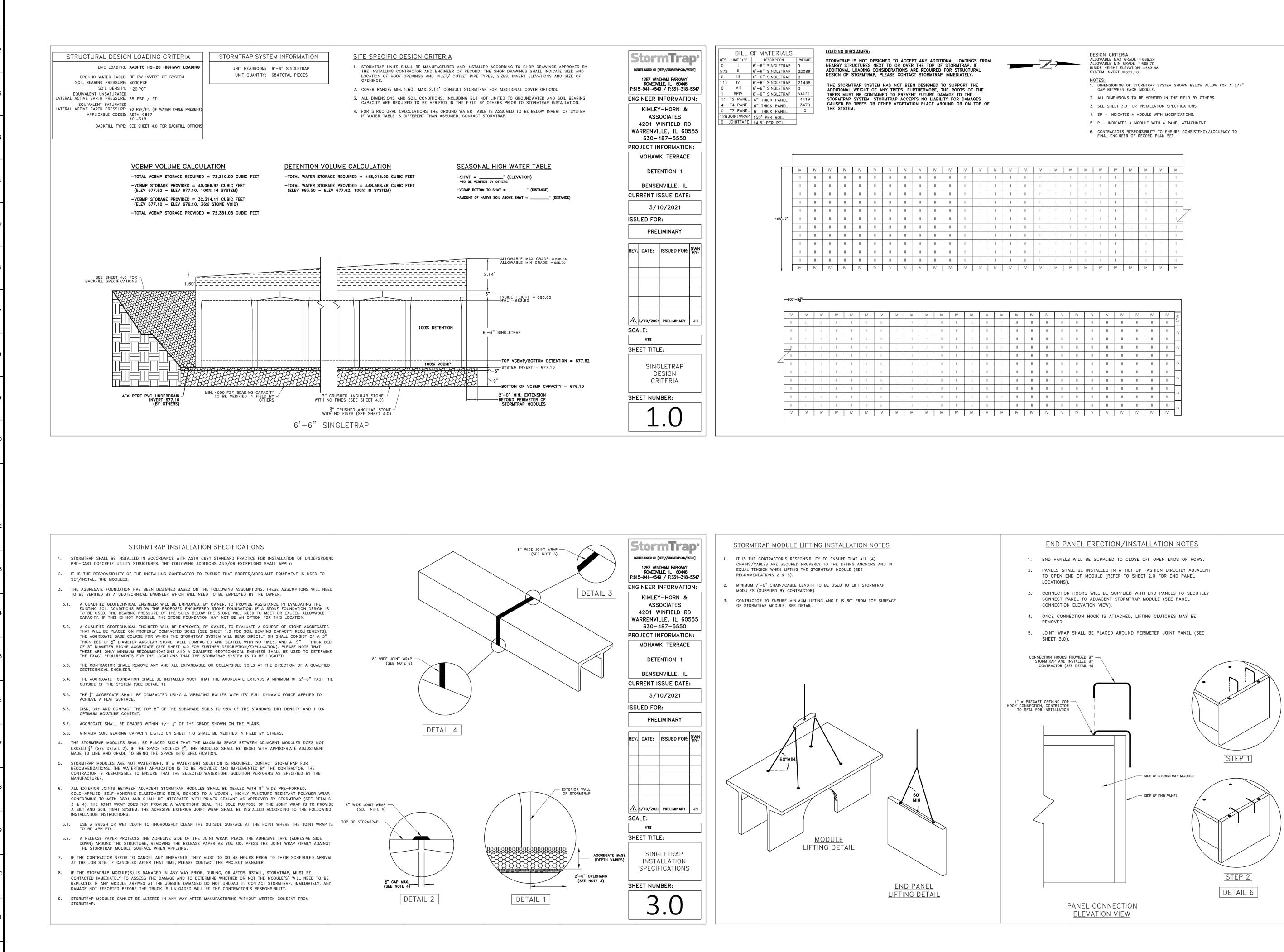








SEE UTILITY PLAN FOR -



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StormTrap[•]

PATENTS LISTED AT: [HTTP://STORMTRAP.COM/PATE

1287 WINDHAM PARKWAY ROMEOVILLE, IL 60446

P:815-941-4549 / F:331-318-5347

ENGINEER INFORMATION:

KIMLEY-HORN &

ASSOCIATES

4201 WINFIELD RD

WARRENVILLE, IL 60555

630-487-5550

MOHAWK TERRACE

DETENTION 1

BENSENVILLE, IL

3/10/2021

PRELIMINARY

REV. DATE: ISSUED FOR: DWN

1 3/10/2021 PRELIMINARY

SINGLETRAP

INSTALLATION

SPECIFICATIONS

SCALE:

NTS

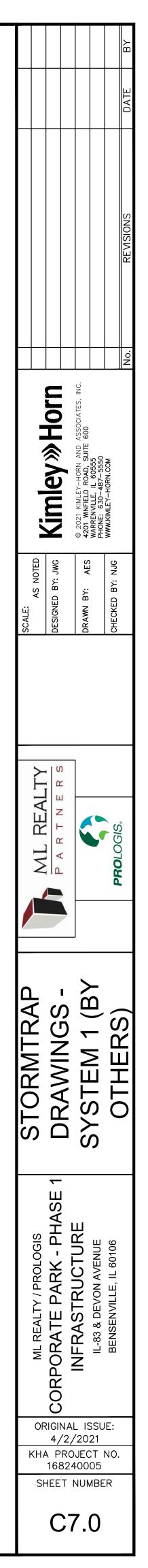
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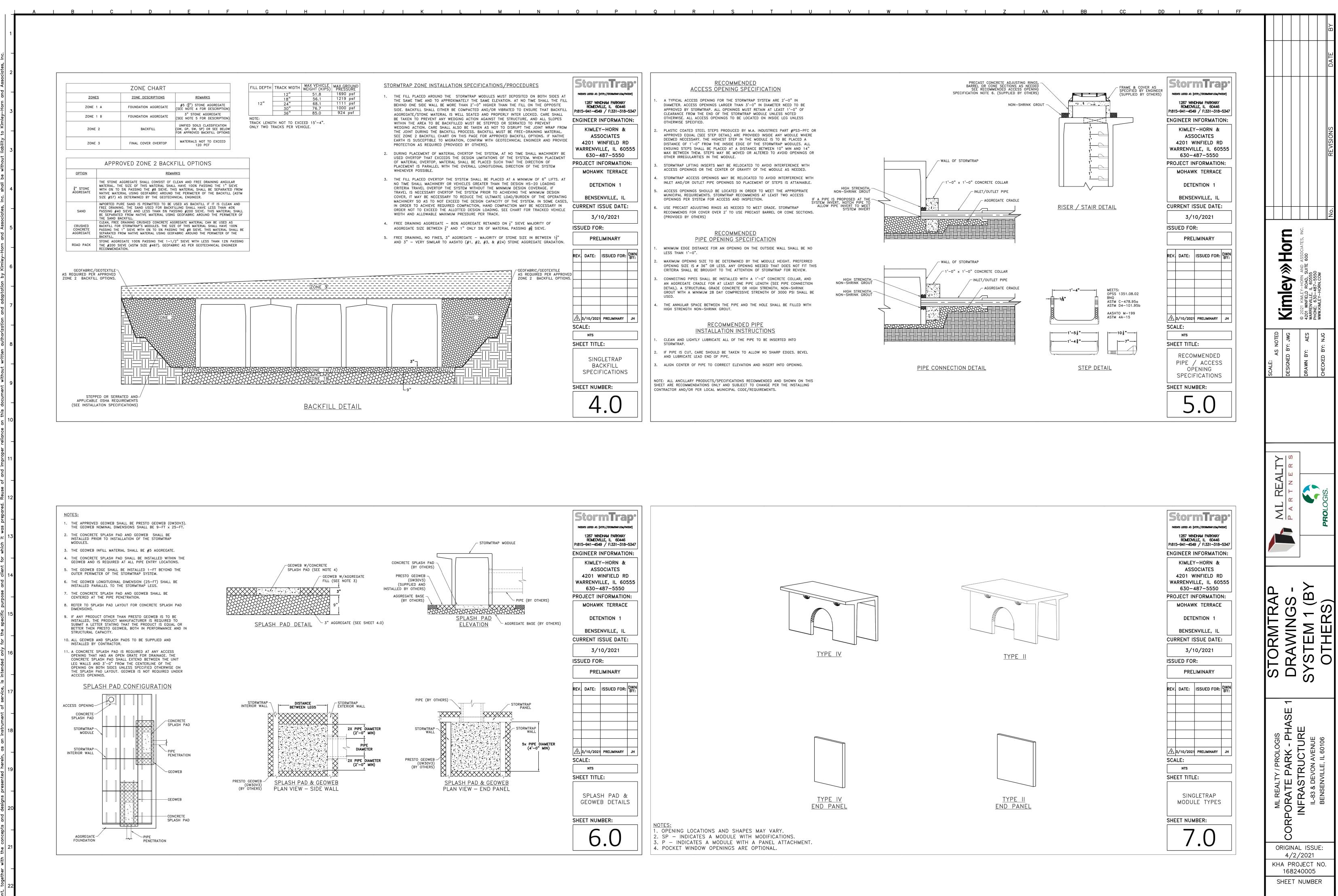
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CURRENT ISSUE DATE:

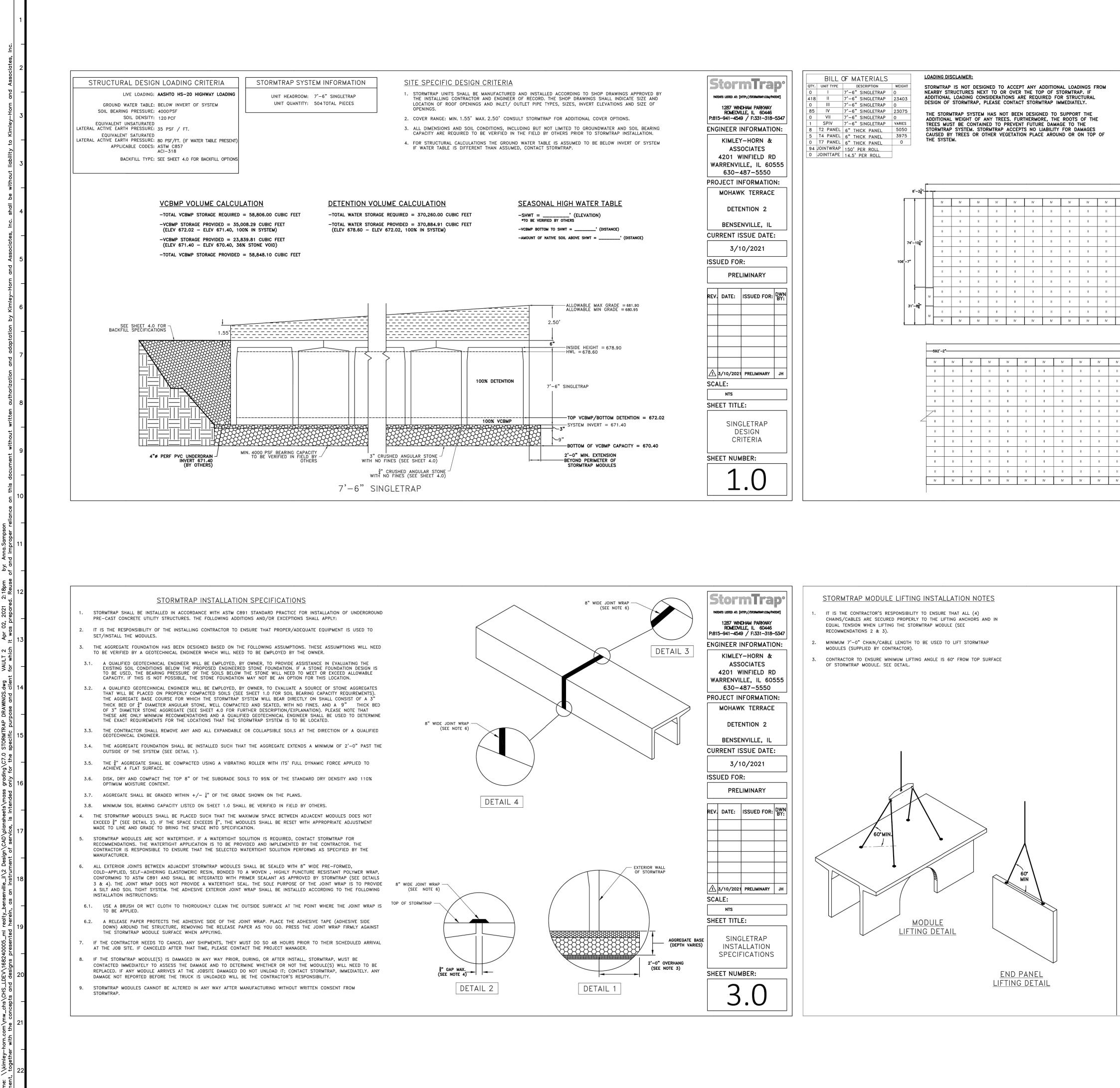
ISSUED FOR:

PROJECT INFORMATION:





C7.1



0	1	7'-6" SINGLETRAP	0
418	11	7'-6" SINGLETRAP	23403
0	III	7'-6" SINGLETRAP	0
85	IV	7'-6" SINGLETRAP	23075
0	VII	7'-6" SINGLETRAP	0
1	SPIV	7'-6" SINGLETRAP	VARIES
8	T2 PANEL	6" THICK PANEL	5050
5	T4 PANEL	6" THICK PANEL	3975
0	T7 PANEL	6" THICK PANEL	0
94	JOINTWRAP	150' PER ROLL	
0	JOINTTAPE	14.5' PER ROLL]

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DESIGN CRITERIA ALLOWABLE MAX GRADE = 681.90 ALLOWABLE MIN GRADE = 680.95 INSIDE HEIGHT ELEVATION = 678.90 SYSTEM INVERT = 671.40

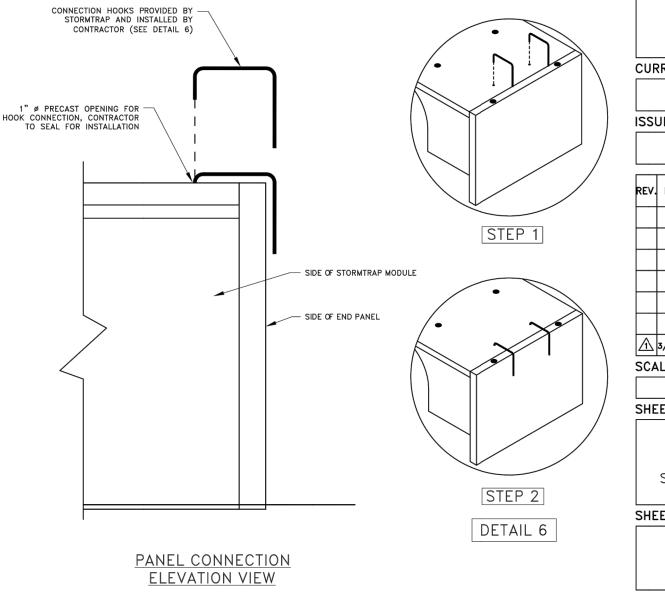
- NOTES: DIMENSIONING OF STORMTRAP SYSTEM SHOWN BELOW ALLOW FOR A 3/4" GAP BETWEEN EACH MODULE.
- 2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS.
- 3. SEE SHEET 3.0 FOR INSTALLATION SPECIFICATIONS.
- 4. SP INDICATES A MODULE WITH MODIFICATIONS.

- 5. P INDICATES A MODULE WITH A PANEL ATTACHMENT. 6. CONTRACTORS RESPONSIBILITY TO ENSURE CONSISTENCY/ACCURACY TO
- FINAL ENGINEER OF RECORD PLAN SET.

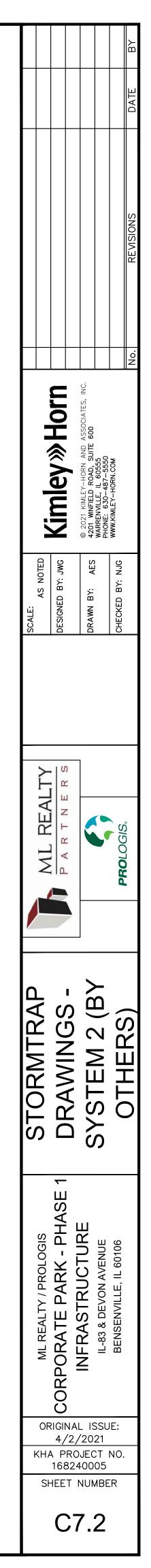
END PANEL ERECTION/INSTALLATION NOTES

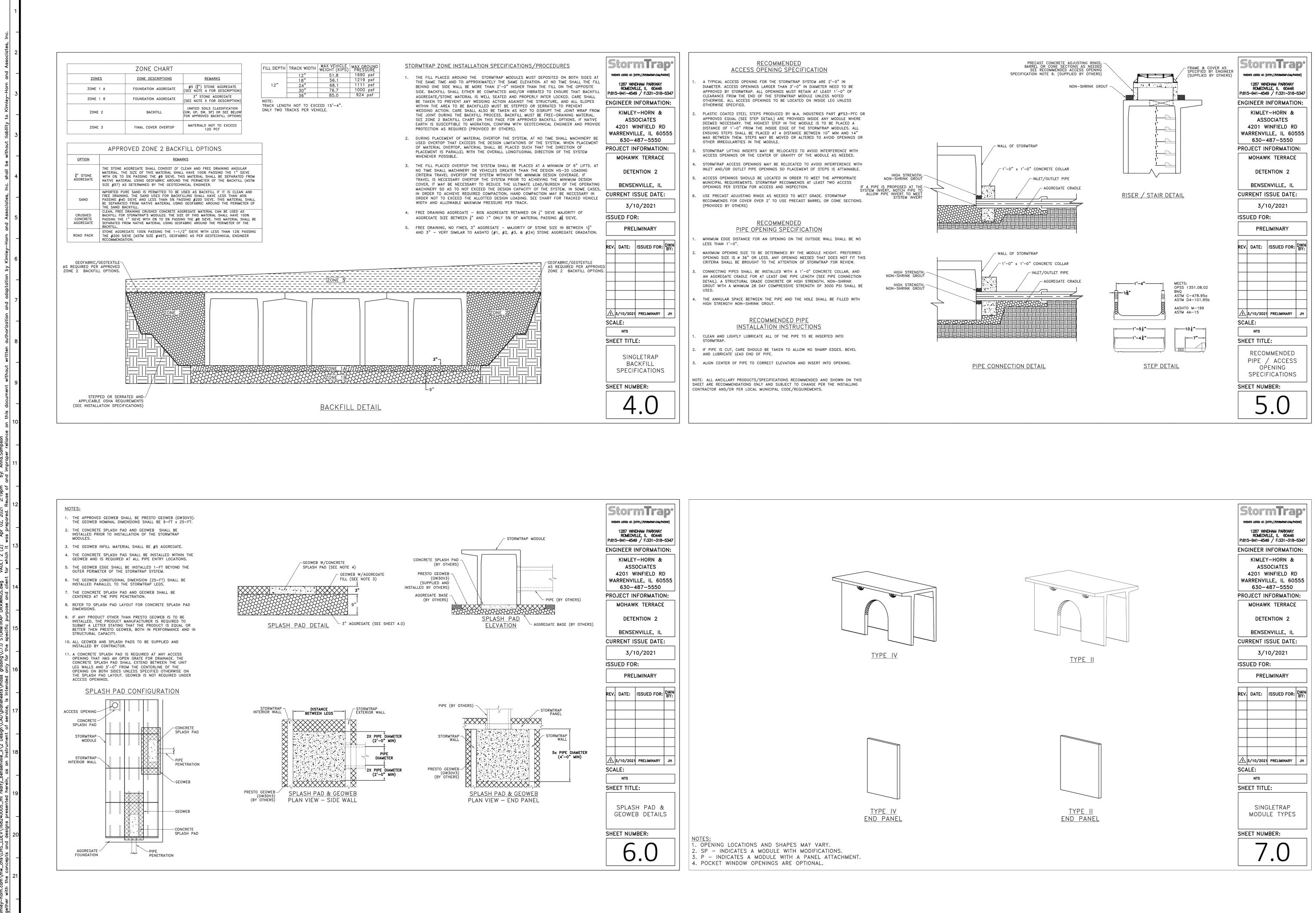
- 1. END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.
- PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL LOCATIONS).
- 3. CONNECTION HOOKS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANEL TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
- 4. ONCE CONNECTION HOOK IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.

5. JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).

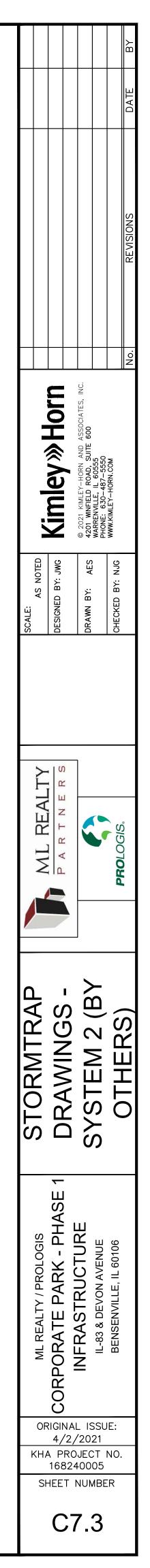


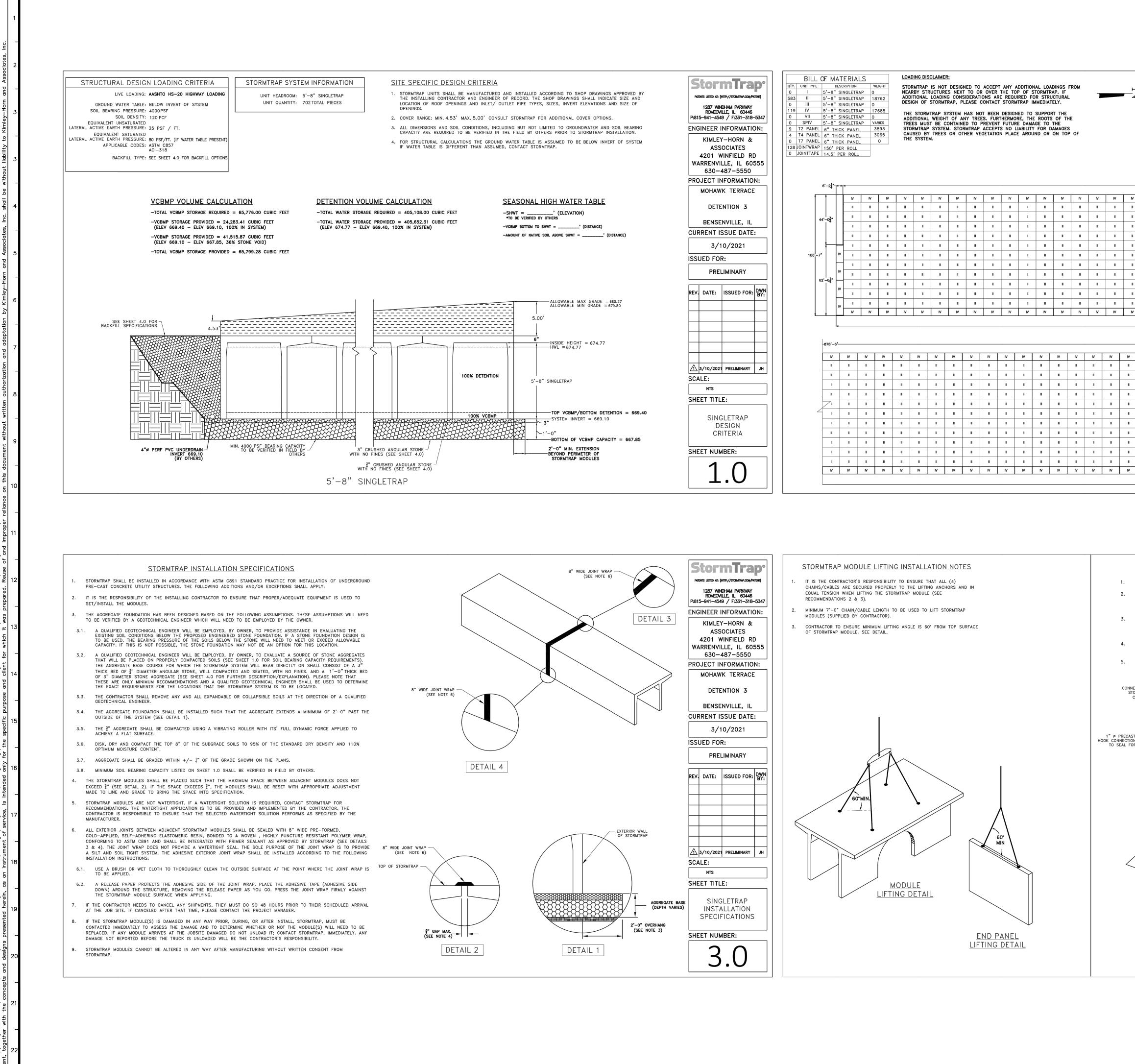
StormTrap [•]
patents listed at: [http://stormitrap.com/patent] 1287 WINDHAM PARKWAY
ROMEOVILLE, IL 60446 P:815-941-4549 / F:331-318-5347
ENGINEER INFORMATION:
ASSOCIATES 4201 WINFIELD RD
WARRENVILLE, IL 60555 630-487-5550
PROJECT INFORMATION:
DETENTION 2
BENSENVILLE, IL
CURRENT ISSUE DATE:
3/10/2021 ISSUED FOR:
PRELIMINARY
REV. DATE: ISSUED FOR: DWN BY:
3/10/2021 PRELIMINARY JH SCALE:
SHEET TITLE:
SINGLETRAP LAYOUT DETAILS
SHEET NUMBER:
2.0
StormTrap* PATENTS LISTED AT: [HTTP://STORMTRAP.COM/PATENT] 1287 WINDHAM PARKWAY ROMEOVILLE, IL 60446 P:815-941-4549 / F:331-318-5347
KIMLEY-HORN & ASSOCIATES 4201 WINFIELD RD
WARRENVILLE, IL 60555 630-487-5550
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DETENTION 2
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PRELIMINARY
REV. DATE: ISSUED FOR: BY:
3/10/2021 PRELIMINARY JH SCALE:
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SHEET TITLE:
SINGLETRAP INSTALLATION SPECIFICATIONS
SHEET NUMBER:





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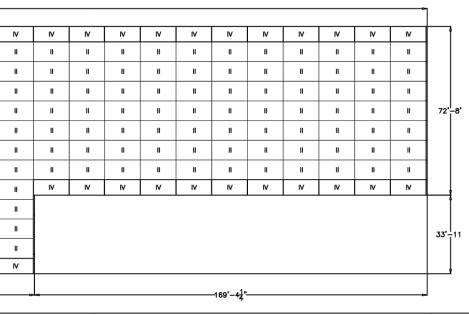
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DESIGN CRITERIA ALLOWABLE MAX GRADE = 680.27 ALLOWABLE MIN GRADE = 679.80 INSIDE HEIGHT ELEVATION = 674.75 SYSTEM INVERT = 650.10 SYSTEM INVERT = 669.10

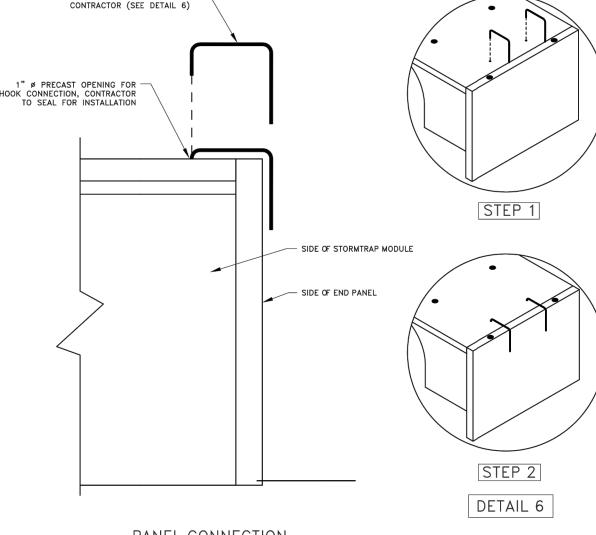
- DIMENSIONING OF STORMTRAP SYSTEM SHOWN BELOW ALLOW FOR A 3/4"
- GAP BETWEEN EACH MODULE. 2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS.
- 3. SEE SHEET 3.0 FOR INSTALLATION SPECIFICATIONS.
- 4. SP INDICATES A MODULE WITH MODIFICATIONS.
- 5. P INDICATES A MODULE WITH A PANEL ATTACHMENT. CONTRACTORS RESPONSIBILITY TO ENSURE CONSISTENCY/ACCURACY TO FINAL ENGINEER OF RECORD PLAN SET.



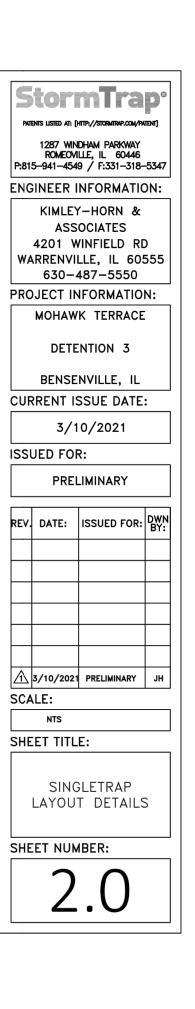
END PANEL ERECTION/INSTALLATION NOTES

- 1. END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS. PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL
- LOCATIONS). 3. CONNECTION HOOKS WILL BE SUPPLIED WITH END PANELS TO SECURELY CONNECT PANEL TO ADJACENT STORMTRAP MODULE (SEE PANEL CONNECTION ELEVATION VIEW).
- 4. ONCE CONNECTION HOOK IS ATTACHED, LIFTING CLUTCHES MAY BE REMOVED.
- 5. JOINT WRAP SHALL BE PLACED AROUND PERIMETER JOINT PANEL (SEE SHEET 3.0).

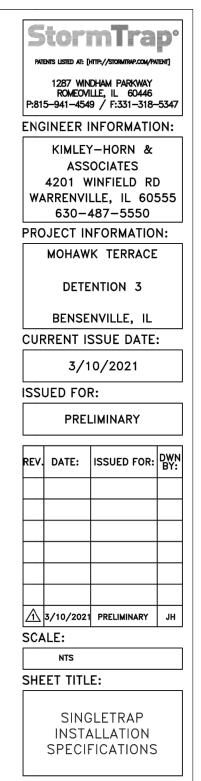
CONNECTION HOOKS PROVIDED BY STORMTRAP AND INSTALLED BY

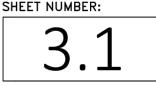


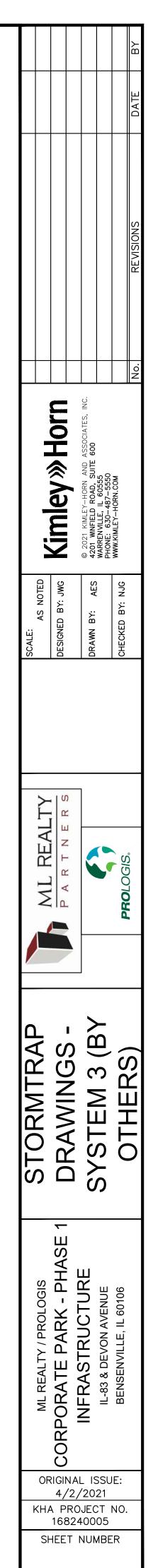
PANEL CONNECTION ELEVATION VIEW



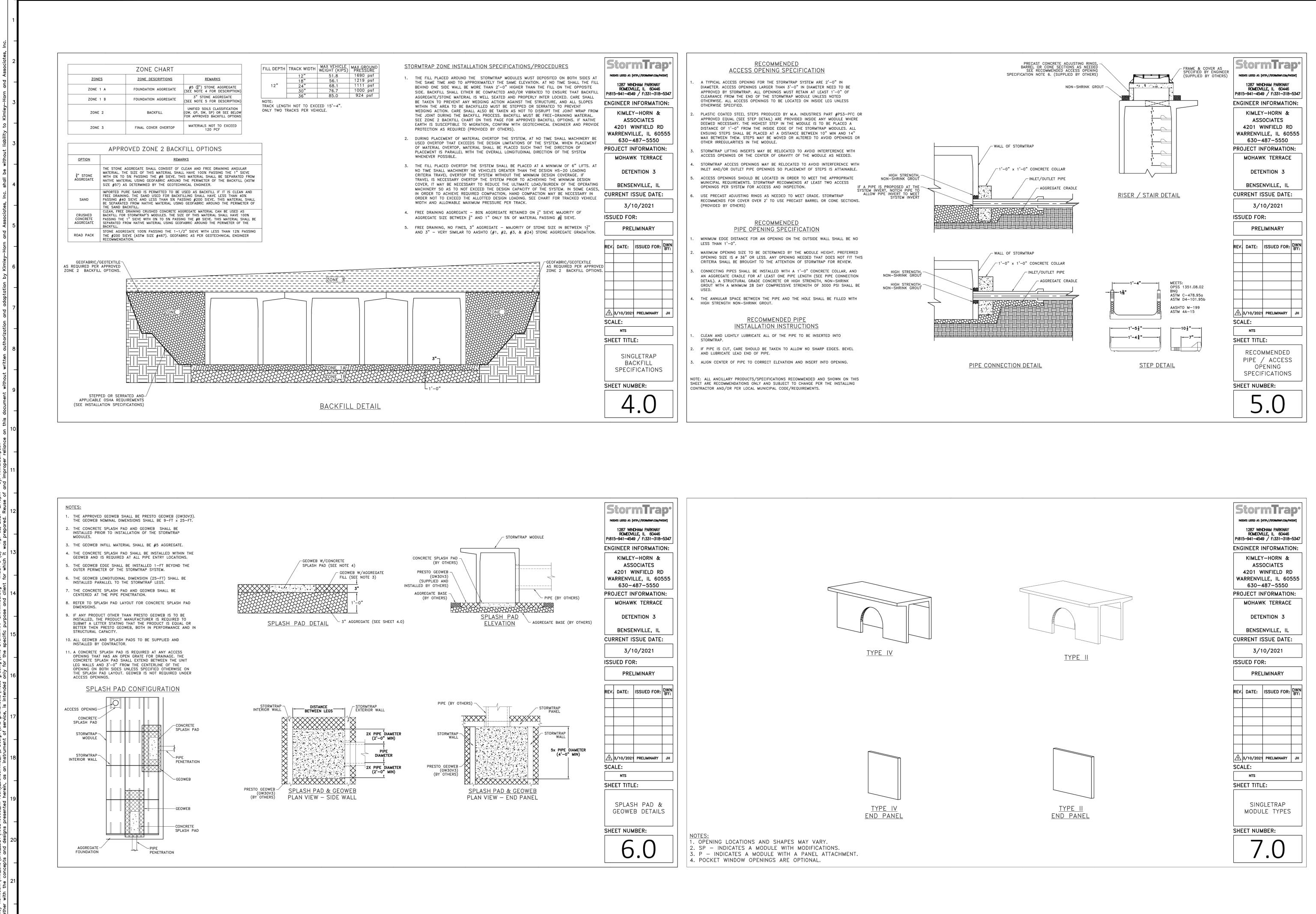
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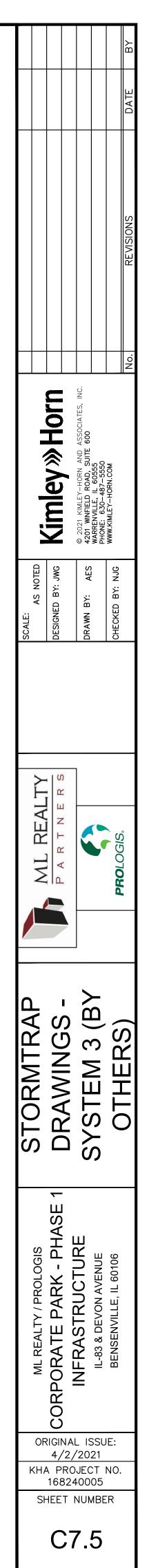


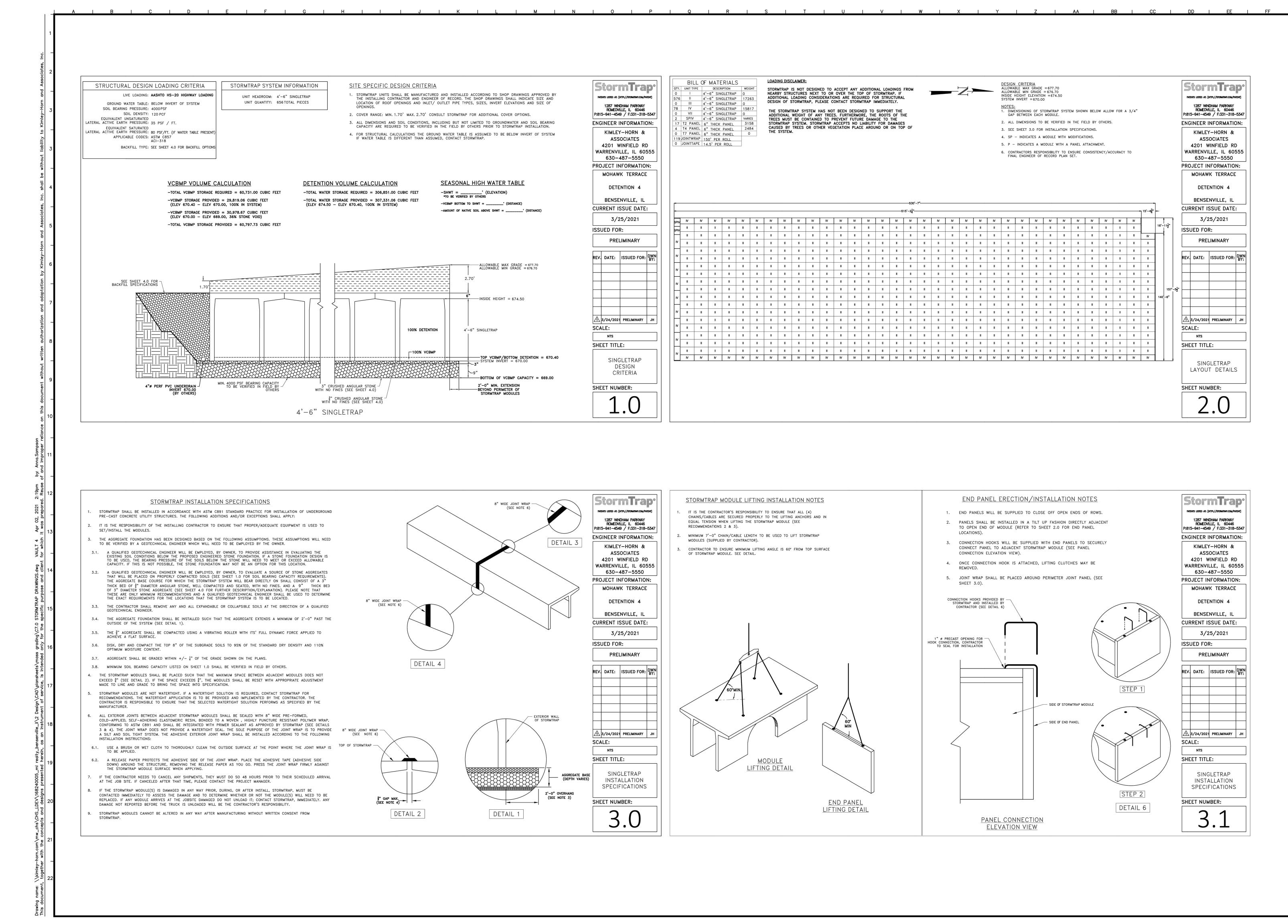
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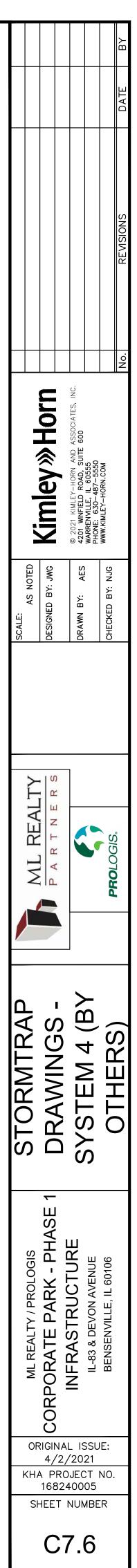


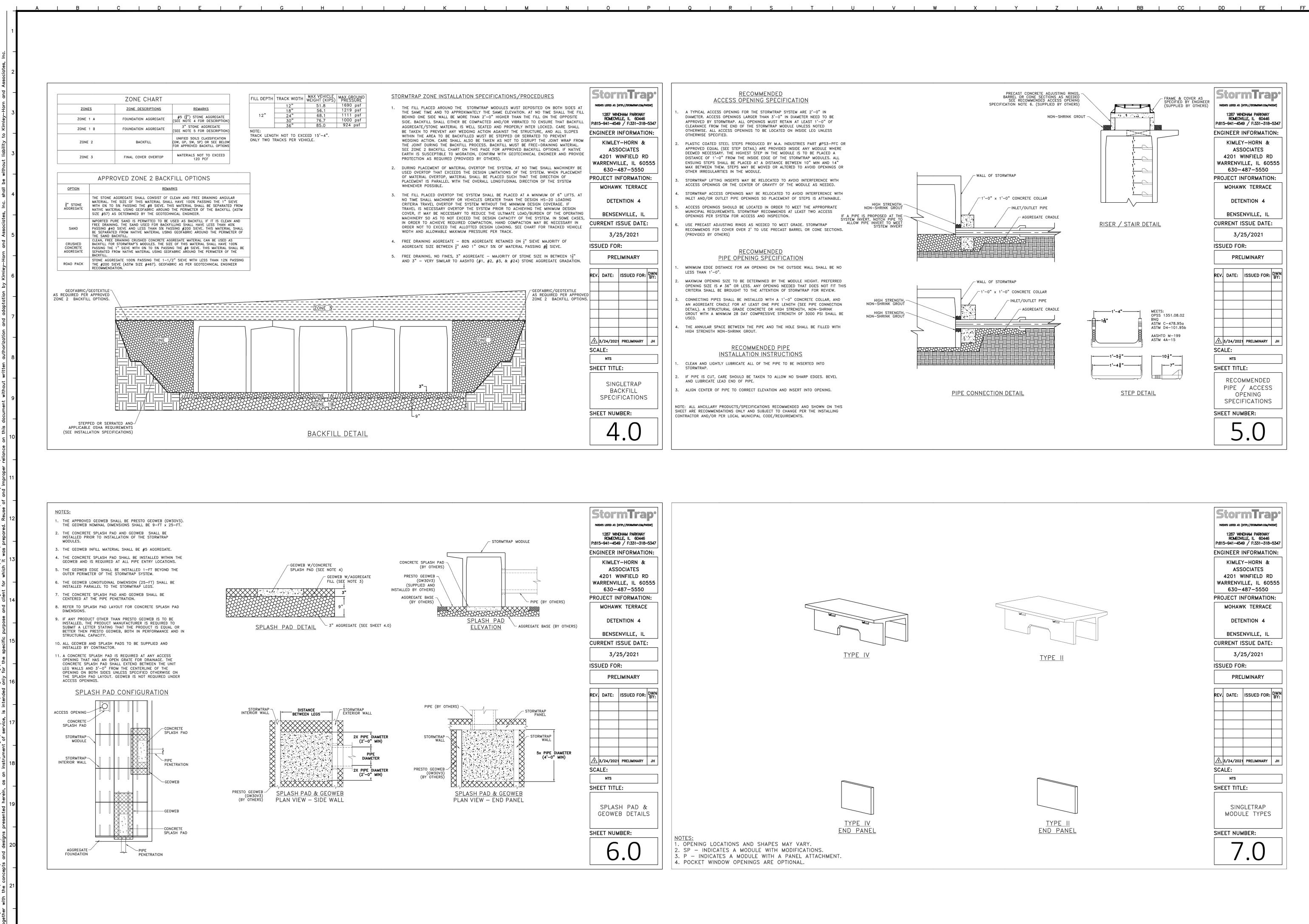
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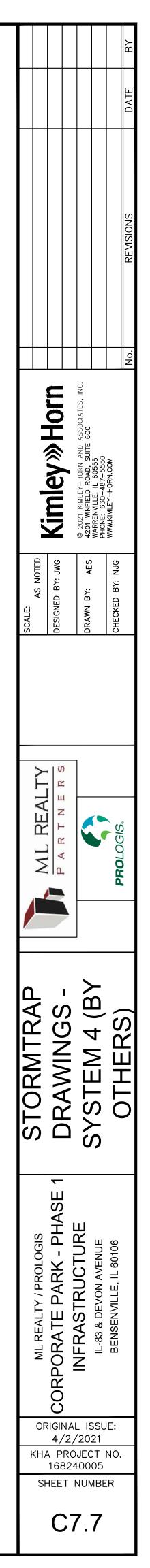
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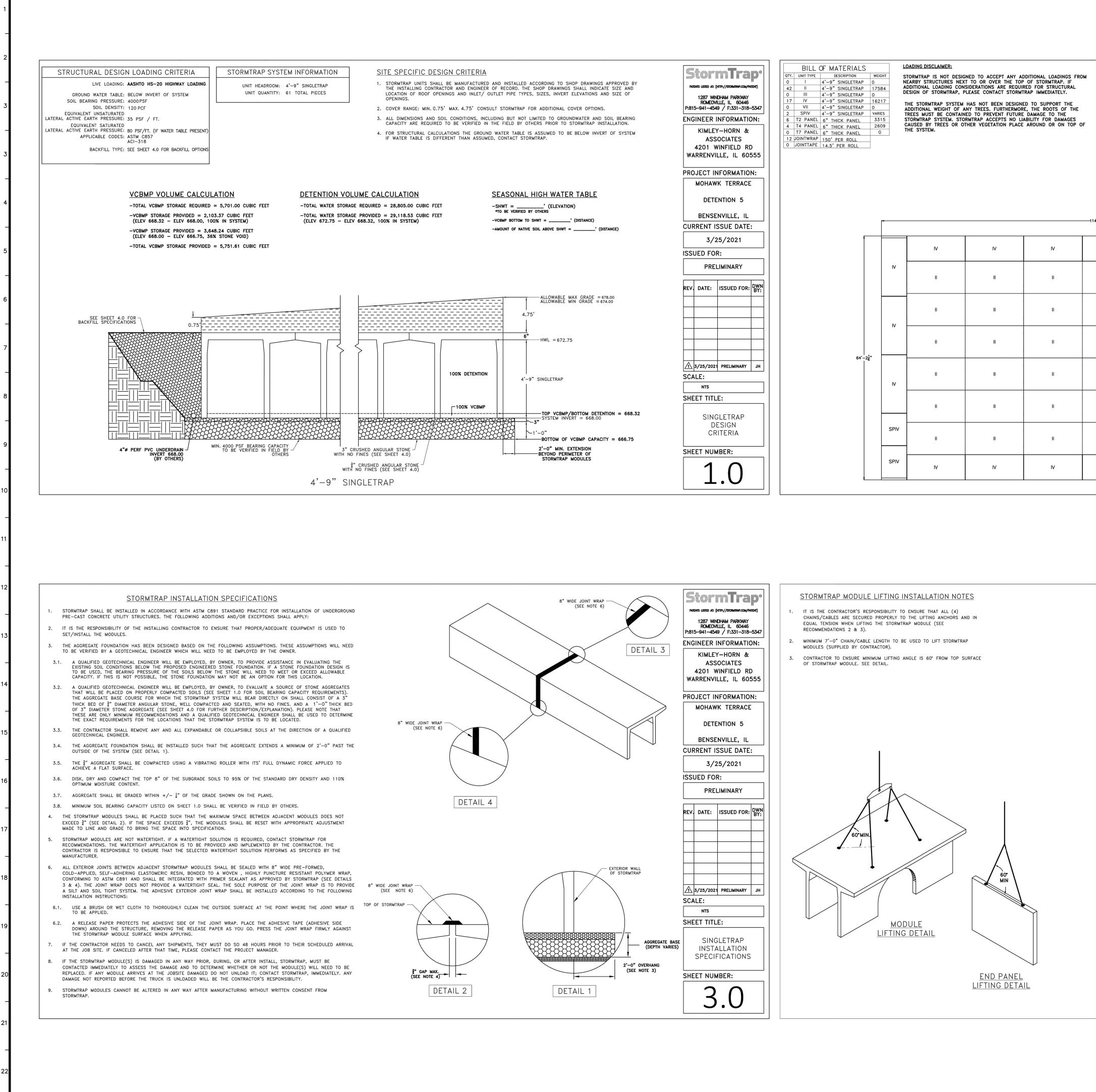




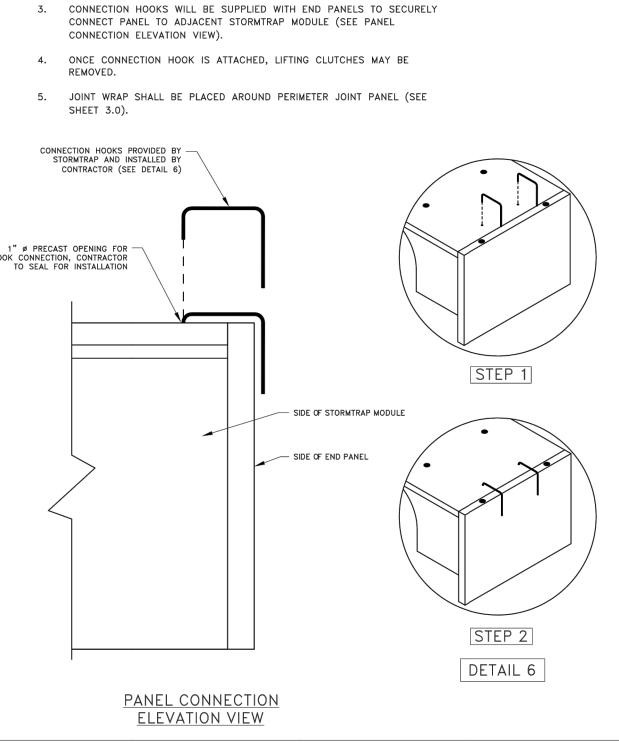


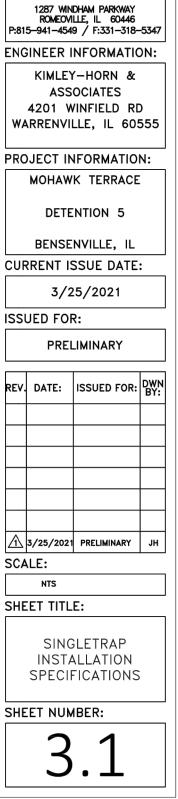






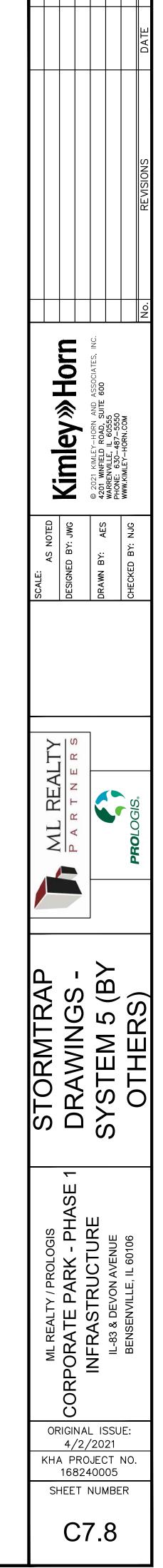
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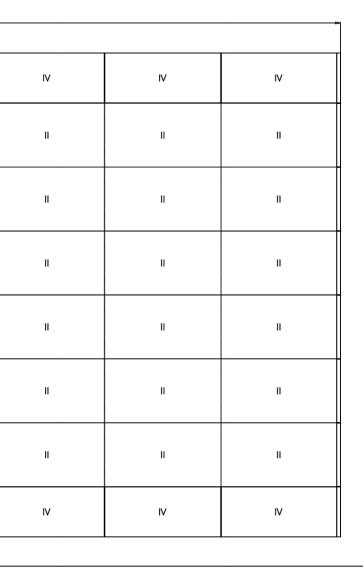




StormTrap[•]

PATENTS LISTED AT: [HTTP://STORMTRAP.COM/PATENT]





END PANEL ERECTION/INSTALLATION NOTES

PANELS SHALL BE INSTALLED IN A TILT UP FASHION DIRECTLY ADJACENT

TO OPEN END OF MODULE (REFER TO SHEET 2.0 FOR END PANEL

1. END PANELS WILL BE SUPPLIED TO CLOSE OFF OPEN ENDS OF ROWS.

2.

HOOK CO

LOCATIONS).

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StormTrap[•]

PATENTS LISTED AT: [HTTP://STORMTRAP.COM/PATENT]

DESIGN CRITERIA ALLOWABLE MAX GRADE =678.00 ALLOWABLE MIN GRADE =674.00 INSIDE HEIGHT ELEVATION =672.75 SYSTEM INVERT =668.00
NOTES:

DIMENSIONING OF STORMTRAP SYSTEM SHOWN BELOW ALLOW FOR A 3/4" GAP BETWEEN EACH MODULE.

6. CONTRACTORS RESPONSIBILITY TO ENSURE CONSISTENCY/ACCURACY TO

2. ALL DIMENSIONS TO BE VERIFIED IN THE FIELD BY OTHERS.

3. SEE SHEET 3.0 FOR INSTALLATION SPECIFICATIONS.

4. SP - INDICATES A MODULE WITH MODIFICATIONS.

FINAL ENGINEER OF RECORD PLAN SET

5. P - INDICATES A MODULE WITH A PANEL ATTACHMENT.

