

COMMUNITY DEVELOPMENT COMMISSION
Village of Bensenville
VILLAGE HALL
June 2, 2020 6:30 PM

I. Call Meeting to Order

II. Roll Call and Quorum

III. Pledge of Allegiance

IV. Public Comment

V. Approval of Minutes

May 5, 2020 Community Development Commission Meeting Minutes

VI. Action Items:

1. Consideration of Variations Pertaining to the Construction of a Car Wash at 904-910 W. Irving Park Road

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

TYPE:Minutes**SUBMITTED BY:**Corey Williamsen**DEPARTMENT:**Village Clerk's Office**DATE:**June 2, 2020**DESCRIPTION:**May 5, 2020 Community Development Commission Meeting Minutes

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

REQUEST:**SUMMARY:****RECOMMENDATION:****ATTACHMENTS:**

Description

DRAFT_200505_CDC

Upload Date

5/26/2020

Type

Cover Memo

Village of Bensenville
Board Room
12 South Center Street
DuPage and Cook Counties
Bensenville, IL, 60106

MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION

May 5, 2020

CALL TO ORDER: The meeting was called to order by Chairman Rowe at 6:30p.m.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, King*, Marcotte*, Wasowicz*
Absent: Ciula, Czarnecki, Rodriguez
A quorum was present.

STAFF PRESENT: K. Fawell, K. Pozsgay, C. Williamsen

**attended the meeting via conference phone*

JOURNAL OF PROCEEDINGS: The minutes of the Community Development Commission Meeting of the April 7, 2020 were presented.

Motion: Commissioner Wasowicz made a motion to approve the minutes as presented. Commissioner Marcotte seconded the motion.

All were in favor. Motion carried.

Senior Village Planner, Kurtis Pozsgay and Village Planner, Kelsey Fawell, were present and sworn in by Chairman Rowe.

PUBLIC COMMENT: There was no Public Comment.

Continued

Public Hearing: CDC Case Number 2020-01
Petitioner: Mike Burcker
Location: 1201-1221 West Irving Park Road
Request: Variation, Monument Sign Size: Area
Municipal Code § 10 – 10 – 5 – 8.C
Variation, Monument Sign Size: Height
Municipal Code § 10 – 10 – 5 – 8.C
Variation, Monument Sign Size: Electronic Message Center Sign
Location Municipal Code § 10 – 10 – 5 – 4.a.3

Motion: Commissioner King made a motion to re-open CDC Case No. 2020-01. Commissioner Wasowicz seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, King, Marcotte, Wasowicz
Absent: Ciula, Czarnecki, Rodriguez
A quorum was present.

Chairman Rowe re-opened CDC Case No. 2020-01 at 6:34 p.m.

Village Planner, Kelsey Fawell was present and previously sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on March 19, 2020. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on March 20, 2020. Ms. Fawell stated on March 20, 2020 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Ms. Fawell stated the Petitioner is requesting three variations to erect a 12' monument sign with an electronic message sign component at the multi-tenant commercial property, Plaza 83. The sign will be replacing an existing 11' monument sign in the same location. Ms. Fawell stated Village Zoning Ordinance only allows monument signs to have a maximum height of 8', a maximum area of 50 square feet, and requires that electronic message signs shall not be located within one mile of the property line of a lot containing an existing EMC sign.

Mike Burcker of Signarama was present via electric means and sworn in by Chairman Rowe. Mr. Burcker stated he was present on behalf of the property owner. Mr. Burcker reviewed the proposed plans with the Commission. Mr. Burcker stated the proposed sign would be the same height as the current sign and would feature brick and masonry work on the bottom, tenant panels and an EMC sign on top. Mr. Burcker stated that no excavation would be taking place, just replacement of the cabinet.

There were no questions from the Commissioners.

Ms. Fawell reviewed the Findings of Fact as presented in the Staff Report consisting of:

- 1) **Special Circumstances:** Special circumstances, fully described in the written findings, exist that are peculiar to the property for which the Variation is sought and that do not apply generally to other properties in the same zoning district. And these circumstances are not of so general or recurrent in nature as to make it reasonably practical to provide a general amendment to this Ordinance to cover them.

Applicant's Response: This variance will not have an adverse effect on adjacent property, the character of the area, general welfare, public health or safety. This sign is to be constructed at the same location of the current monument sign and is intended to upgrade the character of the area using modern stone and brickwork to surround the sign which will also match the facade of the soon to be upgraded property. This does not generally apply to the other properties as they are not planning on fully upgrading the facade of the entire property. We are looking for an entire facelift to greatly enhance the appearance of the property as a whole. As for safety, although this EMC has been designed to adjust to a high brightness in the event of the sun potentially washing out the messages, it also has an automatic dimmer. The EMC will automatically dim accordingly as day turns to night to provide a lower lit readable message, yet still remaining a non distraction and a safety to drivers.

- 2) **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Ordinance would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Applicant's Response: This variance and development will not result in the destruction, loss or damage of natural, scenic or historic feature of significant importance. This proposed construction is intended to actually enhance the scenic feature of this location by using natural looking stone and eliminating the non natural aspect of the current monument sign. Not only will the new construction enhance the scenic aspect, it will remain the same size as the current outdated signage. It would not seem practical to enhance the entire property while restructuring a new sign to be smaller than it currently is. We

plan on keeping this sign the same size and dimensions that it is now.

- 3) **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography, or soil conditions. They do not concern any business or activity the present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Applicant's Response: This proposed use and development will be constructed and operated as to not dominate the immediate vicinity or neighboring property, but along those lines this will directly relate to the physical character of the upgraded building. It will reflect the modern aspect of what we are trying to achieve across the entire property. The EMC proposed is frame less and streamlined in its construction with edge to edge advertising and will enhance the businesses and tenants that reside within the building. We do hope and anticipate this EMC to draw up more business and taxable revenues for the current tenants. None of which are in direct interest of the property itself. It will advertise in such ways as the previously mentioned locations. The clarity of our proposed EMC will have an even more crisp image than these other locations due to constructing the highest pitch available in the industry, providing a very clean professional look.

- 4) **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the Variation have not resulted from any act, undertaken subsequent to the adoption of this Ordinance or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any Variation, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Applicant's Response: This application is being submitted and created by members that have no personal business, financial circumstances or any interest in this property.

- 5) **Preserve Rights Conferred by District:** A Variation is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Applicant's Response: variance is necessary to enjoy substantial property right possessed by other properties and it will also be within if not exceeding the quality of other digital signage in the immediate area such as the monument at Asti Deli at 1410 Irving Park Rd, and O'Hare Auto Body at 1316 Irving Park Rd. Although this sign would be approved at the 8ft height, we feel that the 12ft height is appropriate and sufficient enough for a visually pleasing EMC in regards to this specific location. Other properties have the same right to request a sign of these dimensions given that they also enhance the overall beauty and curb appeal of their property and building facade.

- 6) **Necessary for Use of Property:** The granting of a Variation is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a Variation the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Applicant's Response: Without this variance, we do not believe this property will have the greatest potential of economic return due to the idea of "cutting corners" by putting so much enhancement into the building and potentially falling short on the impact of the sign to advertise for its tenants. Having that extra impact, we will be able to fully advertise the technology that in the event of an emergency of weather, Amber Alert or such public announcements, it can be imported to the digital screen immediately addressing to the public notifying such events as they occur. A taller sign can mean more visibility at a distance not only for advertising, but for emergency purposes.

- 7) **Not Alter Local Character:** The granting of the Variation will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Applicant's Response: The proposed use and development complies with all additional standards imposed on it by the provision of this Code authorizing such use such as having the proper lighting and UL listing, time intervals between message changes and keeping a clean professional standard of advertising for not only the current tenants, but for the property itself. This variance and development will not cause undue traffic congestion nor draw significant amounts of traffic through residential streets. This will not hinder any environmental quality and will enhance property values.

- 8) **Consistent with Title and Plan:** The granting of a Variation will be in harmony with the general purpose and intent of this Ordinance and of the General Development Plan and other applicable adopted plans of the Village of Bensenville, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Applicant's Response: Granting of the variance will be in harmony with the general purpose of this ordinance by the reasons mentioned above not only for property improvement, tenant business improvement, appearance improvement, but also will be in line with other monument signs in the area with the main purpose of enhancing business, taxable dollars and overall beautification and impact.

- 9) **Minimum Variation Needed:** The Variation approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Applicant's Response: The variance approved would be the minimum required to provide the applicant with relief from undue hardship of the property. By allowing the extra height of the sign and having it be in close proximity to others, we believe these are minimal criteria for allowance. Not allowing this will lead us to remove the current steel posts and reinstall new ones at a lower height which will incur more labor and material costs as opposed to using the current approved posts from the original sign.

Public Comment:

Chairman Rowe asked if there was any Public Comment regarding the matter at hand. There was none.

Ms. Fawell stated Staff recommends the Denial of the above Findings of Facts as they pertain to the first request and therefore the Denial of the Variation for Monument Sign Area.

Ms. Fawell stated Staff recommends the Denial of the above Findings of Facts as they pertain to the second request and therefore the Denial of the Variation for Monument Sign Height.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation for an Electronic Message Sign at 1201-1221 W. Irving Park Road with the following conditions:

- 1) Proposed monument sign shall be erected in the same location as the existing monument sign;
- 2) Applicant shall submit complete construction plans, including structural and electrical plans, when applying for the permit;
- 3) The electronic message sign shall not occupy more than 50% of the total sign area of the monument sign on which it is displayed;
- 4) All other features of the EMC shall be in compliance with Village Zoning Ordinance, particularly § 10-10-4.D (Illumination):
 - a. Internally illuminated electronic message signs are allowed only in accordance with § 10-10-2.D (Illumination).
 - b. Electronic message signs are allowed to change their message once every 10 seconds, and the transitions between messages shall be instantaneous.
 - c. Electronic message signs shall display static messages that do not contain a light source that flashes, blinks, strobes, travels, chases, rotates, or changes in intensity, brightness, or color.
 - d. Electronic message signs shall be designed to default to a static display in the event of mechanical failure.
- 5) Temporary signs shall no longer be allowed at this property;
- 6) The area surrounding the base of the monument sign shall be landscaped. The landscape area shall extend a minimum of three feet in width on all sides of the sign base and consist of shrubs, perennials, and/or other vegetative groundcover. A landscape plan shall be submitted as part of

- any sign permit application (see § 10-3-9 (Sign Permit)),
and approved by the Zoning Administrator; And
7) Series lighting and illuminated tubing shall be removed
from tenant windows.

Commissioner King raised concern with the brightness of the sign during the night. Mr. Burcker stated the proposed sign has an auto dimming feature that adjust to the light outside and can be lowered to 20% during the evening.

Motion: Commissioner King made a motion to close CDC Case No. 2020-01. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2020-01 at 6:45 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact and Variance Request for Monument Sign Size; Area. Commissioner Wasowicz seconded the motion. .

ROLL CALL: Ayes: None

Nays: Rowe, King, Marcotte, Wasowicz

Motion failed.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact and Variance Request for Monument Sign Size; Height. Commissioner Wasowicz seconded the motion. .

ROLL CALL: Ayes: None

Nays: Rowe, King, Marcotte, Wasowicz

Motion failed.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact and Variance Request for Electronic Message Center Sign. Commissioner King seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Continued

Public Hearing:

CDC Case Number 2020-05

Petitioner:

Ranger Sound, LLC

Location:

450 South Dominec Court

Request:

Special Use Permit, Indoor Entertainment

Municipal Code Section 10 – 7 – 2 – 1

Variation, Off-Street Parking Requirements

Municipal Code Section 10 – 8 – 2 – 1

Motion:

Commissioner Wasowicz made a motion to re-open CDC Case No. 2020-05. Commissioner Marcotte seconded the motion.

ROLL CALL :

Upon roll call the following Commissioners were present:

Rowe, King, Marcotte, Wasowicz

Absent: Ciula, Czarnecki, Rodriguez

A quorum was present.

Chairman Rowe re-opened CDC Case No. 2020-05 at 6:49 p.m.

Village Planner, Kelsey Fawell was present and previously sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on March 19, 2020. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Ms. Fawell stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on March 20, 2020. Ms. Fawell stated on March 20, 2020 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Ms. Fawell stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Ms. Fawell stated the Petitioner is requesting a Special Use Permit to allow Indoor Entertainment at 450 S. Dominec Court, located in a multi-tenant industrial building in the I-2 District.

Ms. Fawell stated the facility, Ranger Sound, LLC, which has existed as a non-conforming use for over 20 years, offers spaces for rent to serve as recording and rehearsal studios, as well as private events. Ms. Fawell stated the Petitioner is also requesting a Variation to receive relief from off-street parking requirements. Ms. Fawell stated there are 13 parking spaces on site, 12 of which being designated to other tenants in the building. Ms. Fawell stated Ranger Sound, LLC is left with 1 parking space for their business, while Village Zoning Ordinance requires the use provides 8.

Marshall Subach of Hunt, Aranda & Subach, Ltd. was present via electric means and sworn in by Chairman Rowe. Mr. Subach stated his clients property is zoned I-2. Mr. Subach stated the site consist of five practice rooms and one stage. Mr. Subach stated the spaces are used to musical records, rehearsals and sound support. Mr. Subach stated that no concerts take place at the property. Mr. Subach stated the business has been operating at the site since 1996. Mr. Subach stated the site is roughly 4,700 sf. Mr. Subach stated the business operated from 7:00pm to 11:00pm and mostly on weekends and by a scheduled appointment. Mr. Subach stated parking has never been an issue in twenty four years. Mr. Subach reviewed the findings of facts for both the Special Use and Variance requests.

There were no questions from the Commissioners.

Ms. Fawell reviewed the Findings of Fact for the proposed Special Use as presented in the Staff Report consisting of:

- 1) **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: There will be no adverse impact on traffic with the granting of the Special Use Permit. Under Bensenville Code, this use will require eight parking spaces. The current space has ten parking spaces adjacent to the unit, which are not used by the other tenants in the building. At the few times there will be a live studio audience, those performances are between 7:00p.m. and 11:00p.m. There is also parking available on the street. Parking is not allowed on the cul-de-sac and has not been an issue over the last 24 years. The traffic that is generated from this use is less than a typical industrial user as there are no deliveries being made like other industrial users with trucks constantly commuting back and forth, and, in general, most of the rehearsals are done after

hours and only involve the band members and occur when the other businesses are closed.

Staff Commentary: The parking lot on the site has 13 designated parking spaces.

- 2) **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: There is no noise, glare, odor, dust, or waste disposal, or any other environmental nuisances created as a result of the indoor recording studios. The only thing created is music. The building is all brick and each of the recording rooms have sound barriers installed to allow multiple bands to be in the space at one time. There have never been any complaints from the neighboring businesses regarding any noise emitting from the building during recordings or performances. There is virtually no waste disposal or other environmental issues with this use, and is a much cleaner use than other typical industrial users.

- 3) **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use fits harmoniously with the existing industrial users. Under the Bensenville Zoning Code, indoor entertainment is allowed as a Special Use in the I-2 zoning. The business actually complements other businesses because most of the time the studios are being used during off hours or after hours when the other businesses are not open.

- 4) **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The proposed use will not require any expansion or strain on community facilities or services to a degree that is disproportionate to normal activities in the 1-2 District. In fact, the proposed use of an indoor entertainment for recording studios has a less impact on public services and facilities than a typical industrial user.

- 5) **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The proposed use at this location is a public necessity as there are very few locations in the Chicagoland area, and local bands and musicians need places to rehearse. Since 1975, many local bands and musicians have used Ranger Studios to practice and record. With its close proximity to O'Hare, Ranger Studio is the place to go for the northwest suburban music recording and rehearsal studio.

- 6) **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the Special Use in its proposed location.

Applicant's Response: This is an existing business that has been in the Village of Bensenville for 24 years. The business wants to stay in Bensenville. This is a destination business that brings local musicians and bands to record music. The business has not been an issue or problem for the Village since 1996. There is an obvious need for this business and there is no benefit to the Village of Bensenville in not granting the Special Use Permit to the Petitioner.

Ms. Fawell reviewed the Findings of Fact for the proposed Variance as presented in the Staff Report consisting of:

1. **Special Circumstances:** Special circumstances, fully described in the written findings, exist that are peculiar to the property for which the Variation is sought and that do not apply generally to other properties in the same zoning district. And these circumstances are not of so general or recurrent in nature as to make it reasonably practical to provide a general amendment to this Ordinance to cover them.

Applicant's Response: The Subject Property consists of a single story industrial building with multiple tenants all with separate driveways and separate entrances. There are a total of thirteen (13) parking spaces in a shared parking lot adjacent to my client's location at 450 Domenic Court, Franklin Park, IL. As to each of

the spaces, five (5) of the driveways have two (2) parking spaces each, and one (1) driveways has four (4). Even though Bensenville Code does not count those additional twelve (12) driveway spaces as available parking spaces, it is important to note the abundance of parking for the existing businesses when one looks at the business driveways and the adjacent parking lot.

- a. **The unit at 454 Domenic Court is currently vacant and the units 456, 458, and 460 are all machine shops that consist of a one-person operation. These are not businesses that have customers coming to and from these locations on a daily basis.**
 - b. **The special circumstance that exist is that my client's business has been in existence at this location since 1996 and during that time parking has not been an issue. Most of my client's customers come in the evening and on the weekends to perform and have music sound support recording or rehearsal time at Ranger Studios and Sound.**
 - c. **Since its operation in 1996, there have been no complaints that the Petitioner is aware of regarding parking. Most of the time customers are at the business are between the hours of 7:00p.m. and 11:00p.m. during the week and on the weekends, when the other businesses are not even open.**
2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Ordinance would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Applicant's Response: The literal application provisions of the Bensenville ordinance would result in unnecessary hardship for the Petitioner and not just an inconvenience. Without the granting of the parking variance, my client would not be able to operate his business, which he has done since 1996 in Bensenville with no parking issues.

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography, or soil conditions. They do not concern any business or activity the present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Applicant's Response: The special circumstances and hardship relate only to the physical character of the land with the existing building and the available places to park.

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the Variation have not resulted from any act, undertaken subsequent to the adoption of this Ordinance or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any Variation, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Applicant's Response: The special circumstances and practical difficulties or hardship that are the basis for the variance have not a resulted from any action undertaken by the Petitioner. The conditions have all existed for many years, and again the Petitioner has been in business at this location since 1996.

5. **Preserve Rights Conferred by District:** A Variation is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Applicant's Response: The parking variance is necessary for the Petitioner to enjoy a substantial property right possessed by other properties in the same zoning district to continue to operate his business in the same zoning district and does not confer a special privilege ordinarily denied to such other properties. There have been many parking variances granted in the industrial park where the Subject Property is located and throughout the Village of Bensenville.

6. **Necessary for Use of Property:** The granting of a Variation is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a Variation the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Applicant's Response: The granting of the parking variance is necessary for the use of the property. Without the granting of the parking variance, the Petitioner will have no choice but to relocate his business out of the Village of Bensenville and ultimately close the business. The Subject Property already has a

vacant unit and without the parking variance, the owner of the land will be deprived of reasonable use or economic return from the Subject Property.

7. **Not Alter Local Character:** The granting of the Variation will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Applicant's Response: The granting of the Variance will not alter local character of the properties. The Subject Property is located at the Village of Bensenville's easternmost boundary, and is tucked away in the industrial park. The business has not been a problem for any of the residents or other businesses in the Village of Bensenville.

8. **Consistent with Title and Plan:** The granting of a Variation will be in harmony with the general purpose and intent of this Ordinance and of the General Development Plan and other applicable adopted plans of the Village of Bensenville, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Applicant's Response: The granting of the parking variance is in harmony with the general purpose and intent of the Village of Bensenville to retain businesses in the Village of Bensenville. This is also a destination business which allows individuals and organizations from other towns and municipalities to come to the Village of Bensenville to use the Ranger Sound studios.

9. **Minimum Variation Needed:** The Variation approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Applicant's Response: The parking variance requested is the minimum required in order to allow the Petitioner to continue his right to operate the business from the Subject Property.

Public Comment:

Chairman Rowe asked if there was any Public Comment regarding the matter at hand. There was none.

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Special Use Permit for Indoor Entertainment at 450 S. Dominec Court with the following conditions:

- 1) The property must comply with the Illinois Accessibility Code, Illinois Plumbing Code (including the number of fixtures), and all other codes adopted by the Village;
- 2) A professionally prepared, detailed, and scalable floor plan shall be submitted to Village Staff and approved by Village Plan Reviewer;
- 3) The use must comply with use standards § 10-7-3.N (Indoor Entertainment or Recreation).
 - a) Minimize Adverse Impacts. The location of entrances and exits, service areas, and parking and loading docks shall minimize traffic congestion, pedestrian hazards, and adverse impacts on surrounding properties.
 - b) Noise. Any noise associated with the facility shall be managed so as not to create a public nuisance for surrounding properties and shall comply with § 10-7-6.A (Noise) and all other local noise regulations

Ms. Fawell stated Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variation for off-street parking requirements at 450 S. Dominec Court.

Commissioner Wasowicz asked what Public Safety Departments service the proposed site. Ms. Fawell stated Bensenville Police and Leyden Township Fire provide their services to the proposed side.

Motion: Commissioner King made a motion to close CDC Case No. 2020-05. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2020-05 at 7:05 p.m.

Motion: Commissioner Wasowicz made a combined motion to approve the Findings of Fact and Special Use Request for Indoor Entertainment. Commissioner Marcotte seconded the motion. .

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Motion: Commissioner King made a combined motion to approve the Findings of Fact and Variance Request for Off-Street Parking Requirements. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Continued

Public Hearing:

Petitioner:

Request:

CDC Case Number 2020-06

Village of Bensenville

Text Amendments, Municipal Code Section Title 10 (Zoning Ordinance), Chapter 7 (Uses) and Chapter 10 (Signs).

Motion: Commissioner Wasowicz made a motion to re-open CDC Case No. 2020-06. Commissioner Marcotte seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:

Rowe, King, Marcotte, Wasowicz

Absent: Ciula, Czarnecki, Rodriguez

A quorum was present.

Chairman Rowe re-opened CDC Case No. 2020-06 at 7:08 p.m.

Village Planner, Kelsey Fawell was present and previously sworn in by Chairman Rowe. Ms. Fawell stated a Legal Notice was published in the Bensenville Independent on March 19, 2020. Ms. Fawell stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.

Ms. Fawell stated the proposed text amendment changes consisted of:

- Add Dwelling Above the Ground Floor as a Special Use in the I – 1 District, Section 10 – 7 – 2: Use Table

- Remove that neon tubing shall not be used to trim windows or architectural features, Section 10 – 2 – D – 5
- Add Section 10 – 2 – D – 7, Illuminated Tubing.
 - 7. Illuminated Tubing. LED, non-LED, and neon tubing shall not be used to trim windows or architectural features.
- Remove Section 10 – 10 – 4 Master Sign Plan from Chapter 10: Signs, Section 10-10-4
- Add Section 10 – 10 – 4 Multi-Tenant Developments.

Section 10 – 10 – 4: Multi-Tenant Developments

- A. Purpose. The purpose of this Section is to ensure signage that is harmonious and compatible with that of other tenant signage.
- B. Applicability. The requirements of this Section shall apply to all signs installed in non-residential developments with three or more tenants.
- C. Design Standards. Signs must comply with sign regulations of this Chapter 10 (Signs). All signs within a development will be reviewed based on the following design elements of other signage in said development:
 - a. Background color or text color.
 - b. Lettering style.
 - c. Mounting height on the building for wall signs.
 - d. Materials.
 - e. Sign Type
- D. Design Approval. The Zoning Administrator is authorized to approve the design of multi-tenant development signage.
- E. If the Zoning Administrator denies the design of a sign, the applicant may resubmit the application as a Variation in accordance with § 10-3-4 (Variation).

Public Comment:

Chairman Rowe asked if there was any Public Comment regarding the matter at hand. There was none.

Ms. Fawell stated Staff recommends the Approval of the proposed text amendment.

There were no questions from the Commissioners.

Motion:

Commissioner Marcotte made a motion to close CDC Case No. 2020-06. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed CDC Case No. 2020-06 at 7:15 p.m.

Motion: Commissioner Wasowicz made a motion to approve the proposed Text Amendment. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, King, Marcotte, Wasowicz

Nays: None

All were in favor. Motion carried.

**Report from
Community
Development:**

Ms. Fawell reviewed both recent CDC cases along with upcoming cases.

ADJOURNMENT: There being no further business before the Community Development Commission, Commissioner Wasowicz made a motion to adjourn the meeting. Commissioner King seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:17 p.m.

TYPE:Public Hearing**SUBMITTED BY:**K. Fawell**DEPARTMENT:**CED**DATE:**06.02.20**DESCRIPTION:**Consideration of Variations Pertaining to the Construction of a Car Wash at 904-910 W. Irving Park Road***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village	<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Quality Customer Oriented Services	<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Safe and Beautiful Village	<input checked="" type="checkbox"/>	Vibrant Major Corridors

REQUEST:

1. Variations, Maximum Driveway Width
Municipal Code Section 10-8-8-1
2. Variations, Driveway Apron Width
Municipal Code Section 10-8-8-F
3. Variation, Bailout Lane
Municipal Code Section 10-8-9-D
4. Variation, Tree Replacement Standards
Municipal Code Section 10-9-2-B
5. Variation, Tree Canopy Coverage
Municipal Code Section 10-9-5-A
6. Variation, Parking Lot Interior Landscape Islands
Municipal Code Section 10-9-5-C
7. Variations, Buffer Yard Requirements
Municipal Code Section 10-9-6
8. Variation, Outdoor Lighting Illumination Standards
Municipal Code Section 10-9-8-C-1.a

SUMMARY:

1. The Petitioner is requesting the above Variations in order to construct a car wash with vacuum stations and a detailing garage at 904-910 W. Irving Park Road.
2. The Petitioner currently operates a car wash on York Road (known as York Street in the City's boundaries) in Elmhurst, IL.
3. The subject property is a 1.5-acre site on which sit two-single family homes.
4. The submitted plan requires the vacation of the 33' right-of-way to the south of the subject property.
5. The Petitioner intends to dedicate 24' of right-of-way, located on the eastern side of their property, to the Village in order to bring Eastview Avenue up to current Village standards.
6. The Variations are needed due to the following:
 1. The maximum widths for for a commercial one-way driveway and a commercial two-way driveway are 12' and 26', respectively. The Petitioner is requesting two Variations in order to construct a 35' two-way driveway and a 16' one-way driveway.
 2. Driveway aprons must not exceed the width of a driveway by 3' on each side of the driveway. The Petitioner's plans indicate all 3 driveway aprons exceed this maximum.
 3. Drive-through lanes shall be served by a bailout lane, which shall run parallel to the drive-through and provide unobstructed exit capability to all vehicles. The bailout lane on the proposed plans does not run parallel along the entire length of the drive-through lanes.
 4. The Petitioner will need to remove a number of mature trees located on the subject property as the impede development. The Village Zoning Ordinance mandates tree replacement standards and fees in lieu of those standards. The Petitioner states they cannot meet these requirements and is therefore requesting a Variation.
 5. For any new construction of parking lots, a landscape plan shall be provided which indicates that shade canopy is provided for a minimum of 40% of parking area hardscape. The submitted landscape plan does not meet this requirement.

6. There shall be a minimum of 1 landscape island provided for every 10 contiguous parking spaces. Submitted site plan does this meet this requirement. The Petitioner feels landscape islands would inhibit customer access to vacuum stations.
7. A buffer yard shall be provided along lot lines when a lot containing a commercial use is adjacent to a lot containing a residential use. The subject property abuts two residential properties, both to the west and to the south. Submitted plans do not indicate any buffer yards that include the required landscape elements.
8. Outdoor lighting shall not exceed one foot-candle at any point on a lot line for a lot containing a non-residential use. Submitted photometric plans indicate outdoor light will exceed one foot-candle on the north, east, and west lot lines.

RECOMMENDATION:

1. Staff recommends the Approval of the Findings of Fact as they pertain to the Variation requests for Maximum Driveway Width and therefore the Approval of the Variation.
2. Staff recommends the Approval of the Findings of Fact as they pertain to the Variation requests for Driveway Apron Width and therefore the Approval of the Variation.
3. Staff recommends the Approval of the Findings of Fact as they pertain to the Variation request for lack of Bailout Lane and therefore the Approval of the Variation.
4. Staff recommends the Approval of the Findings of Fact as they pertain to the Variation request for relief from Tree Replacement Standards and therefore the Approval of the Variation.
5. Staff recommends the Denial of the Findings of Fact as they pertain to the Variation request for Tree Canopy Coverage and therefore the Denial of the Variation.
6. Staff recommends the Approval of the Findings of Fact as they pertain to the Variation request for Parking Lot Interior Landscape Islands and therefore the Approval of the Variation.
7. Staff recommends the Denial of the Findings of Fact as they pertain to the Variation requests for Buffer Yards and therefore the Denial of the Variation.
8. Staff recommends the Denial of the Findings of Fact as they pertain to the Variation request for Outdoor Lighting Illumination Standards and therefore the Denial of the Variation.
9. Staff recommends the Approval of the above-recommended Variation requests be approved with the following conditions:
 1. A sanitary inspection manhole will be required along with a triple basin;
 2. A 5-foot wide ADA complaint public sidewalk will be required along the Eastview Ave frontage of the site;
 3. A 7-foot wide stamped concrete ADA complaint public sidewalk exists along the IL-19 frontage of the site. Any disturbed sidewalk will need to be replaced in kind;
 4. A plat of consolidation may be required to combine the two existing lots. The applicant must dedicate 25-feet of public rights-of-way to the Village along Eastview Ave for the purpose of widening the existing Eastview Ave to meet the Village's local roads standard. The plat of consolidation can include the ROW dedication on the same plat. A 24-foot dedication is being proposed on the plans which needs to be revised to 25-feet;
 5. The developer will be required to widen Eastview Ave per Village standards. The widening will also include construction of a 5-foot wide ADA complaint public sidewalk along Eastview Ave frontage of the site. This will require design and construction of the widening. The developer shall bare all financial costs associated with such improvements;
 6. The property shall be in accordance with Section 10 – 7 – 3 – C, use standards for a car wash;
 7. The property shall be in accordance with Section 10 – 9 – 5 – A Parking Lot Landscaping: Tree Canopy Coverage, Section 10 – 9 – 5 – B Parking Lot Perimeter Landscape, and Section 10 – 9 – 6 Buffer Yards;
 8. The Petitioner shall submit a landscape plan to be approved by the Zoning Administrator; and
 9. A 6' privacy fence shall be erected on the west and south property lines.

ATTACHMENTS:

Description	Upload Date	Type
Case Coveragepage	5/26/2020	Cover Memo
Aerial & Zoning Maps	5/26/2020	Backup Material
Legal Notice	5/26/2020	Backup Material

Application	5/26/2020	Backup Material
Staff Report	5/26/2020	Backup Material
Plat of Survey	5/26/2020	Backup Material
Site Plan	5/26/2020	Backup Material
Building Plans	5/26/2020	Backup Material
Engineering Plans	5/26/2020	Backup Material



BENSENVILLE

COMMUNITY DEVELOPMENT COMMISSION

Public Hearing 06.02.20

CDC Case #2020 – 07

**Gem Car Wash, LLC
904-910 W. Irving Park Road**

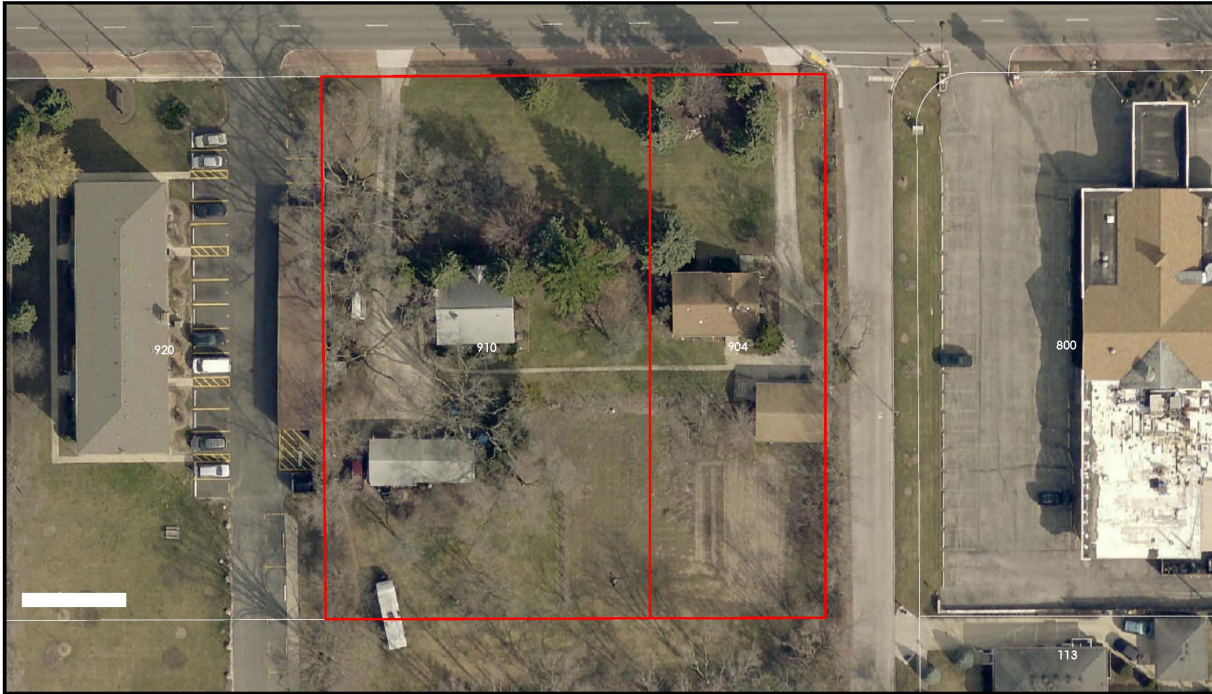
1. Aerial Photograph & Zoning Map of Subject Property
2. Legal Notice
3. Application
4. Staff Report & Exhibits
5. Plans





Village of Bensenville

904-910 W Irving Park Rd.



Date: 4/16/2020



Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that a Meeting of the Community Development Commission of the Village of Bensenville, DuPage and Cook Counties, will be held on Tuesday, June 2, 2020 at 6:30 P.M., at which a Public Hearing will be held to review case No. 2020 - 07 to consider a request for:

Variations, Maximum Driveway Width
Municipal Code Section 10 – 8 – 8 – 1

Variations, Driveway Apron Width
Municipal Code Section 10 – 8 – 8 – F

Variation, Bailout Lane
Municipal Code Section 10 – 8 – 9 – D

Variation, Tree Replacement Standards
Municipal Code Section 10 – 9 – 2 – B

Variation, Tree Canopy Coverage
Municipal Code Section 10 – 9 – 5 A

Variation, Parking Lot Interior Landscape Islands
Municipal Code Section 10 – 9 – 5 – C

Variation, Buffer Yards
Municipal Code Section 10 – 9 – 6

Variation, Outdoor Lighting Illumination Standards
Municipal Code Section 10 – 9 – 8 – C – 1.a

at 904-910 W. Irving Park Road , including the 33' wide right-of-way abutting the property to the south, in the C – 2 Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville.

The Legal Description is as follows:

PARCEL 1:

THE EAST 229 FEET (EXCEPT THE EAST 80 FEET THEREOF) AND (EXCEPT EASTVIEW APARTMENT PER DOCUMENT R72-70911) OF LOT 5 IN OWNER'S ASSESSMENT PLAT OF PART OF SECTION 11 AND 14 TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2:

THE NORTH 250 FEET OF THE EAST 80 FEET (EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) (MEASURED ALONG THE NORTH LINE) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399 IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3:

THE EAST 80 FEET (EXCEPT THE NORTH 250 FEET AND EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 904-910 W. Irving Park Road, Bensenville, IL 60106.

AND

THE NORTH 33 FEET OF THE EAST 604.63 FEET (EXCEPT THE WEST 375.63 FEET) OF EASTVIEW APARTMENTS OF PART OF SECTION 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN.

Commonly known as the 33 feet wide right-of-way starting at the intersection of Main Street and Eastview Avenue, and running west 229 feet.

Mary Krieger of 904 W. Irving Park Road, Bensenville, IL, 60106 is the owner of 904 W. Irving Park Road, Bensenville, IL, 60106 and Harris A. Seltzer of 910 W. Irving Park Road, Bensenville, IL 60106 is the owner of 910 W. Irving Park Road, Bensenville, IL 60106. Mirjan Sadik of 841 N. York Road, Elmhurst, IL 60126 is the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties on the Village website. Please call Community and Economic Development, (630) 350-3413, for other options.

All interested parties may attend the Public Hearing and be heard. Interested parties are encouraged to attend the Public Hearing via electronic means. Directions for electronic attendance and participation will be posted on the Village website at least 48 hours prior to

the meeting date. Written comments mailed to Village Hall, and online comments submitted on the Village website, will be accepted by the Community and Economic Development Department through June 2, 2020 until 5:00 P.M.

Office of the Village Clerk
Village of Bensenville

TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT
May 14, 2020

For Office Use Only

Date of Submission: 04/15/20 MUNIS Account #: 9933 CDC Case #: 2020-07

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 904-910 W. Irving Park rd Bensenville

Property Index Number(s) (PIN): 03-14-117-029, 03-14-117-030

A. PROPERTY OWNER:

Name: Mirjan Sadik Corporation (if applicable): Gem Car wash LLC.
 Street: 841 N York RD
 City: Elmhurst IL State: Zip Code: 60126
 Contact Person: 630-235-7765 (John) Telephone Number & Email Address:

*If Owner is a Land Trust, attach a list of the names and addresses of the beneficiaries of the Trust.

B. APPLICANT: ☒ Check box if same as owner

Name: Corporation (if applicable):
 Street:
 City: State: Zip Code:
 Contact Person: Telephone Number & Email Address:

C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☐ Special Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development*
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☒ Variance

*See staff for additional information on PUD requests

SUBMITTAL REQUIREMENTS:

- ☒ Affidavit of Ownership** (signed/notarized)
- ☒ Application**
- ☒ Approval Criteria**
- ☒ Plat of Survey/Legal Description
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☒ Engineering Plans
- ☒ Landscape Plan
- ☒ Application Fees
- ☒ Fees agreement**

**Item located within this application packet.

Brief Description of Request(s): (Submit separate sheet if necessary)

- Tree Preservation - Tree Landscape
- Emergency exit lane
- Driveway enter & exit size 36 Feet.

D. PROJECT DATA:

1. General description of the site: Car Wash ..
2. Acreage of the site: 1.5 Building Size (if applicable): 8000 SF.
3. Is this property within the Village limits? (Check applicable below)
 - ☒ Yes
 - ☐ No, requesting annexation
 - ☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Single-Unit Residential	Bensenville
North:	R-2 / R-3	Single-Unit Residential	Bensenville
South:	R-5	Multiple-Unit Residential	Bensenville
East:	C-2	Commercial	Bensenville
West:	R-5	Multiple-Unit Residential	Bensenville

E. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the appropriate Approval Criteria, found on the following pages. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

STAFF REPORT

HEARING DATE: June 2, 2020
CASE #: 2020 – 07
PROPERTY: 904-910 W. Irving Park Road
PROPERTY OWNER: Mary Krieger & Harris Seltzer
APPLICANT: Mirjan Sadik, Gem Car Wash LLC
SITE SIZE: 71,863 SF
BUILDING SIZE: 5,635 SF (Proposed)
PIN NUMBER: 03-14-117-029, 03-14-117-030
ZONING: C-2 Commercial District
REQUEST: (2) Variations, Maximum Driveway Width
Municipal Code Section 10 – 8 – 8 – 1
(3) Variations, Driveway Apron Width
Municipal Code Section 10 – 8 – 8 – F
Variation, Bailout Lane
Municipal Code Section 10 – 8 – 9 – D
Variation, Tree Replacement Standards
Municipal Code Section 10 – 9 – 2 – B
Variation, Tree Canopy Coverage
Municipal Code Section 10 – 9 – 5 A
Variation, Parking Lot Interior Landscape Islands
Municipal Code Section 10 – 9 – 5 – C
(2) Variations, Buffer Yard Requirements
Municipal Code Section 10 – 9 – 6
Variation, Outdoor Lighting Illumination Standards
Municipal Code Section 10 – 9 – 8 – C – 1.a

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday, May 14, 2020. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday, May 15, 2020.
3. On Friday, May 15, 2020, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is requesting a number of Variations in order to construct a car wash with a detailing garage at 904-910 W. Irving Park Road. This is a 1.5-acre site on which sit two single-family homes. The plan would require the vacation of the 33' ROW to the south. The Petitioner intends to dedicate 24' of right-of-way to the Village in order to bring Eastview up to current standards. The Petitioner currently operates a car wash on York Road in Elmhurst.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 2	Residential	Multi Family Residential	Village of Bensenville
North	R – 3	Residential	Single Family Residential	Village of Bensenville
South	R – 5	Residential	Medium Density Residential	Village of Bensenville
West	R – 5	Residential	Medium Density Residential	Village of Bensenville
East	C – 2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:*SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Both accounts for the two properties are up to date with billing.

Police:

- 1) No objections.

Engineering and Public Works:

- 1) A DuPage County Stormwater Management Certification will be required for this project as the total land disturbing activity exceeds 5,000 SF. The developer must meet all other DuPage County Floodplain and Stormwater Ordinance requirements including submittal of a stormwater report.
- 2) An Illinois Department of Transportation (IDOT) permit will be required for the proposed entrance within IL-19 right-of-way.
- 3) An IEPA-Sanitary, IEPA-NOI and IEPA-NOT permit will be required for this development.
- 4) A DuPage County Health Department permit may be required for abandonment of the existing septic tanks onsite.
- 5) It appears the site will breach the detention (25,000 SF) and PCBMP (2,500 SF) threshold set forth in the DuPage County Floodplain and Stormwater Ordinance. Therefore, site detention and PCBMP will be required. The proposed plan depicts a wetland-bottom detention basin to meet these criteria.
- 6) The detention basin is proposed with retaining wall around the perimeter. Any wall extending more than 3-feet in height will require structural engineering calculations and drawings signed and sealed by licensed structural engineer.
- 7) All existing utilities must be disconnected and capped at the main.
- 8) A sanitary inspection manhole will be required along with a triple basin.

- 9) A 5-feet wide ADA compliant public sidewalk will be required along the Eastview Ave frontage of the site.
- 10) A 7-feet wide stamped concrete ADA complaint public sidewalk exists along the IL-19 frontage of the site. Any disturbed sidewalk will need to be replaced in kind.
- 11) A plat of consolidation may be required to combine the two existing lots. The applicant must dedicate 25-feet of public rights-of-way to the Village along Eastview Ave for the purpose of widening Eastview Ave to meet the Village's local roads standard. The plat of consolidation can include the ROW dedication on the same plat. A 24-feet dedication is being proposed on the plans, which needs to be revised to 25-feet.
- 12) The developer will be required to widen Eastview Ave per Village standards. The widening will also include construction of a 5-feet wide ADA complaint public sidewalk along Eastview Ave frontage of the site. This will require design and construction of the widening. The developer shall bare all financial costs associated with such improvements.
- 13) There are issues with the proposed plans that can be resolved during final engineering. In general, staff does not see any major problems that would hinder this concept plan from proceeding.

Community & Economic Development:

Fire Safety:

- 1) No comments.

Building:

- 1) Concerns regarding the approval of the Variation for outdoor lighting due to light pollution impacting nearby properties.

Economic Development:

- 1) The commercial use along Irving Park is appropriate.
- 2) The existing residential uses provide roughly \$1,200 to the Village of an approximately \$6,336 tax bill.
- 3) The new commercial use should provide a significant bump in tax. For comparison, the Gem Car Wash on York Rd in Elmhurst paid over \$24,000 in property taxes.
- 4) A modern car wash is missing on Bensenville's portion of Irving Park Rd. There exists a market gap.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Multi Family Residential" for this property.
- 2) The current zoning is C-2 Commercial District.
- 3) Per Section 10 – 7 – 2 – 1, car washes are permitted by right in the C-2 District provided they meet the following requirements:
 - a. Stacking Spaces. Stacking spaces associated with a car wash must comply with the requirements of § 10-8-9 (Vehicular Stacking Requirements).
 - b. Screening. The street frontage adjacent to any outdoor car wash area shall be screened in accordance with the requirements of § 10-9-5.B (Parking Lot Perimeter Landscape).
 - i. Proposed landscape plan does not meet the requirements of Section 10 – 9 – 5.B. Petitioner will need to submit a revised landscape plan to be approved by the Zoning Administrator.
 - c. On-Site Attendant. An attendant shall be present on the site during hours of operation.

- d. Hours of Operation. Car washes shall be limited to hours of operation between 6:00 AM and 12:00 AM.
 - e. Overhead Doors. All wash bays shall be secured with overhead doors when the establishment is closed.
 - f. Drainage. Drainage from a car wash shall not drain onto adjacent properties, into the right-of-way, or into stormwater catchments.
 - g. Traffic Study. The Village may require a traffic study to ensure that a proposed development does not adversely affect safe and efficient traffic circulation for motorists, bicyclists, or pedestrians.
 - i. The Petitioner has submitted a traffic impact analysis that indicates the car wash will not have any adverse impacts on traffic.
- 4) Submitted plans indicate the construction of 5,635 car wash building, a second building for detailing area, and a parking lot for patrons to access vacuum stations following their use of the car wash.
 - 5) A Per Section 10 – 8 – 8 – 1 of the Village Zoning Ordinance, the maximum widths for a one-way driveway and a two-way driveway are 12 feet and 26 feet, respectively. Plans indicate a two-way driveway of 35 feet off Irving Park Road and two one-way driveways, 15 feet and 11.5 feet, off Eastview Avenue.
 - a. Plans indicate a two-way driveway of 35 feet off Irving Park Road and two one-way driveways, 15 feet and 11.5 feet, off of Eastview Avenue. The driveway on Irving Park Road and the north driveway on Eastview Avenue exceed those requirements.
 - 6) Per Section 10 – 8 – 8 – F of the Village Zoning Ordinance, driveway aprons shall not exceed the width of a driveway by 3 feet on each side of the driveway.
 - a. The proposed apron for the Irving Park Road driveway exceeds the width of the driveway by approximately 8 feet on each side of the driveway.
 - b. The proposed aprons for the two driveways on Eastview Avenue both exceed the width of the driveways by approximately 4 feet on each side of the driveway.
 - 7) Per Section 10 – 8 – 9 – D of the Village Zoning Ordinance, drive-through lanes shall include a bailout lane, which shall run parallel to the drive-through and provide unobstructed exit capability to all vehicles.
 - a. Petitioner is proposing a bailout lane and two driveways on Eastview Avenue as a way for vehicles to exit in the event of an emergency. The Variation is needed due to the bailout not running parallel to the entire length of the drive-through lanes, therefore not providing unobstructed access.
 - 8) Per Section 10 – 9 – 2 – B of the Village Zoning Ordinance, mature trees to be removed from a property shall be replaced in accordance with standards set forth in the section.
 - a. The Petitioner has stated that they will not be able to replace the required number of trees they will be removing from the lots during construction.
 - 9) Per Section 10 – 9 – 5 – A of the Village Zoning Ordinance, shade canopy shall be required for a minimum of 40% of parking area hardscape.
 - a. Proposed landscape plans do not meet this requirement. Staff calculates that approximately 14,000 SF of the parking area hardscape shall be covered by shade canopy. Staff recommends the Petitioner submit a new landscape plan with more shade trees throughout the parking area, as there looks to be room on the island that separates the drive-through lanes from the vacuum station area.
 - 10) Per Section 10 – 9 – 5 – C of the Village Zoning Ordinance, one landscape island shall be provided for every 10 contiguous parking spaces.
 - a. Proposed plans indicate only 2 landscape islands. Staff recognizes that the Petitioner does not wish to impede patron access to vacuum stations.

- 11) Per Section 10 – 9 – 6 of the Village Zoning Ordinance, a buffer yard is required when a property located in the C-2 District is directly adjacent to a Residential District.
- a. The subject property is directly adjacent to properties located in the R-5 District, to the south and the west.
 - b. The buffer yard requirements are as follows:
 - i. The buffer yard shall be located directly adjacent to the affected interior side and/or rear lot line, along the entire length of the lot line.
 - ii. The buffer yard shall have a minimum depth of 10 feet and shall include the following:
 1. A continuous hedge comprised of individual small shrubs of an appropriate species that are adaptable to being grown as a hedge, with a minimum width of 24 inches, spaced 36 inches on center.
 2. One evergreen tree for every 10 linear feet of buffer area. Trees may be spaced evenly or grouped.
 3. Any portion of the buffer yard not covered by hedges and trees shall be planted with turf, clump or no-mow grasses, perennial groundcover, or mulch.
 4. In residential and commercial zoning districts, a continuous hedge of individual shrubs may be allowed in lieu of providing evergreen trees within a buffer yard with prior written Zoning Administrator approval, provided that the hedge height at maturity is taller than 42 inches.
 - c. Staff has spoken with representatives of the Board of the condominiums located to the west in the R-5 District, who have expressed concerns regarding the potential noise impact of the development. They have requested that the CDC consider required a 6' privacy fence, in addition to the buffer yard, along the west side of the lot to be included as a condition of approval.
- 12) Per Section 10 – 9 – 8 – C – 1.a of the Village Zoning Ordinance, outdoor lighting shall not exceed one foot-candle at any point on the lot line for a lot containing a non-residential use.
- a. Photometric plan indicates outdoor lighting will exceed one foot-candle on the north, east, and west lot lines.
 - b. Staff has concerns regarding potential light pollution adversely impacting the surrounding residential properties.

APPROVAL CRITERIA FOR VARIATIONS:

- 1) **Special Circumstances:** Special circumstances, fully described in the written findings, exist that are peculiar to the property for which the Variation is sought and that do not apply generally to other properties in the same zoning district. And these circumstances are not of so general or recurrent in nature as to make it reasonably practical to provide a general amendment to this Ordinance to cover them.

Applicant's Response: Based on layout of the property, we cannot contain a direct exit to the west side of the building. Therefore, we have created an emergency exit lane that is easily accessible to all that exits to the east side of the building coming out to Eastview. Based on the requirements of the village landscaping code, it would be impossible to maintain a functioning and free flowing vacuum area while also allowing for individual landscape parcels to be placed throughout the parking lot. Based on the number of trees currently located on the site, that will need to be

removed, and the Tree Preservation Code of the Village, in order to construct a building/business properly, it is impractical to coordinate directly with the Village Code. Having the standard 24-foot curb cut will make it impractical for constant flow of traffic. Our photometric plans indicate we will exceed the maximum illumination for our light posts. The light posts are needed in those locations to provide maximum visibility to our patrons. The location of our proposed building requires the light posts to be in those locations.

- 2) **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Ordinance would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Applicant's Response: Cannot create a direct exit west due to surrounding buildings. Landscape parcels placed accordingly throughout parking lot are impractical and can create an unsteady inflow and outflow of traffic within the designated vacuum area. Due to the tree size and quantity of trees currently located on the property, this makes complying with the Tree Preservation Code impractical. Having the standard 24-foot curb cut will make it impractical for contact flow of traffic. The location of our proposed building requires the light posts to be in those locations

- 3) **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography, or soil conditions. They do not concern any business or activity the present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Applicant's Response: We have created an emergency exit lane that is easily accessible to all that exits to the east side of the building coming out to Eastview. Based on the dimensions of the designated parking lot/vacuum area adding landscape parcels will remove necessary working space for the property. The number of trees needed to be removed can never be replaced up to code based on a 6 to 1 factor (For every 1 removed, 6 need to be replanted). Based on the layout of the building, the dimensions of the land allow for the main entrance to the facility to be located on the north side of the property (busy highway), in order for the ingress and egress flow to the site to remain constant throughout business operations (especially during peak times of operation) 1 entrance and 2 exit lanes are essential. Having the standard 24-foot curb cut will make it impractical for contact flow of traffic. The location of our proposed building requires the light posts to be in those locations.

- 4) **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the Variation have not resulted from any act, undertaken subsequent to the adoption of this Ordinance or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any Variation, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Applicant's Response: The special circumstances and practical difficulties or hardships that are the basis for the Variations have not resulted from any act of the applicant or of any other party with a present interest in the property. We have not begun any work on the property without receiving the proper permits and have been communicating with Staff regarding our plans for the property for months.

- 5) **Preserve Rights Conferred by District:** A Variation is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Applicant's Response: The Variations are necessary to enjoy a substantial property right possessed by other properties in the same zoning district and do not confer a special privilege ordinarily denied to such other properties. Some properties in the same zoning district have an emergency exit lane as we would, driveways and aprons that exceed width maximums, and lack the necessary landscaping requirements.

- 6) **Necessary for Use of Property:** The granting of a Variation is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a Variation the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Applicant's Response: The granting of the Variations are necessary for the use of property because without the Variations Gem Car Wash, LLC will be deprived of reasonable use or employment of, or reasonable economic return from, the property. Creating landscape parcels within the parking lot, based on the code, it would make it impossible to install the vacuum stations necessary to properly operate a car wash business. This will also create an unnecessary hazard to the patrons utilizing the services of the property. Complying with the various landscaping requirements would make the access to vacuums impractical for our patrons. The driveway Variations are necessary for this property to maintain a constant flow of traffic and for our patrons to access our lots safely.

- 7) **Not Alter Local Character:** The granting of the Variation will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Applicant's Response: The granting of the Variations will not alter the essential character of the locality nor will substantially impair environmental quality, property values, or public safety or welfare in the vicinity. Some properties in the same zoning district have an emergency exit lane as we would, driveways and aprons that exceed width maximums and lack the necessary landscaping requirements.

- 8) **Consistent with Title and Plan:** The granting of a Variation will be in harmony with the general purpose and intent of this Ordinance and of the General Development Plan and other applicable adopted plans of the Village of Bensenville, as viewed in light of

any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Applicant's Response: The granting of the Variations will be in harmony with the general purpose and intent of this Ordinance and of the General Development Plan and other applicable adopted plans of the Village of Bensenville.

- 9) **Minimum Variation Needed:** The Variation approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Applicant's Response: Each Variation requested is the minimum required to provide Gem Car Wash, LLC with relief from undue hardship or practical difficulties with reasonable use and enjoyment of the property.

Maximum Driveway Width	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Driveway Apron Width	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Bailout Lane	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	

7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Tree Replacement Standards	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Tree Canopy Coverage	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship		X
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District		X
6. Necessary for the Use of the Property		X
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Parking Lot Interior Landscape Islands	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances Relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

Buffer Yards	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances		X
2. Hardship		X
3. Circumstances Relate to the Property		X
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District		X
6. Necessary for the Use of the Property		X

7. Not Alter Local Character	X	
8. Consistent with Title and Plan		X
9. Minimum Variation Needed		X

Outdoor Lighting Illumination Standards	Meets Criteria	
Variation Approval Criteria	Yes	No
1. Special Circumstances		X
2. Hardship		X
3. Circumstances Relate to the Property		X
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District		X
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variation Needed	X	

RECOMMENDATIONS:

Staff recommends the Approval of the above Findings of Fact as they pertain to the Variation requests for Maximum Driveway Width and therefore the Approval of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Approval of the above Findings of Fact as they pertain to the Variation requests for Driveway Apron Width and therefore the Approval of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Approval of the above Findings of Fact as they pertain to the Variation request for lack of Bailout Lane and therefore the Approval of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Approval of the above Findings of Fact as they pertain to the Variation request for relief from Tree Replacement Standards and therefore the Approval of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Denial of the above Findings of Fact as they pertain to the Variation request for Tree Canopy Coverage and therefore the Denial of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Approval of the above Findings of Fact as they pertain to the Variation request for Parking Lot Interior Landscape Islands and therefore the Approval of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Denial of the above Findings of Fact as they pertain to the Variation requests for Buffer Yards and therefore the Denial of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Denial of the above Findings of Fact as they pertain to the Variation request for Outdoor Lighting Illumination Standards and therefore the Denial of the Variation at 904-910 W. Irving Park Road.

Staff recommends the Approval of the above-recommended Variation requests be approved with the following conditions:

1. A sanitary inspection manhole will be required along with a triple basin;
2. A 5-foot wide ADA complaint public sidewalk will be required along the Eastview Ave frontage of the site;
3. A 7-foot wide stamped concrete ADA complaint public sidewalk exists along the IL-19 frontage of the site. Any disturbed sidewalk will need to be replaced in kind;
4. A plat of consolidation may be required to combine the two existing lots. The applicant must dedicate 25-feet of public rights-of-way to the Village along Eastview Ave for the purpose of widening the existing Eastview Ave to meet the Village's local roads standard. The plat of consolidation can include the ROW dedication on the same plat. A 24-foot dedication is being proposed on the plans which needs to be revised to 25-feet;
5. The developer will be required to widen Eastview Ave per Village standards. The widening will also include construction of a 5-foot wide ADA complaint public sidewalk along Eastview Ave frontage of the site. This will require design and construction of the widening. The developer shall bare all financial costs associated with such improvements;
6. The property shall be in accordance with Section 10 – 7 – 3 – C, use standards for a car wash;
7. The property shall be in accordance with Section 10 – 9 – 5 – A Parking Lot Landscaping: Tree Canopy Coverage, Section 10 – 9 – 5 – B Parking Lot Perimeter Landscape, and Section 10 – 9 – 6 Buffer Yards;
8. The Petitioner shall submit a landscape plan to be approved by the Zoning Administrator; and
9. A 6' privacy fence shall be erected on the west and south property lines.

Respectfully Submitted,
Department of Community & Economic Development

PLAT OF SURVEY

W. IRVING PARK RD
(83' PUBLIC RIGHT-OF-WAY)

904 & 910 W. IRVING PARK RD
BENSENVILLE, ILLINOIS 60106

SHEET No.: 1/1

SURVEYOR'S NOTES

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- SURVEY IS BASED ON FIELD WORK COMPLETED ON OCTOBER 26, 2018.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HEREON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
- SURVEY COMPLETED FOR
MR. HARRIS SELTZER
910 W. IRVING PARK RD
BENSENVILLE, IL 60106
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- BASIS OF BEARING: GRID NORTH - ILLINOIS EAST ZONE, STATE PLANE COORDINATE SYSTEM NAD 83.
- PARCEL 1 AND 3 SHOWN PER QUIT CLAIM DEED DOC NO R2006-222787, PARCELS 1, 2, AND 3 SHOWN PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 18GNW535050RM.
- PARCEL 2 AND 3 ARE COMBINED PER TRUSTEE'S DEED DOC NO R2016-127477. CLIENT NOTIFIED SURVEYOR THAT THE DESCRIPTION FURNISHED IN R2016-127477 WAS IN ERROR.

LEGEND

PROPERTY BOUNDARY	—
OFFSITE PROPERTY LINE	---
EASEMENT LINE	- - -
BUILDING SETBACK LINE	- - -
FOUND IRON PIPE	O
SET 3/4" IRON PIPE	O _{SP}
FOUND PK NAIL	O _{SMAG}
OVERHEAD UTILITY LINES	---
FENCE LINE	---
POWER POLE	---
LIGHT POLE	---

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

WE, MERITCORP, LLC, HEREBY CERTIFY THAT WE HAVE SURVEYED THE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAID SURVEY.

GIVEN UNDER MY HAND AND SEAL ON THIS 29TH DAY OF OCTOBER 2018.

Jonathan D. Spinazzola
JONATHAN D. SPINAZZOLA
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3668
CURRENT LICENSE EXPIRES NOVEMBER 30, 2018



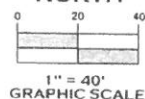
LEGAL DESCRIPTION

PARCEL 1
THE EAST 229 FEET (EXCEPT THE EAST 80 FEET THEREOF) AND (EXCEPT EASTVIEW APARTMENT PER DOCUMENT R72-70911) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTION 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 2
THE NORTH 250 FEET OF THE EAST 80 FEET (EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) (MEASURED ALONG THE NORTH LINE) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.

PARCEL 3
THE EAST 80 FEET (EXCEPT THE NORTH 250 FEET AND EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.

NORTH



DATE	DESCRIPTION
10-29-2018	ISSUED TO CLIENT
PLAT OF SURVEY	
904 & 910 W. IRVING PARK RD BENSENVILLE, IL 60106	
PROJECT No. M18152	
DRAWN BY JDS	CHECKED BY JDS
COPYRIGHT © 2018 MeritCorp	



MeritCorp

ENGINEERING PLANNING SURVEYING ENVIRONMENTAL
50 North Broadway, Suite 3-9 3697 Darlene Ct.
Palatine, IL 60067 Aurora, IL 60504
Office 847.496.4170 Office 630.554.6655
Lic. No. 184-005860 www.meritcorp.com

MAIN ST
DEDICATED BY DOC NO R72-70911
(33' PUBLIC RIGHT-OF-WAY)

EXCEPTION
EASTVIEW APARTMENTS

GEM CAR WASH

904-910 W. IRVING PARK RD., BENSENVILLE, IL.
OWNER: JOHN SADIKU
ARCHITECT: RAY FANG & ASSOCIATES

ZONING DISTRICT: C-2

MINIMUM LOT AREA N/A
MINIMUM LOT WIDTH 50 FT.
MAXIMUM PRINCIPAL BUILDING HEIGHT N/A
MAXIMUM IMPERVIOUS COVERAGE 90%

SETBACK REQUIREMENTS:

C. MAXIMUM FRONT SETBACK 60 FT.
D. MAXIMUM CORNER SIDE SETBACK 60 FT.
E. MINIMUM INTERIOR SIDE SETBACK 0 FT.
F. MINIMUM REAR SETBACK 0 FT.
MINIMUM SETBACK ADJACENT TO A RESIDENTIAL DISTRICT 25 FT.

DESIGN REQUIREMENTS:

G. PARKING LOCATION FRONT, CORNER SIDE, INTERIOR SIDE, OR REAR YARD
MINIMUM TRANSPARENCY 60%
PRINCIPAL ENTRANCE LOCATION FRONT OR CORNER SIDE FACADE

TYPE OF OCCUPANCY: TYPE B, BUSINESS

TYPE OF CONSTRUCTIONS: TYPE IIB

STRUCTURAL FRAME
COLUMNS, GIRDERS, TRUSSES 0 HR
BEARING WALLS
EXTERIOR 2 HR
(EXTERIOR WALL SEPARATION > 30 FT, THEREFORE 0 HR)
INTERIOR 0 HR
NON BEARING WALL
EXTERIOR TABLE 602
INTERIOR 0 HR
FLOOR CONSTRUCTION 0 HR
ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS, JOISTS -- 0 HR

EGRESS:

ONE EGRESS AS OCCUPANCY < 50

FIRE SPRINKLER & FIRE ALARM:

PROVIDE NEW. CONTRACTOR TO APPLY FOR SEPARATE PERMIT FOR FIRE ALARM AND FIRE SPRINKLERS

SITE DATA SUMMARY:

(REFER TO CIVIL FOR MORE DETAILS)

TOTAL SITE DEVELOPMENT AREA 71,263 SF

EXISTING SITE CONDITIONS:

. BUILDING AREA 3830.8 SF
. PARKING AREA 6,400 SF

EXISTING VEGETATION

NEW DEVELOPMENT SUMMARY:

. BUILDING AREA 5,635 + 2329.4 SF
. PARKINGS & DRIVEWAYS 556 CIVIL

. SIDEWALKS 2,596 SF
. LANDSCAPINGS SEE L-1

DRAWING INDEX:

T-1 NEW SITE DEVELOPMENT PLAN, ZONING & BUILDING CODE SUMMARY, PERSPECTIVE VIEW & DRAWING INDEX.

L-1 LANDSCAPING PLANS, NOTES

A-1 FLOOR & CEILING PLAN, ENLARGED TOILET PLAN, NEW STAIR DETAILS

A-2 NORTH, SOUTH & WEST ELEVATIONS, CROSS SECTION

A-3 EAST ELEV., 2ND FL. & CEILING PLANS, ROOF PLAN

A-4 WALL SECTION AND DETAILS, ADA DIMEN., DOOR & ROOM SCHEDULES

AE-5 DETAIL AREA PLANS, AND ELEVATIONS

A-6 DETAIL WALL SECTION, ROOM & DOOR SCHEDULES

S-1 DESIGN LOAD, FOUNDATION PLANS, DETAILS

S-2 ROOF SLAB (SPANCRETE), 2ND FL. FRAMINGS, CMU PIER REINF. DETAILS

S-3 LINTEL BEAM PLAN AND DETAILS, STAIR FRAMINGS

M-1 1ST & 2ND, FL. CEILING PLAN, ROOF TOP UNIT, EXHAUST FAN SCHEDULES, VENTILATION DATA AND SUMMARIES

M-2 DETAIL AREA M-PLAN & EQ. SCHEDULES

E-1 NEW FL. & CEILING E-PLANS

E-2 2ND FL. & CEILING E-PLANS, E-RISER, E-PANEL SCHEDULES, E-NOTES

E-3 SITE LIGHTS, TYP. PARKING POST DETAIL

E-4 PHOTOMETRIC STUDY, FIXTURES AND DENSITY SUMMARY

P-1 NEW FLOOR PLAN, WASTE/VENT/WATER DIAGRAM, FIXTURE SCHEDULES AND PLUMBING NOTES.

VILLAGE NOTES:

FIRE SPRINKLER AND FIRE ALARM:

OWNER TO PROVIDE SEPARATE FIRE SPRINKLER AND FIRE ALARM DRAWINGS FOR VILLAGES FIRE DEPARTMENT'S APPROVAL.

HANDICAP NOTES:

1.) HANDICAP NOTES:

- MAINTAIN TOILET CENTERLINE 18" FROM THE WALL. NEW SEAT HEIGHT SHALL BE BETWEEN 17" TO 19". TOILETS FLUSH CONTROL SHALL BE IN COMPLIANCE WITH ANSI 4.16.5.
 - GRAB BARS SHALL BE BETWEEN 33" TO 36" A.F.F., AND ARE 36" (REAR) AND 42" (SIDE) IN LENGTH. GRAB BARS SHALL BE IN COMPLIANCE WITH ANSI 4.24.
 - COUNTER OR RIM OF LAVATORY CAN NOT EXCEED 34". CLEARANCE UNDER LAVATORY RIM IS MIN. 29".
 - FAUCETS SHALL BE IN COMPLIANCE WITH ANSI 4.19.5.
 - THE BOTTOM OF INSTALLED MIRROR SHALL NOT BE MORE THAN 40" A.F.F. (ANSI 4.19.6)
 - TOILET PAPER DISPENSER IN HANDICAP TOILET STALL SHALL BE IN COMPLIANCE WITH ANSI 4.16.6 AND MOUNTED A MIN. OF 19" TO OPERATING DEVICE.
 - PROVIDE MIN. CLEARANCE FOR ALL GRAB BARS, AND THAT NO INTERFERENCE WILL RESULT FROM FLUSH CONTROLS OR WATER CLOSET, OR FROM PLACEMENT OF TOILET PAPER HOLDER, OR FROM TOILET SEAT LID. (ANSI 4.24)
 - ALL OPERATING CONTROLS (SOAP DISPENSERS, PAPER TOWEL DISPENSERS, ETC.) ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, ETC. IN COMPLIANCE WITH ANSI 4.25.4
 - PROVIDE SIGNAGE INDICATING ACCESSIBILITY IN ACCORDANCE WITH ANSI 4.28.5 FOR THE ENTRANCE. (IAC 400.310 r.
- TACTILE WARNING SURFACE FOR DOORS: PROVIDE TACTILE WARNING SURFACE (KNURL) FOR ALL DOORS TO HAZARDOUS ROOMS. I.E. STAIRWELL, STORAGE ROOMS, MECHUTIL RM, ELECTRICAL RM, SPRINKLER ROOM.
 - TACTILE WARNING SURFACE FOR STAIRS: PROVIDE TACTILE WARNING SURFACE (PER IDOT) FOR ALL LANDINGS LEADING TO THE STAIR, MIN. 3' DEEP ALONG THE PATH OF EGRESS.

ENERGY CODE REQUIREMENTS:

IEC 2018, TABLE C402.1.3, C402.1.4

COMPONENTS	CODE VALUE	PROJECT VALUE	REMARKS
EXT. WALLS W/ WOOD FURRING	U=0.064	U=0.064	8" CMU W/ 1" INSULATION WALL & WITH INTERIOR WOOD FURRING, R-13
EXT. WALLS W/ WOOD FURRING	U=0.064	U=0.064	6" METAL STUDS W/ 2" C. I. WALL & WITH INTERIOR METAL FURRING, R-21, TOTAL R=17.35 OR U=0.0576
ROOF	R=30 C.I.	R=32.5 C.I.	5" ISO CAN. (R=6.5/IN) THERMAL INSULATION
WINDOWS	U=0.38 SHGC=0.40	U=0.35 SHGC=0.40	1" STOREFRONT TYPE WINDOW W/ LOW E
SKYLIGHTS	U=0.50 SHGC=0.40	U=0.50 SHGC=0.40	BY WASCO COMPANY IF USED
OPAQUE DOORS	U=0.35 U=0.31	U=0.35 U=0.30	SWINGING SLIDING, ROLL-UP DOOR TYPE

VALUES ABOVE ARE MINIMUMS. SEE DRAWING FOR ACTUAL

GENERAL BUILDING NOTES:

- CODES AND REGULATIONS:
COMPLY WITH CODES, LAWS, LOCAL ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- INSPECTIONS OR PERMIT FEES:
OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DISCREPANCIES:
3.1) IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE GENERAL NOTES, DRAWINGS, AND/OR TECHNICAL SPECIFICATIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT TO RESOLVE THE DISCREPANCY.
3.2) NOTES AND REFERENCES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIALS. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE APPLICABLE TO RELATED DRAWINGS AND DETAILS.
3.3) DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED CONSULT THE ARCHITECT BEFORE BEGINNING WORK.
3.4) THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS.
3.5) ANY DETAILS, SYSTEMS, MATERIALS, ETC. WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.

4. MATERIAL SUBMITTED AS OR EQUALS:

ANY DETAILS, SYSTEMS, MATERIALS, ETC. WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.

5. FIRE RESISTIVE REQUIREMENTS:

ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION WHICH IS REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE INSTALLED PER THE MANUFACTURERS' PUBLISHED TESTED ASSEMBLY AND SHALL BE TIGHT AND SHALL PREVENT THE PASSAGE OF SMOKE OR FLAME.

GENERAL HEADROOM REQTS.:

PROVIDE 7'-6" MINIMUM HEADROOM CLEARANCE TO ALL STRUCTURAL FRAMING, METAL WORK, PIPING, LIGHTING, DUCTWORK, ETC. IN ALL STAIRWAYS AND EXIT PASSAGES AT ALL CONDITIONS.

ISOLATION OF DISSIMILAR MATERIALS:

ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.

6. ACCESS PANELS FOR EQUIPMENT, VALVES, ETC.

6.1) PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION. SHOP DRAWINGS SHALL BE SUBMITTED LOCATING ALL ACCESS PANELS.

6.2) CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION WORK AND THE CEILING INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REVIEW WITH ARCHITECT.

6.3) CONTRACTOR TO COORDINATE ALL EQUIPMENT HOUSEKEEPING PADS WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION CONTRACTORS. SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.

DIMENSION CRITERIA:

ALL DIMENSIONS SHALL BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING WITH THE WORK.

PARTITIONS ARE DIMENSIONED TO THE UNFINISHED FACE OF THE WALL U.N.O. DIMENSIONS SHALL GOVERN. DO NOT SCALE DRAWINGS.

UNLESS NOTED OTHERWISE ALL STAIRS, ELEVATOR SHAFTS, AND MECHANICAL SHAFTS ARE DIMENSIONED TO THEIR CLEAR INSIDE OPENING.

10. PARTITION CRITERIA:

10.1) UNLESS NOTED OTHERWISE ALL PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURAL DECK AND FRAMING SYSTEM ABOVE.

10.2) PROVIDE FOR VERTICAL MOVEMENT AT HEAD OF ALL CMU AND GYPSUM BOARD CONSTRUCTION. IN GYP. BOARD CONSTRUCTION CONNECT THE HEAD RUNNER CHANNEL TO UNDERSIDE OF STRUCTURE. CUT STUDS TO ALLOW FOR VERTICAL MOVEMENT AND DO NOT FASTEN TO RUNNER CHANNEL. FASTEN GYP. BOARD TO STUDS ONLY.

10.3) PROVIDE CONTROL JOINTS IN GYPSUM BOARD CONSTRUCTION SUCH THAT FURRING RUNS DO NOT EXCEED 30'-0" IN EITHER DIRECTION WITHOUT PERIMETER RELIEF.

10.4) PROVIDE LATERAL STEEL BRACING TO STRUCTURE ABOVE FINISHED CEILINGS FOR PARTITIONS EXCEEDING UNSUPPORTED HEIGHTS INDICATED ON DRAWINGS.

10.5) PROVIDE CONTINUOUS GYPSUM BOARD CANTS IN ELEVATOR SHAFTS WHERE HORIZONTAL SURFACES PROJECT INTO SHAFTS MORE THAN 2'.

10.6) ALL TOILET DEMISING WALLS SHALL EXTEND TO UNDERSIDE OF STRUCTURE U.N.O.

10.7) PROVIDE SOUND ATTENUATION BLANKETS AS INDICATED.

10.8) ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND ROOF, AND AT THE PENETRATION OF THE EXTERIOR WALL WITH MECHANICAL, ELECTRICAL, AND/OR PLUMBING ELEMENTS SHALL BE SEALED OR WEATHER STRIPPED TO PREVENT AIR LEAKAGE.

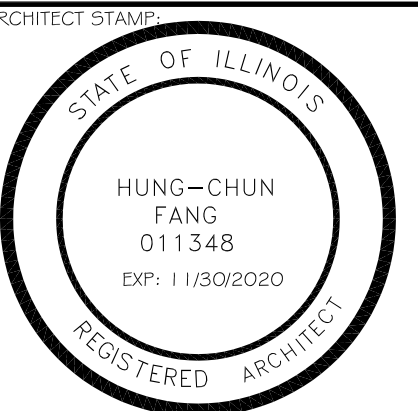
11. FINISHING AND DOOR SCHEDULES:

SEE DRAWING FOR FINISHING AND DOOR SCHEDULES.

ARCHITECT'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL LOCAL CODES AND ORDINANCES. ANY REPRODUCTIONS, CHANGES OR ASSIGNMENTS WITHOUT MY WRITTEN CONCENT ARE PROHIBITED.

HUNG-CHUN FANG
ILLINOIS LICENSED ARCHITECT
NO. 001-011348
3-15-2020
DATE SEALED

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: TITLE PAGE, GENERAL NOTES, SITE PLAN, ZONING CODES, BUILDING CODES, SIGNS	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREPARED: RAY	DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP:  DRAWING NO.: T-1	2020 COPYRIGHT PROTECTED
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614			0	FOR PERMITS	RAY 3/15/2020	REVIEWER: JOHN	DATE: 2/9/2020			
				01	SHOW CONCRETE APRON TO SITE	RAY 4/30/2020	APPROVER:	DATE:			
							PROJECT NUMBER: 12-10-2019A				
							SCALE: AS SHOWN				

GEM CAR WASH

904-910 W. IRVING PARK RD., BENSENVILLE, IL.

OWNER: JOHN SADIKU

ARCHITECT: RAY FANG & ASSOCIATES

ZONING DISTRICT: C-2

A	MINIMUM LOT AREA	N/A
B	MINIMUM LOT WIDTH	50 FT.
C	MAXIMUM PRINCIPAL BUILDING HEIGHT	N/A
D	MAXIMUM IMPERVIOUS COVERAGE	90%

SETBACK REQUIREMENTS:

C	MAXIMUM FRONT SETBACK	60 FT.
D	MAXIMUM CORNER SIDE SETBACK	60 FT.
E	MINIMUM INTERIOR SIDE SETBACK	0 FT.
F	MINIMUM REAR SETBACK	0 FT.
G	MINIMUM SETBACK ADJACENT TO A RESIDENTIAL DISTRICT	25 FT.

DESIGN REQUIREMENTS:

G	PARKING LOCATION	FRONT, CORNER SIDE, INTERIOR SIDE, OR REAR YARD
H	MINIMUM TRANSPARENCY	60%
I	PRINCIPAL ENTRANCE LOCATION	FRONT OR CORNER SIDE FACADE

TYPE OF OCCUPANCY: TYPE B, BUSINESS

TYPE OF CONSTRUCTIONS: TYPE IIB

STRUCTURAL FRAME, COLUMNS, GIRDERS, TRUSSES	0 HR
BEARING WALLS	0 HR
EXTERIOR	2 HR
(EXTERIOR WALL SEPARATION > 30 FT, THEREFORE 0 HR)	0 HR
INTERIOR	0 HR
NON BEARING WALL	0 HR
EXTERIOR	TABLE 602
INTERIOR	0 HR
FLOOR CONSTRUCTION	0 HR
ROOF CONSTRUCTION	0 HR
INCLUDING SUPPORTING BEAMS, JOISTS	0 HR

EGRESS:

ONE EGRESS AS OCCUPANCY < 50

FIRE SPRINKLER & FIRE ALARM:

PROVIDED NEW. CONTRACTOR TO APPLY FOR SEPARATE PERMIT FOR FIRE ALARM AND FIRE SPRINKLERS

SITE DATA SUMMARY:

(REFER TO CIVIL FOR MORE DETAILS)

TOTAL SITE DEVELOPMENT AREA 71,663 SF

EXISTING SITE CONDITIONS:

BUILDING AREA	3830.8 SF
PARKING AREA	6,400 SF
LANDSCAPING AREA	EXISTING VEGETATION
NEW DEVELOPMENT SUMMARY:	
BUILDING AREA	5,635 + 2329.4 SF
PARKINGS & DRIVEWAYS	SEE CIVIL
SIDEWALKS	2,596 SF
LANDSCAPINGS	SEE L-1

DRAWING INDEX:

T-1 NEW SITE DEVELOPMENT PLAN, ZONING & BUILDING CODE SUMMARY, PERSPECTIVE VIEW & DRAWING INDEX
L-1 LANDSCAPING PLANS, NOTES
A-1 FLOOR & CEILING PLAN, ENLARGED TOILET PLAN, NEW STAIR DETAILS
A-2 NORTH, SOUTH & WEST ELEVATIONS, CROSS SECTION
A-3 EAST ELEV., 2ND FL. & CEILING PLANS, ROOF PLAN
A-4 WALL SECTION AND DETAILS, ADA DIMEN, DOOR & ROOM SCHEDULES
A-5 DETAIL AREA PLANS, AND ELEVATIONS
A-6 DETAIL WALL SECTION, ROOM & DOOR SCHEDULES
S-1 DESIGN LOAD, FOUNDATION PLANS, DETAILS
S-2 ROOF SLAB (SPRANCRETE), 2ND FL. FRAMINGS, CMU PIER REINF. DETAILS
S-3 UNIL BEAM PLAN AND DETAILS, STAIR FRAMINGS
M-1 1ST & 2ND FL. CEILING, M-PLAN, ROOF TOP UNIT, EXHAUST FAN SCHEDULES, VENTILATION DATA AND SUMMARIES
M-2 DETAIL AREA M-PLAN & EQ. SCHEDULES
E-1 NEW FL. & CEILING, E-PLANS
E-2 2ND FL. & CEILING, E-PLANS, E-RISER, E-PANEL SCHEDULES, E-NOTES
E-3 SITE LIGHTS, TYP. PARKING POST DETAIL
E-4 PHOTOMETRIC STUDY, FIXTURES AND DENSITY SUMMARY
P-1 NEW FLOOR P-PLAN, WASTE/VENT/WATER DIAGRAM, FIXTURE SCHEDULES AND PLUMBING NOTES

VILLAGE NOTES:

FIRE SPRINKLER AND FIRE ALARM:
OWNER TO PROVIDE SEPARATE FIRE SPRINKLER AND FIRE ALARM DRAWINGS FOR VILLAGES FIRE DEPARTMENT'S APPROVAL.

HANDICAP NOTES:

1.) HANDICAP NOTES:

- MAINTAIN TOILET CENTERLINE 18" FROM THE WALL. NEW SEAT HEIGHT SHALL BE BETWEEN 17" TO 19". TOILET'S FLUSH CONTROL SHALL BE IN COMPLIANCE WITH ANSI 4.16.5.
- GRAB BARS SHALL BE BETWEEN 33" TO 36" A.F.F., AND ARE 36" (REAR) AND 42" (SIDE) IN LENGTH. GRAB BARS SHALL BE IN COMPLIANCE WITH ANSI 4.24.
- COUNTER OR RIM OF LAVATORY CAN NOT EXCEED 34". CLEARANCE UNDER LAVATORY RIM IS MIN. 29".
- Faucets shall be in compliance with ANSI 4.19.5.
- THE BOTTOM OF INSTALLED MIRROR SHALL NOT BE MORE THAN 40" A.F.F. (ANSI 4.19.6)
- TOILET PAPER DISPENSER IN HANDICAP TOILET STALL SHALL BE IN COMPLIANCE WITH ANSI 4.16.6 AND MOUNTED A MIN. OF 19" TO OPERATING DEVICE.
- PROVIDE MIN. CLEARANCE FOR ALL GRAB BARS, AND THAT NO INTERFERENCE WILL RESULT FROM FLUSH CONTROLS OR WATER CLOSET, OR FROM PLACEMENT OF TOILET PAPER HOLDER, OR FROM TOILET SEAT LID. ANSI 4.24
- ALL OPERATING CONTROLS (SOAP DISPENSERS, PAPER TOWEL DISPENSERS, ETC.) ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND NOT REQUIRE GRASPING, ETC. IN COMPLIANCE WITH ANSI 4.25.4
- PROVIDE SIGNAGE INDICATING ACCESSIBILITY IN ACCORDANCE WITH ANSI 4.28.5 FOR THE ENTRANCE. (IAC 400.310 r.
- TACTILE WARNING SURFACE FOR DOORS: PROVIDE TACTILE WARNING SURFACE (KNURL) FOR ALL DOORS TO HAZARDOUS ROOMS. I.E. STAIRWELL, STORAGE ROOMS, MECH/UTIL RM, ELECTRICAL RM, SPRINKLER ROOM.
- TACTILE WARNING SURFACE FOR STAIRS: PROVIDE TACTILE WARNING SURFACE (PER IDOT) FOR ALL LANDINGS LEADING TO THE STAIR, MIN. 3" DEEP ALONG THE PATH OF EGRESS.

ENERGY CODE REQUIREMENTS:

IEC 2018, TABLE C402.1.3, C402.1.4

COMPONENTS	CODE VALUE	PROJECT VALUE	REMARKS
EXT. WALLS W/ WOOD FURRING	U=0.064	U=0.064	8" CMU W/ 1" INSULATION WALL & WITH INTERIOR WOOD FURRING, R-13
EXT. WALLS W/ WOOD FURRING	U=0.064	U=0.064	6" METAL STUDS W/ 2" C. I. WALL & WITH INTERIOR METAL FURRING, R-21, TOTAL R=17.35 OR U=0.0576
ROOF	R=30 C.I.	R=32.5 C.I.	5" ISOCAN. (R=G.5/IN) THERMAL INSULATION
WINDOWS	U=0.38 SHGC=0.40	U=0.35 SHGC=0.40	1" STOREFRONT TYPE WINDOW W/ LOW E
SKYLIGHTS	U=0.50 SHGC=0.40	U=0.50 SHGC=0.40	BY WASCO COMPANY IF USED
OPAQUE DOORS	U=0.35 U=0.31	U=0.35 U=0.30	SWINGING SLIDING, ROLL-UP DOOR TYPE

VALUES ABOVE ARE MINIMUMS. SEE DRAWING FOR ACTUAL

GENERAL BUILDING NOTES:

- CODES AND REGULATIONS:
COMPLY WITH CODES, LAWS, LOCAL ORDINANCES, RULES, AND REGULATIONS OF PUBLIC AUTHORITIES GOVERNING THE WORK.
- INSPECTIONS OR PERMIT FEES:
OBTAIN AND PAY FOR PERMITS AND INSPECTIONS REQUIRED BY PUBLIC AUTHORITIES GOVERNING THE WORK.
- DISCREPANCIES:
3.1) IN THE EVENT THAT THERE IS A DISCREPANCY BETWEEN THE GENERAL NOTES, DRAWINGS, AND/OR TECHNICAL SPECIFICATIONS THE CONTRACTOR SHALL NOTIFY THE ARCHITECT TO RESOLVE THE DISCREPANCY.
3.2) NOTES AND REFERENCES APPEAR ON VARIOUS SHEETS FOR DIFFERENT SYSTEMS AND CONSTRUCTION MATERIALS. ALL SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE APPLICABLE TO RELATED DRAWINGS AND DETAILS.
3.3) DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED, WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED CONSULT THE ARCHITECT BEFORE BEGINNING WORK.
3.4) THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS.
3.5) ANY DETAILS, SYSTEMS, MATERIALS, ETC. WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.
- MATERIAL SUBMITTED AS OR EQUALS:
ANY DETAILS, SYSTEMS, MATERIALS, ETC. WHICH ARE PROPOSED TO BE CHANGED MUST BE REVIEWED AND FOUND ACCEPTABLE BY THE ARCHITECT.
- FIRE RESISTIVE REQUIREMENTS:
ALL JOINTS OF ANY ELEMENT OF CONSTRUCTION WHICH IS REQUIRED TO HAVE A FIRE RESISTANCE RATING SHALL BE INSTALLED PER THE MANUFACTURERS' PUBLISHED TESTED ASSEMBLY AND SHALL BE TIGHT AND SHALL PREVENT THE PASSAGE OF SMOKE OR FLAME.
GENERAL HEADROOM REQTS.:
PROVIDE 7'-6" MINIMUM HEADROOM CLEARANCE TO ALL STRUCTURAL FRAMING, METAL WORK, PIPING, LIGHTING, DUCTWORK, ETC. IN ALL STAIRWAYS AND EXIT PASSAGES AT ALL CONDITIONS.
- ISOLATION OF DISSIMILAR MATERIALS:
ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN.
- ACCESS PANELS FOR EQUIPMENT, VALVES, ETC.,
8.1) PROVIDE ACCESS PANELS AS REQUIRED BY APPLICABLE CODES AND AS REQUIRED. ALL ACCESS PANELS SHALL BE CONCEALED AND LOCATIONS SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION. SHOP DRAWINGS SHALL BE SUBMITTED LOCATING ALL ACCESS PANELS.
8.2) CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION WORK, AND THE CEILING INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION REVIEW WITH ARCHITECT.
- 8.3) CONTRACTOR TO COORDINATE ALL EQUIPMENT HOUSEKEEPING PADS WITH MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION CONTRACTORS. SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.
- DIMENSION CRITERIA:
ALL DIMENSIONS SHALL BE VERIFIED ON SITE BY CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
PARTITIONS ARE DIMENSIONED TO THE UNFINISHED FACE OF THE WALL U.N.O. DIMENSIONS SHALL GOVERN. DO NOT SCALE DRAWINGS.
UNLESS NOTED OTHERWISE ALL STAIRS, ELEVATOR SHAFTS, AND MECHANICAL SHAFTS ARE DIMENSIONED TO THEIR CLEAR INSIDE OPENING.
- PARTITION CRITERIA:
10.1) UNLESS NOTED OTHERWISE ALL PARTITIONS SHALL EXTEND TO THE UNDERSIDE OF THE STRUCTURAL DECK AND FRAMING SYSTEM ABOVE.
10.2) PROVIDE FOR VERTICAL MOVEMENT AT HEAD OF ALL CMU AND GYPSUM BOARD CONSTRUCTION. IN GYP. BOARD CONSTRUCTION CONNECT THE HEAD RUNNER CHANNEL TO UNDERSIDE OF STRUCTURE, CUT STUDS TO ALLOW FOR VERTICAL MOVEMENT AND DO NOT FASTEN TO RUNNER CHANNEL. FASTEN GYP. BOARD TO STUDS ONLY.
10.3) PROVIDE CONTROL JOINTS IN GYPSUM BOARD CONSTRUCTION SUCH THAT FURRING RUNS DO NOT EXCEED 30'-0" IN EITHER DIRECTION WITHOUT PERIMETER RELIEF.
10.4) PROVIDE LATERAL STEEL BRACING TO STRUCTURE ABOVE FINISHED CEILINGS FOR PARTITIONS EXCEEDING UNSUPPORTED HEIGHTS INDICATED ON DRAWINGS.
10.5) PROVIDE CONTINUOUS GYPSUM BOARD CANTS IN ELEVATOR SHAFTS WHERE HORIZONTAL SURFACES PROJECT INTO SHAFTS MORE THAN 2".
10.6) ALL TOILET DEMISING WALLS SHALL EXTEND TO UNDERSIDE OF STRUCTURE U.N.O.
10.7) PROVIDE SOUND ATTENUATION BLANKETS AS INDICATED.
10.8) ALL EXTERIOR JOINTS AROUND WINDOWS AND DOOR FRAMES, BETWEEN WALLS AND ROOF, AND AT THE PENETRATION OF THE EXTERIOR WALL WITH MECHANICAL, ELECTRICAL, AND/OR PLUMBING ELEMENTS SHALL BE SEALED OR WEATHER STRIPPED TO PREVENT AIR LEAKAGE.
- FINISHING AND DOOR SCHEDULES:
SEE DRAWING FOR FINISHING AND DOOR SCHEDULES.

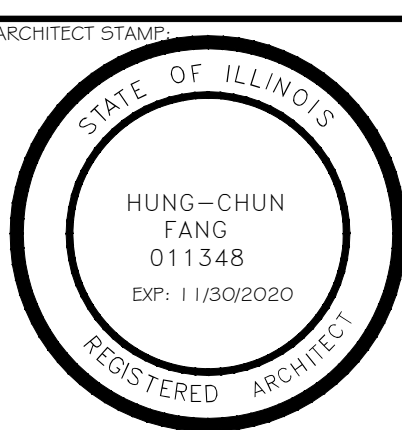
ARCHITECT'S CERTIFICATION:

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE CONFORM TO ALL LOCAL CODES AND ORDINANCES. ANY REPRODUCTIONS, CHANGES OR ASSIGNMENTS WITHOUT MY WRITTEN CONCENT ARE PROHIBITED.

Hung-Chun Fang
HUNG-CHUN FANG
ILLINOIS LICENSED ARCHITECT
NO. 001-011348

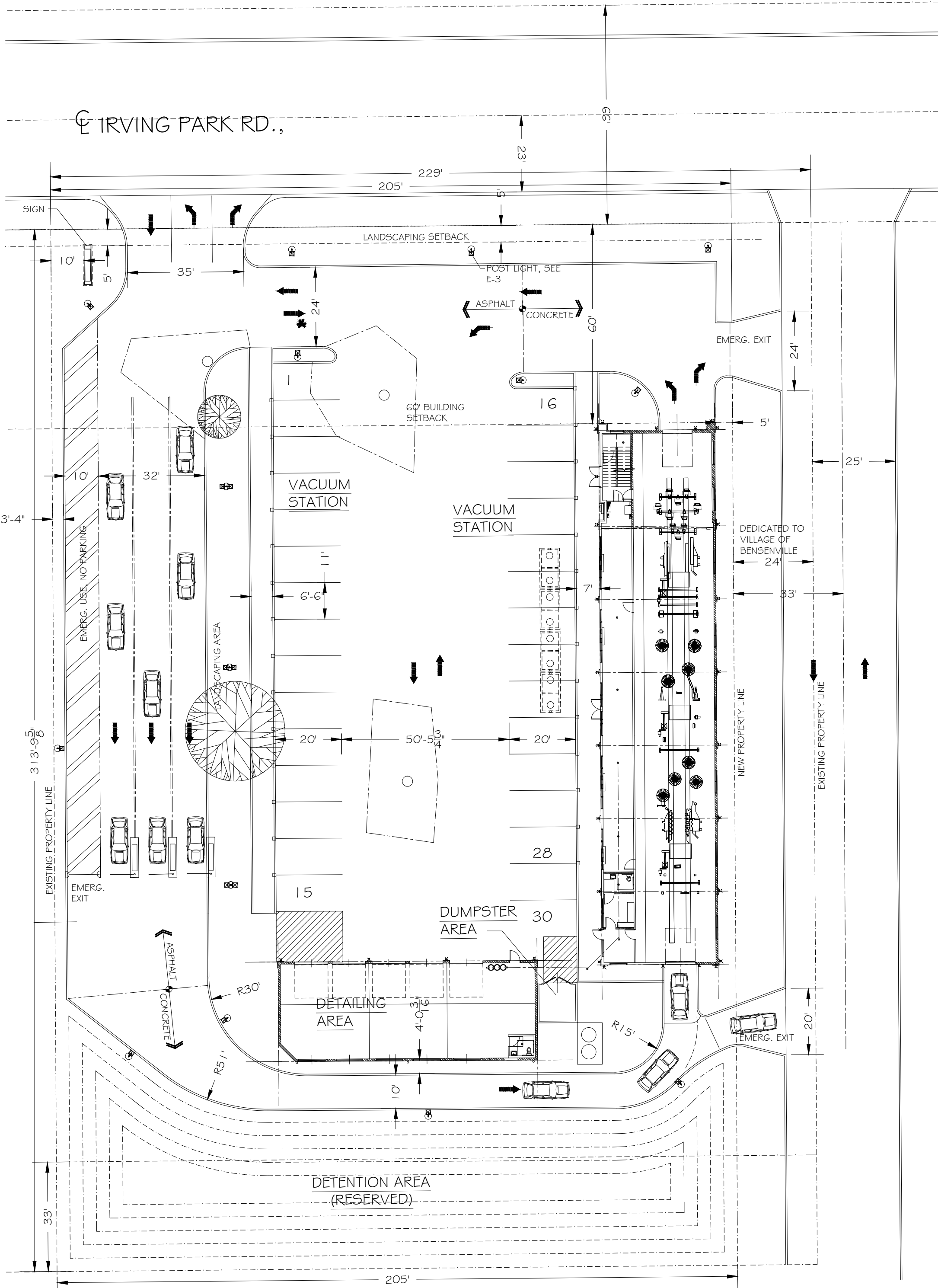
3-15-2020

DATE SEALED



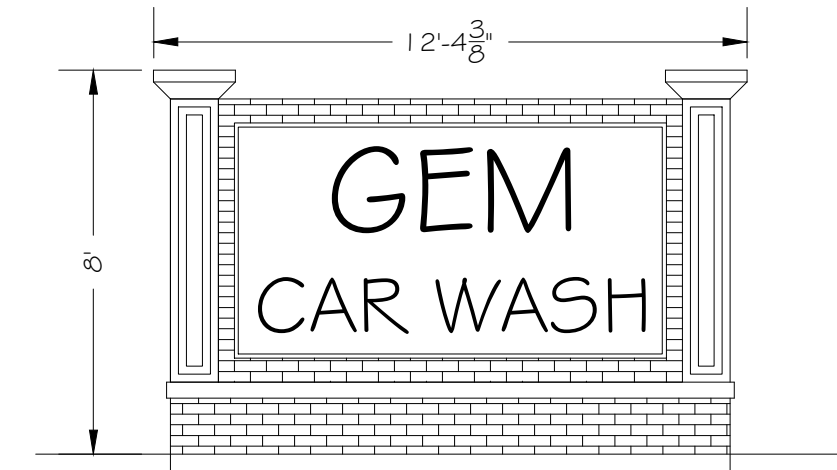
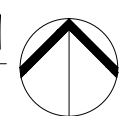
T-1

2020 COPYRIGHT PROTECTED



SITE PLAN

1"=25'-0"



FRONT VIEW

1/4"=1'-0"



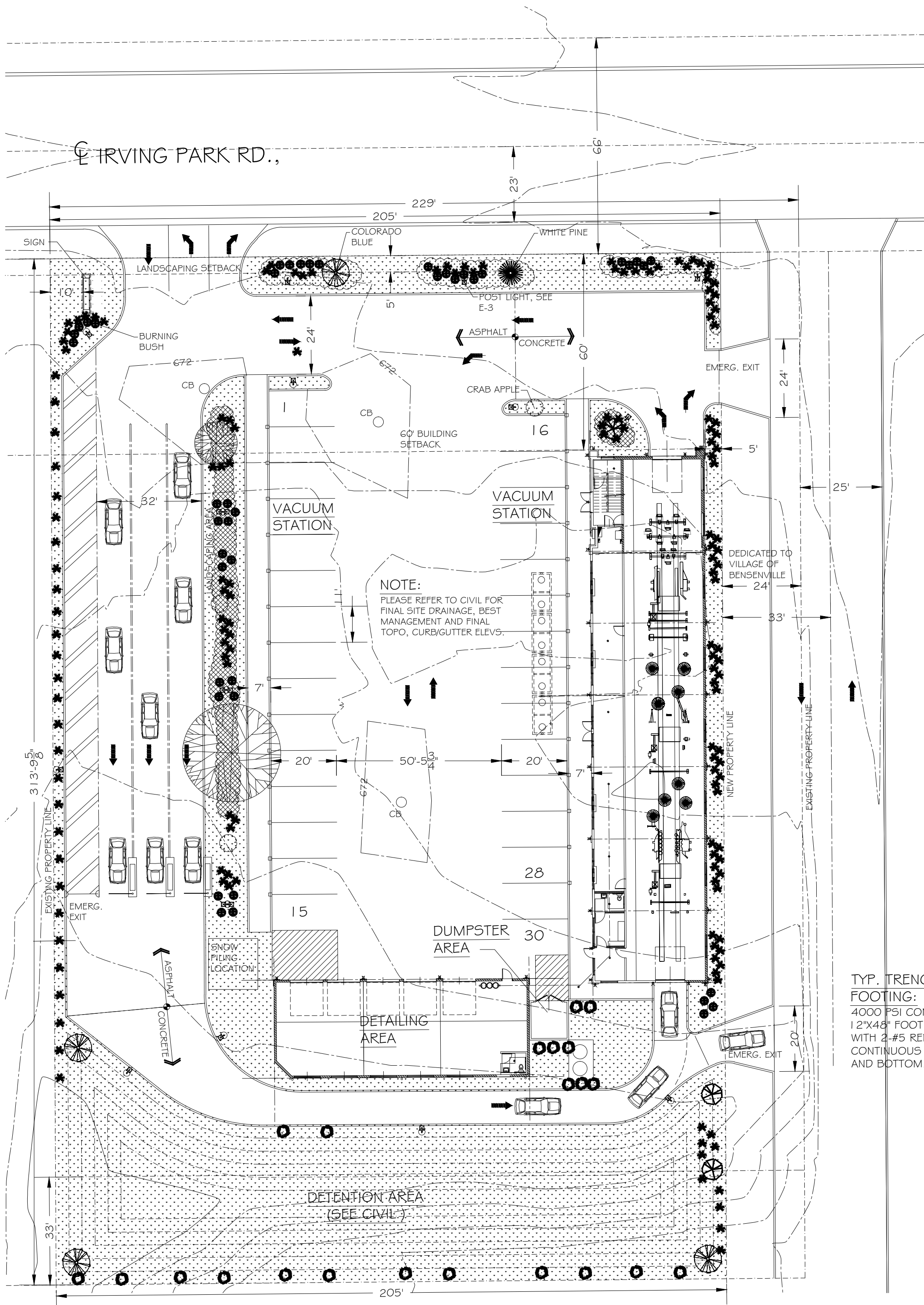
TOTAL SIGN AREA IS:

5' X 1.802' + 1.182' X (3.167' + 4.432') = 18 SF

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: TITLE PAGE, GENERAL NOTES, SITE PLAN, ZONING CODES, BUILDING CODES, SIGNS
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614	

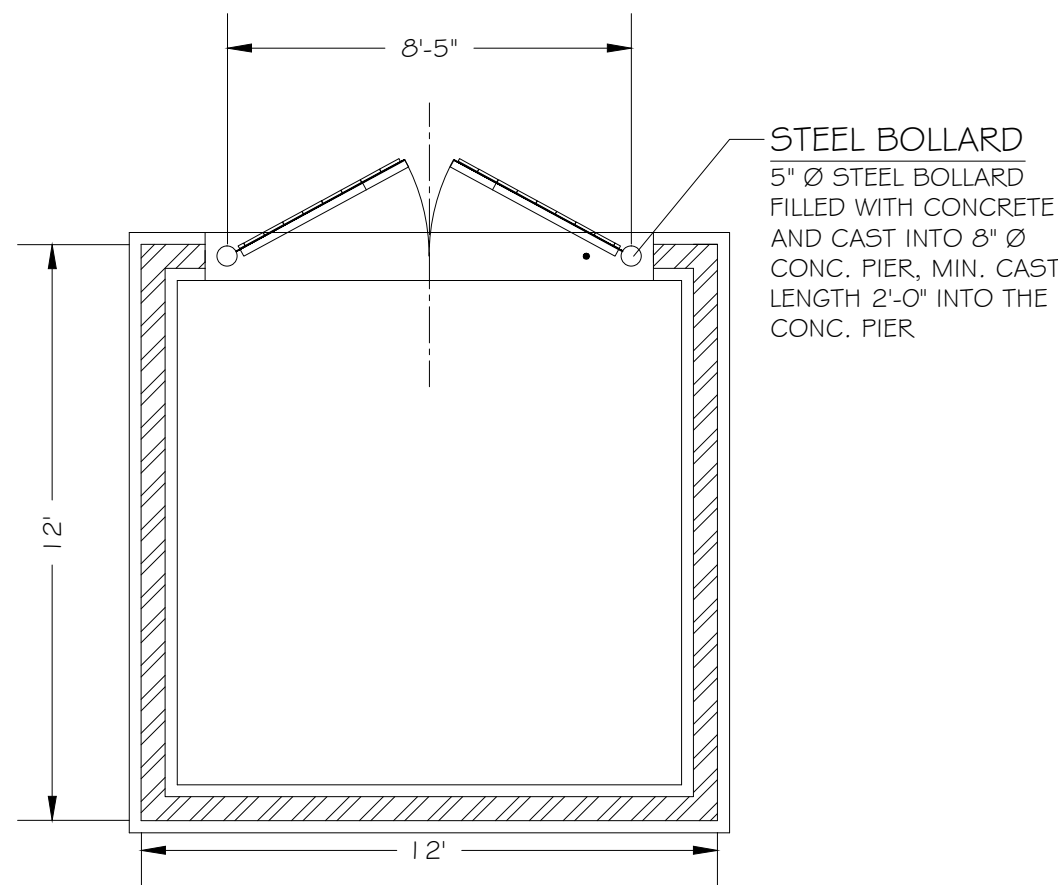
NO. REV.	DESCRIPTIONS	BY/DATE	PREPARED: DATE:	CROSS REFERENCES:
0	FOR PERMITS	RAY 3/15/2020	RAY 2/9/2020	
			REVIEWER: JOHN DATE: 2/9/2020	
			APPROVER: DATE:	
			PROJECT NUMBER: 12-10-2019A	
			SCALE: AS SHOWN	

ARCHITECT STAMP:	DRAWING NO.:

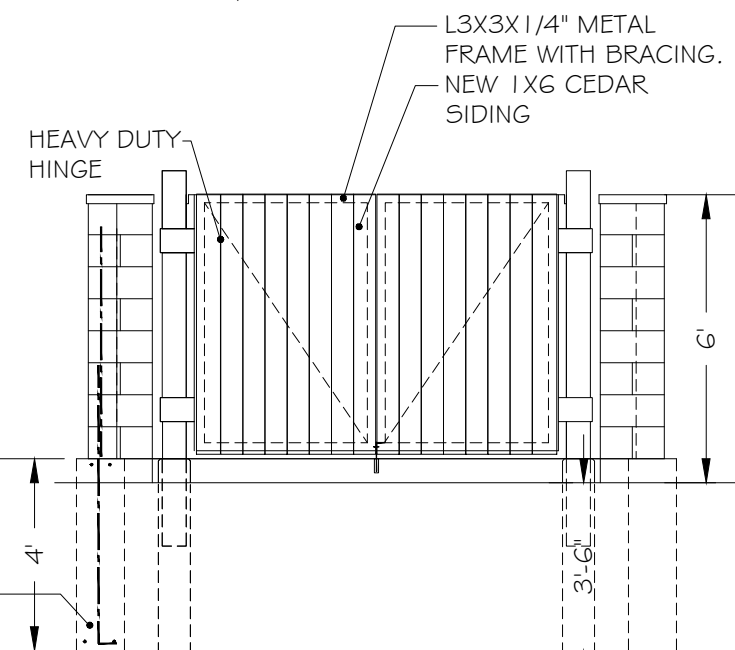


SITE PLAN
1"=25'-0"

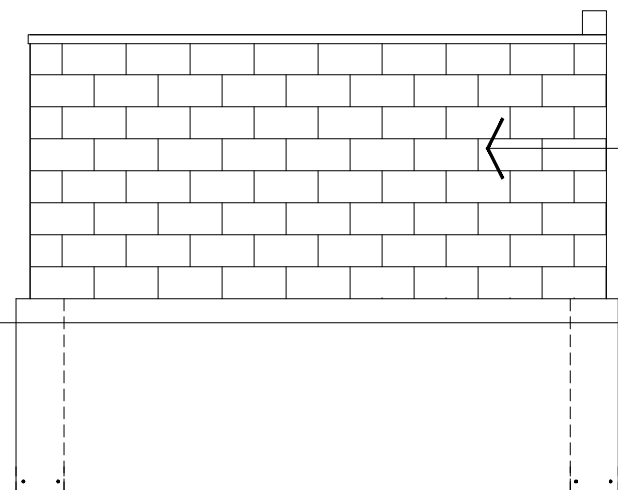
LANDSCAPING SUMMARY						
TYPES	STATUS		PLANTS		SIZES	QUANTITY
	EXISTING	NEW	SPECIES	COMMON		
TREES			CERCIS CANADENSIS	RED BUDS	1-1/2" Ø	3
			PINUS STROBUS	WHITE PINE	Ø	1
			PICEA PINGENS	COLORADO BLUE SPRUCE	Ø	4
			MALUS 'EVERESTE'	CRAB APPLE	1-1/2" Ø	3
				OAK		2
BUSHES			EUONYMUS ALATUS	BURNING BUSHES	3'-0"	43
			TAXUS L. CUSPIDATA	DWAFT YEW'S	3'-0"	156
			THUJA	ARBORVITAE	3'-0"	22
GROUND COVER			EUONYMUS COLORATUS	WINTER CREEPER		
				PREMIUM MULCHES		
				SODS		



DUMPSTER PLAN
1/4"=1'-0"



FRONT VIEW
1/4"=1'-0"

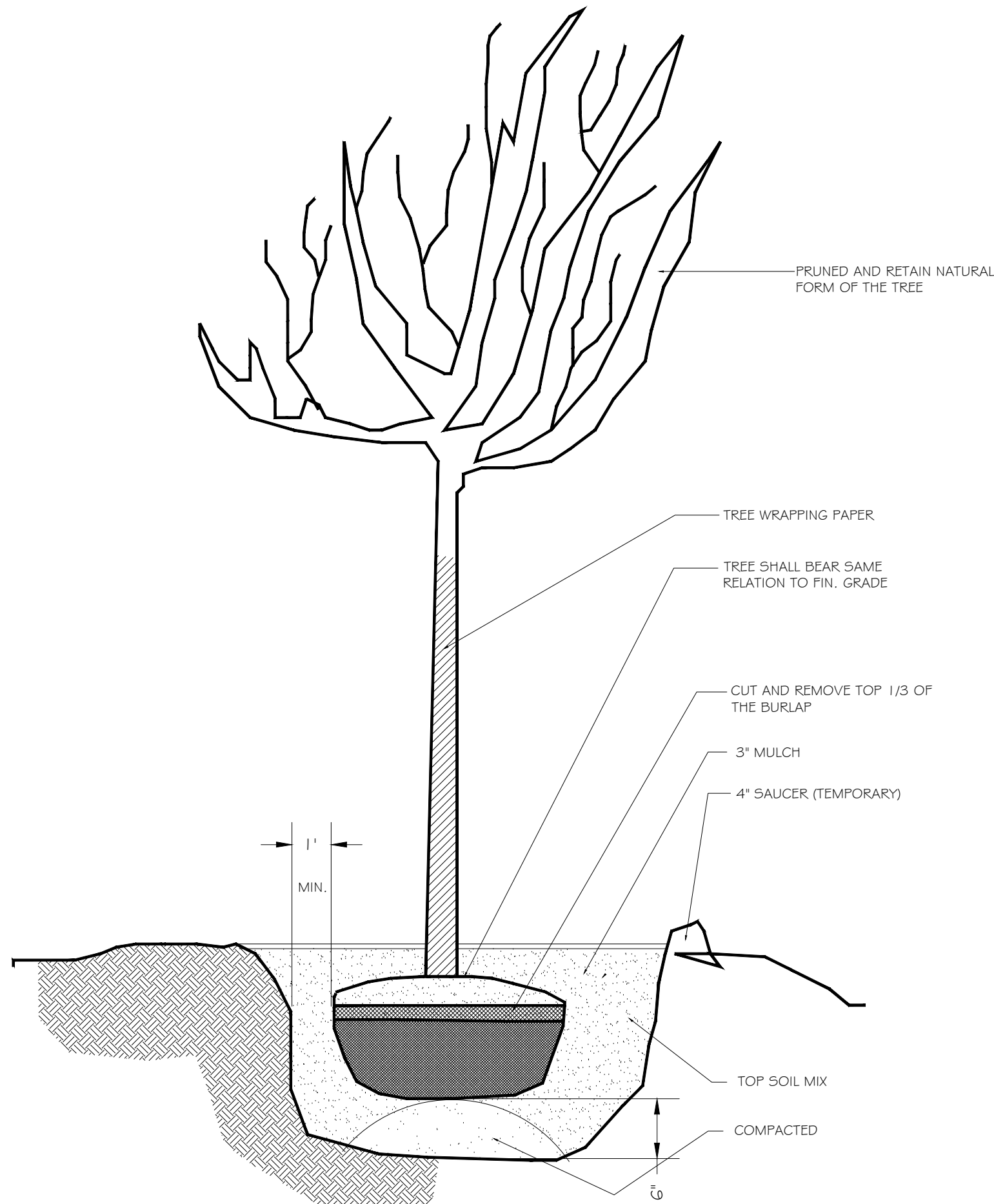


SIDE VIEW
1/4"=1'-0"

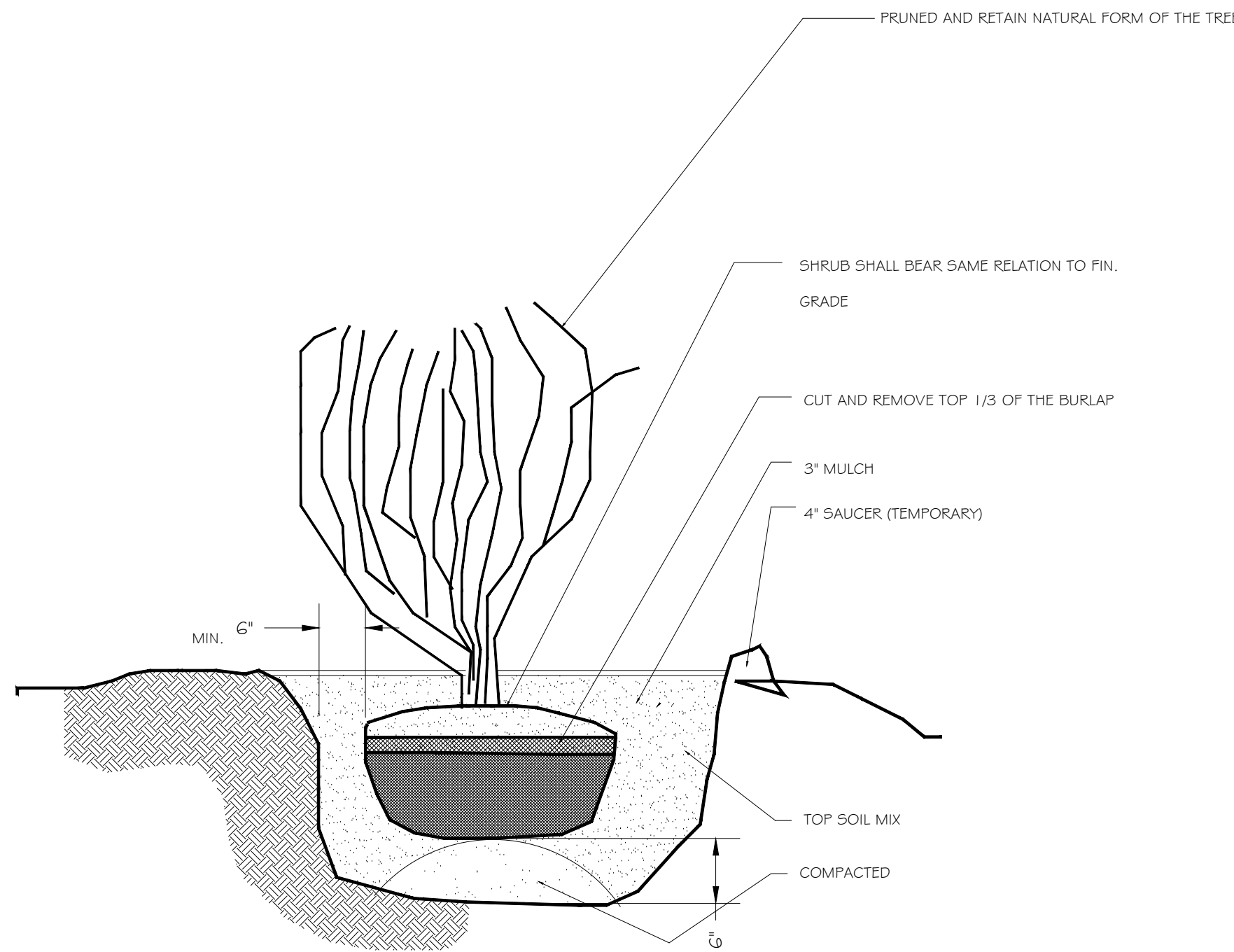
TYP. TRENCH FOOTING:
4000 PSI CONC. WITH 12"x48" FOOTING AND WITH 2-#5 REBARS CONTINUOUS AT TOP AND BOTTOM.

GENERAL NOTES:

- 1.) TOP SOIL: TOPSOIL SHALL BE FERTILE, NATURAL LOAM, CONTAINING A LIBERAL AMOUNT HUMUS AND FREE OF ADMIXTURE OF SUBSOIL AND FREE OF QUACK GRASS ROOTS. IT SHALL BE REASONABLY FREE OF OBNOXIOUS WEED SEED, STONES, LUMPS PLANTS OR THEIR ROOTS, STICKS AND OTHER EXTRANEOUS MATTER, AND SHALL NOT BE USED FOR PLANTING OPERATION WHILE IN A FROZEN OR MUDDY CONDITION. 2.) MULCH: SHREDDED BARK MULCH SHALL CONSIST OF A MIXED HARDWOOD SPECIES FINE IN TEXTURE OR MUSHROOM COMPOST. IMMEDIATELY AFTER PLANTING IS COMPLETED, ALL TREE PITS, SHRUBS, GROUND COVER AND PERENNIAL BEDS SHALL BE COVERED WITH 3" DEEP OF SPECIFIED MULCH INSIDE THE RIDGE OF SOIL.
- 3.) PRUNING: EACH TREE, SHRUBS SHALL BE PRUNED ACCORDING TO STANDARD HORTICULTURE PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL WEAK OR DAMAGED AND UNDESIRABLE BRANCHES, SUCKER, THOSE THAT DETRACT THE APPEARANCE OF THE PLANT SHALL BE REMOVED BY THINNING OUT AND SHORTENING BRANCHES. USE SHARP TOOLS FOR PRUNING. ANY CUT OVER 1" DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT OR COMPOUND TO COVER EXPOSED LIVING TISSUE. ANY COMPOUND WHICH MAY BE HARMFUL TO THE PLANTS ARE PROHIBITED.
- 4.) PROTECTION OF WORK AND CLEAN-UP: REMOVAL OF ALL DEBRIS FROM THE PLANTING OPERATION SHALL BE PERFORMED EACH EVENING OF EVERY WORKING DAY. ALL DEBRIS SHALL BE COLLECTED AS THEY ARE UNCOVERED DURING CULTIVATION OPERATION AND SHALL BE REMOVED FROM THE SITE. THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION ALL TIMES FOR ALL PLANTED AREA AGAINST TRESPASSING AND DAMAGE INCLUDING EROSION. MAINTENANCE OF THE PLANTS SHALL BE STARTED IMMEDIATELY AFTER PLANTING OF THE PLANTS.
- 5.) GUARANTEE: ALL PLANTED TREES, SHRUBS, ETC. SHALL BE GUARANTEED FOR ONE YEAR FROM ACCEPTANCE OF THE PLANTING. ALL DEAD PLANTS OR PLANTS NOT IN VIGOROUS THRIVING CONDITION SHALL BE REPLACED AS SOON AS WEATHER CONDITION PERMITTED. ALL PLANTS USED FOR REPLACEMENT SHALL BE OF THE SAME KIND AND SIZE AS SPECIFIED. THEY SHALL BE FURNISHED AND PLANTED IN ACCORDANCE GENERAL HORTICULTURE PRACTICE.

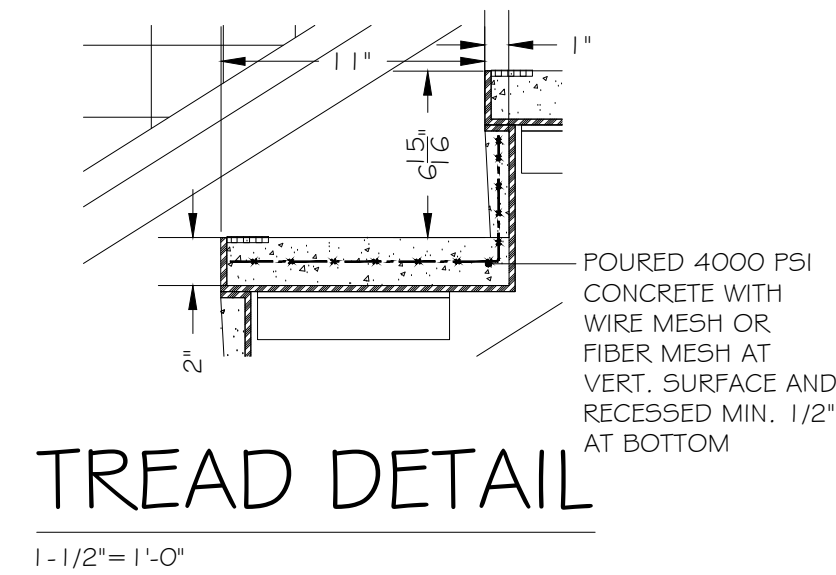
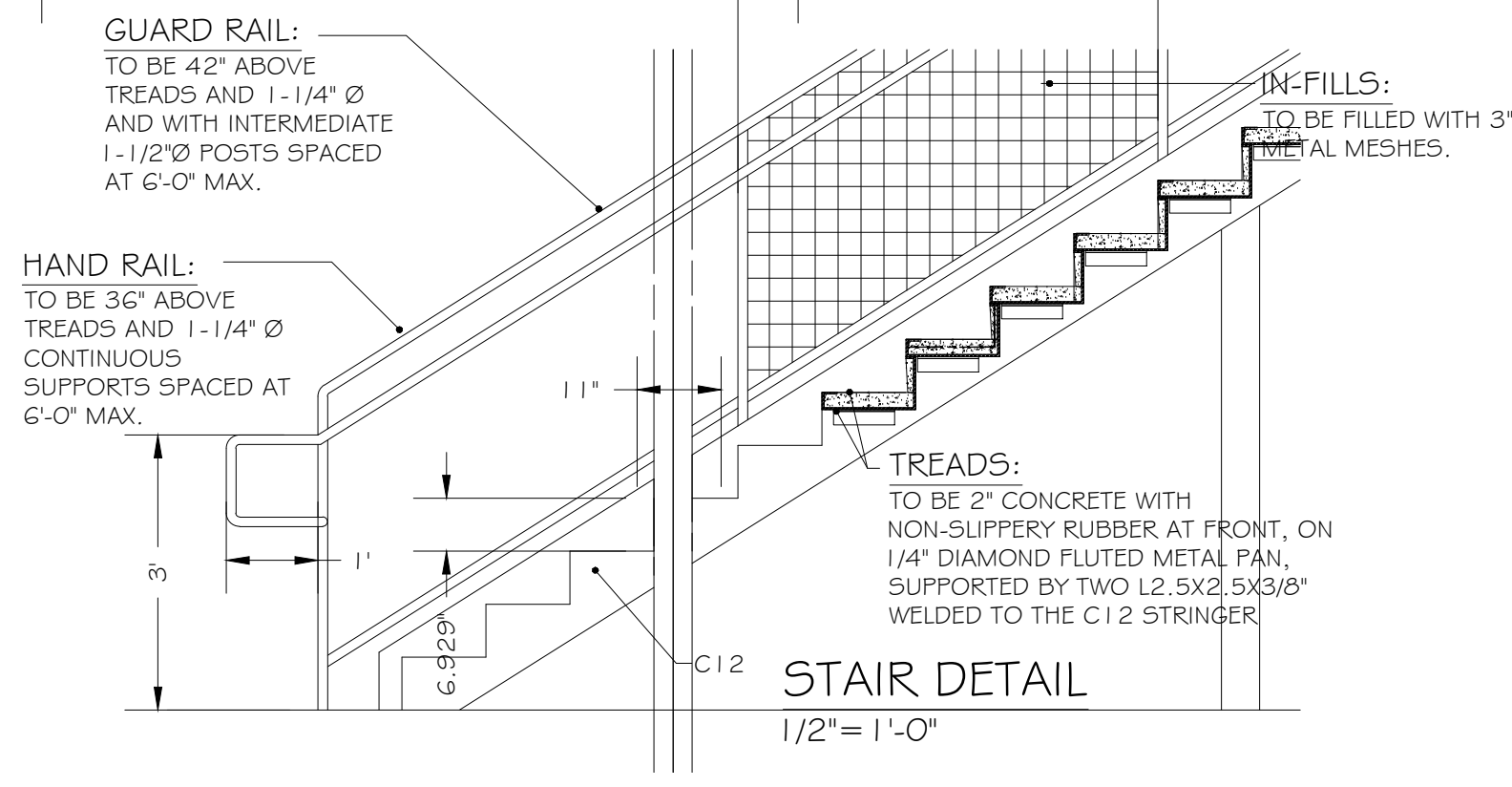
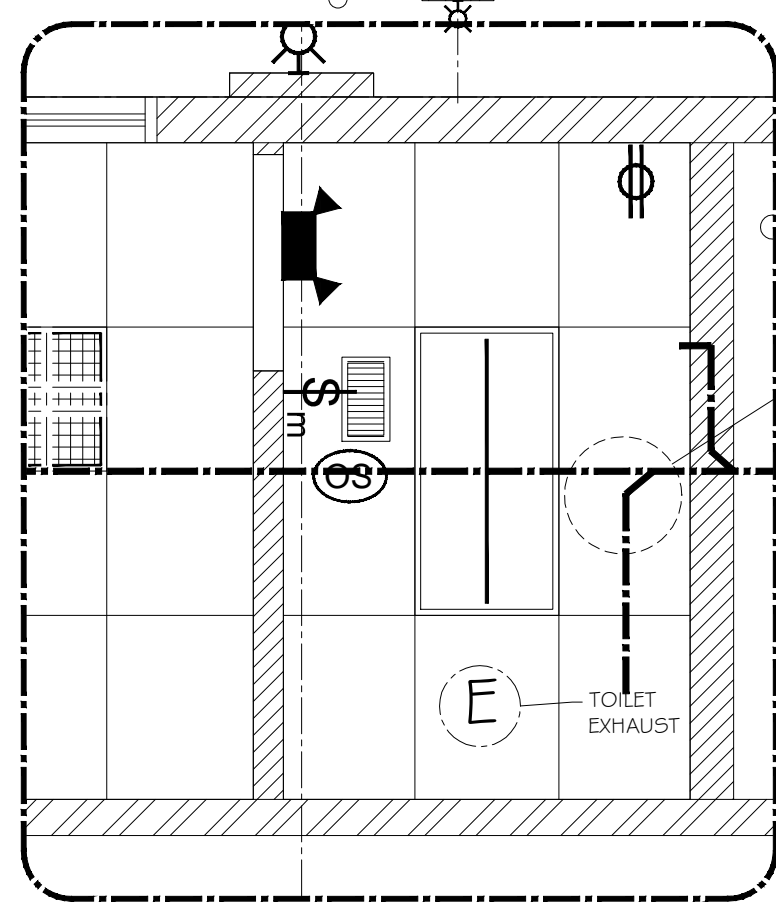
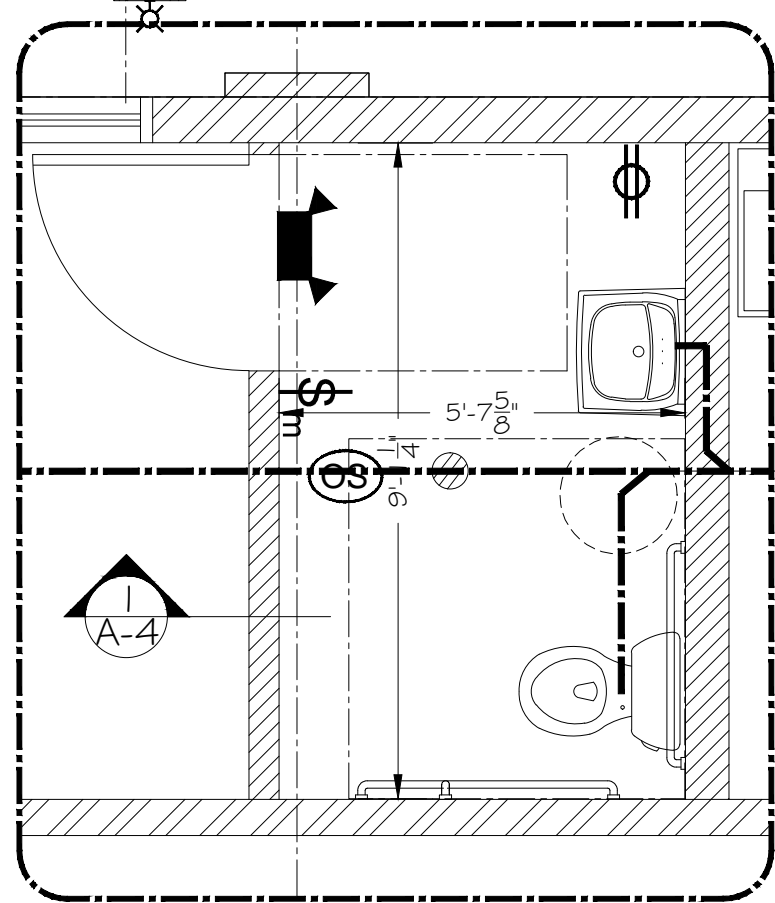
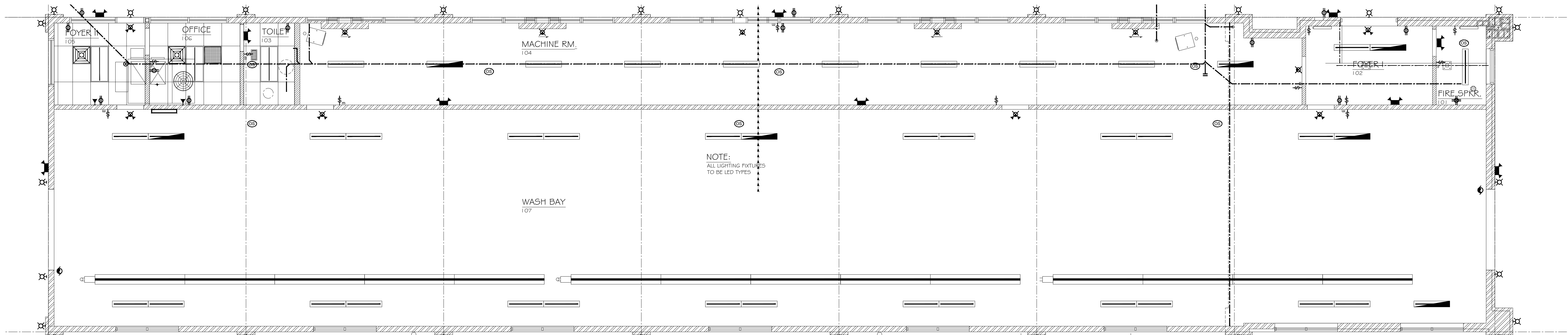
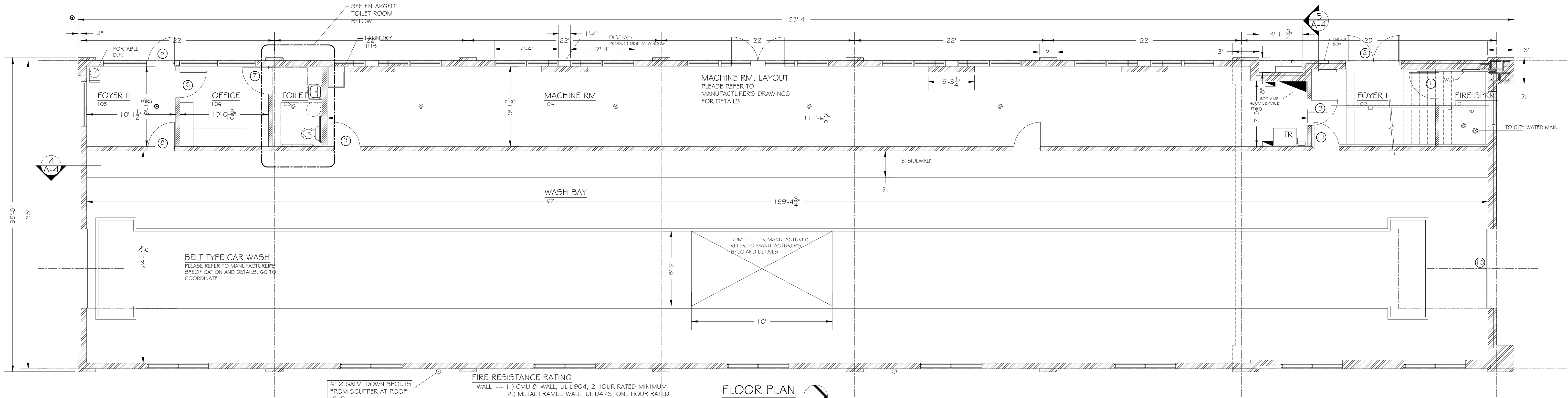


TYPICAL TREE PIT DETAIL
N.T.S.

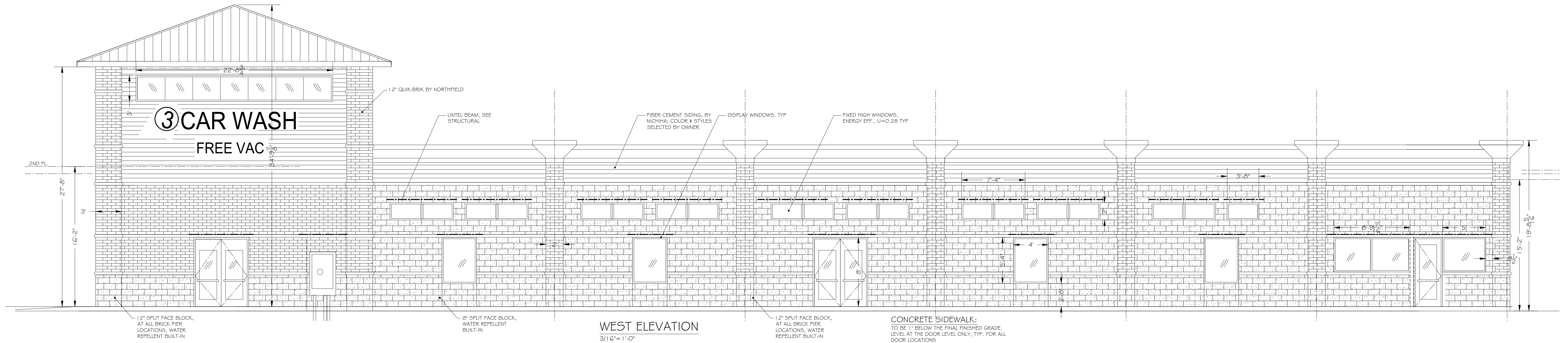
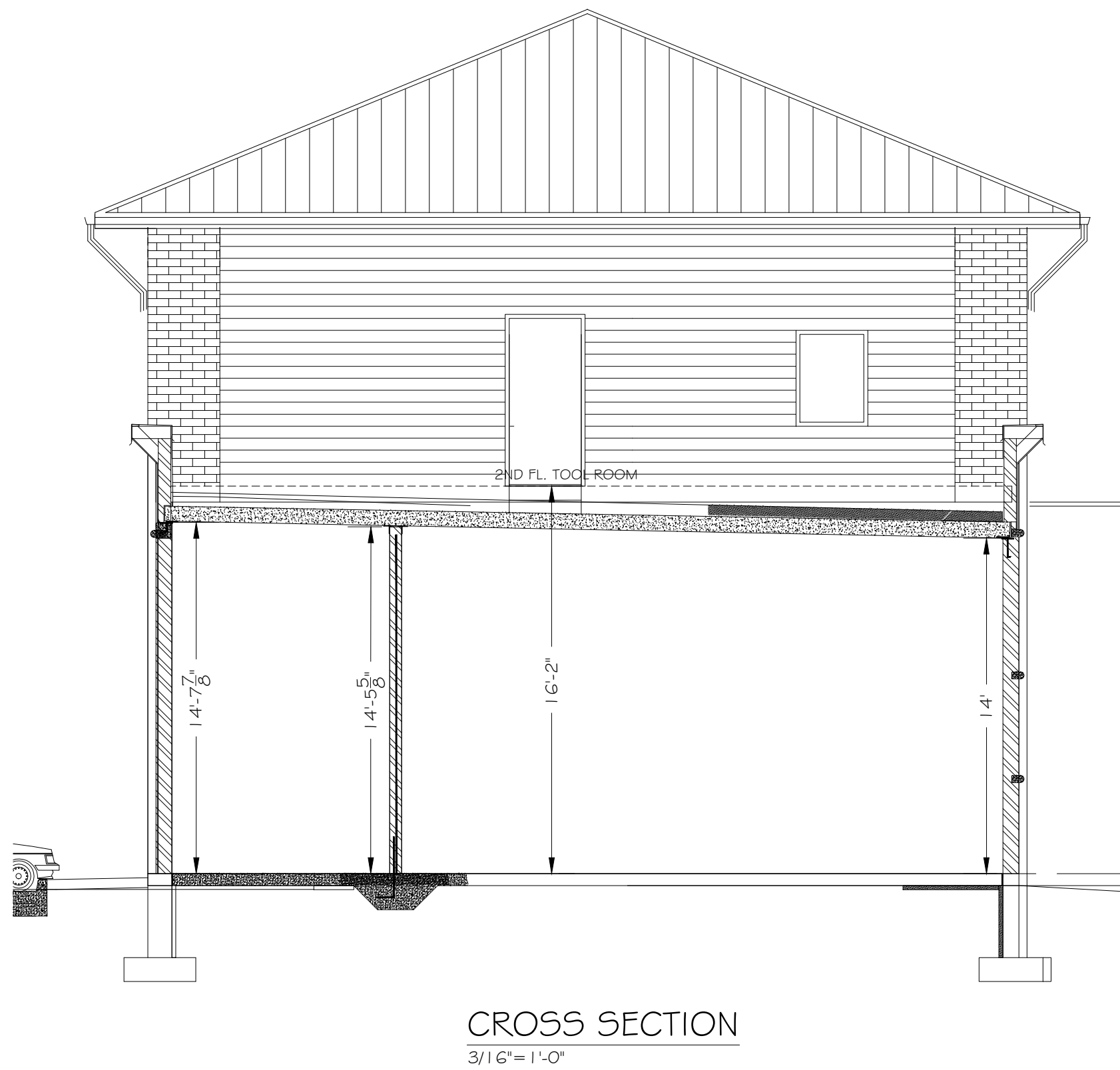
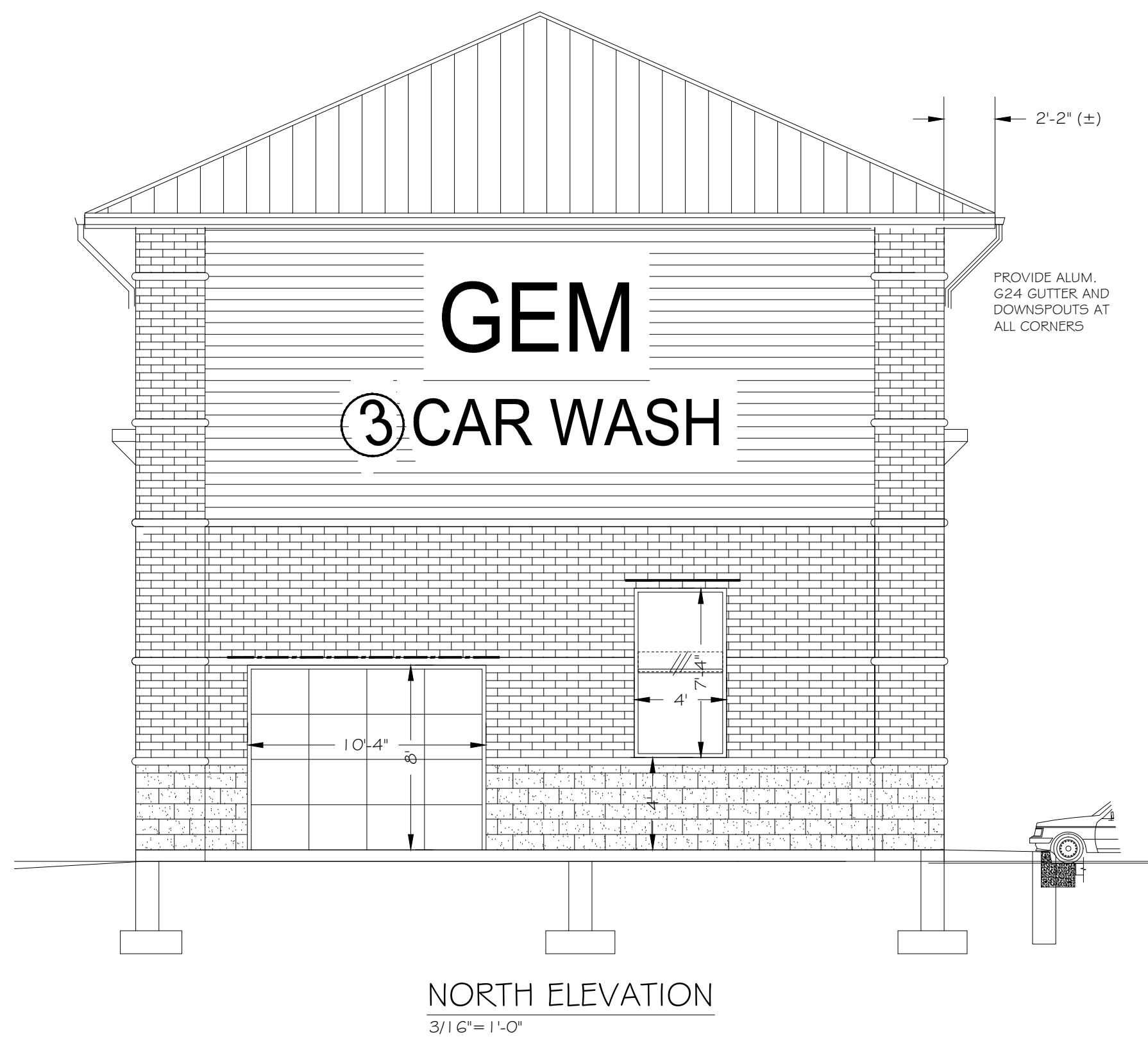


TYPICAL BUSH PIT DETAIL
N.T.S.

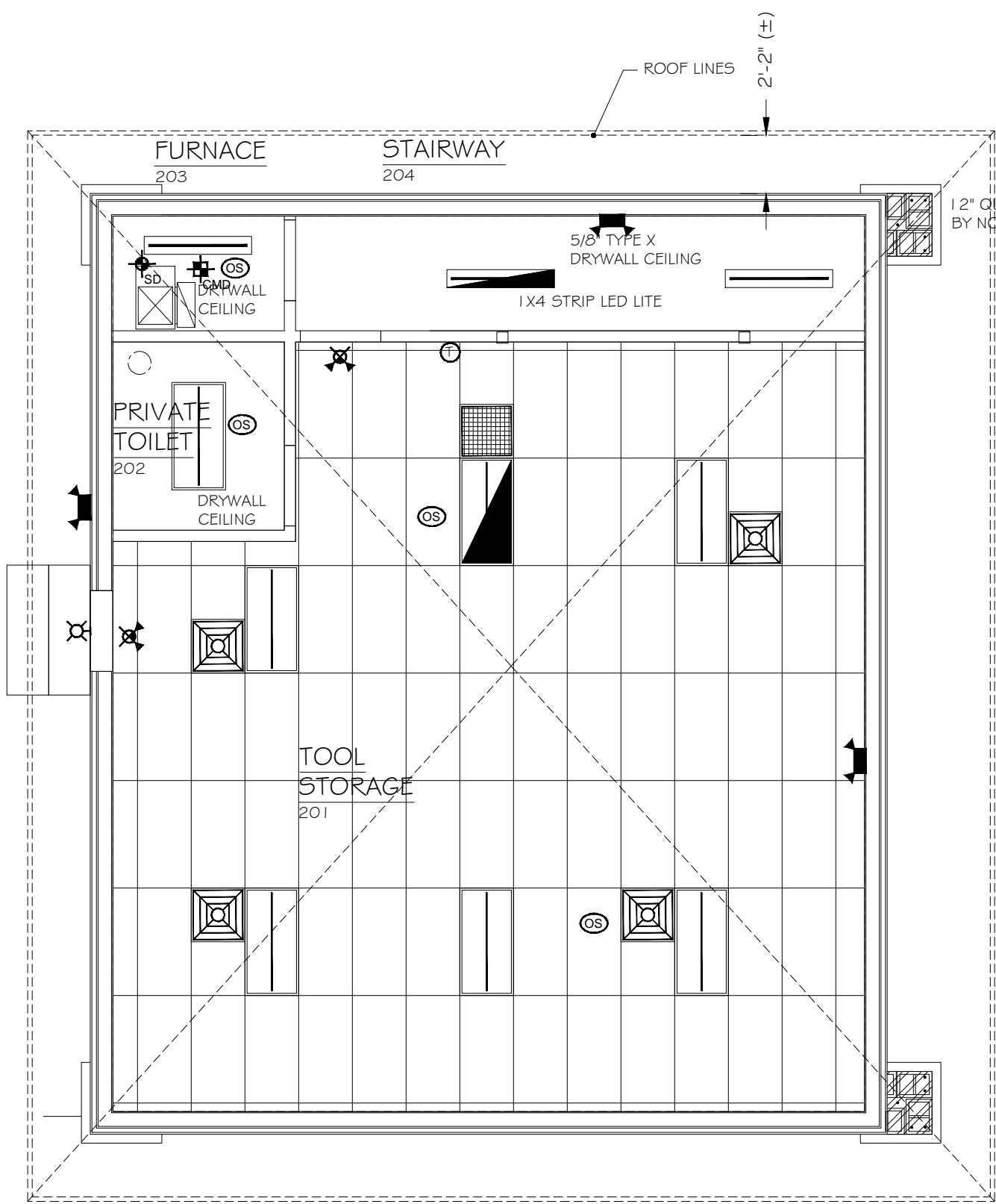
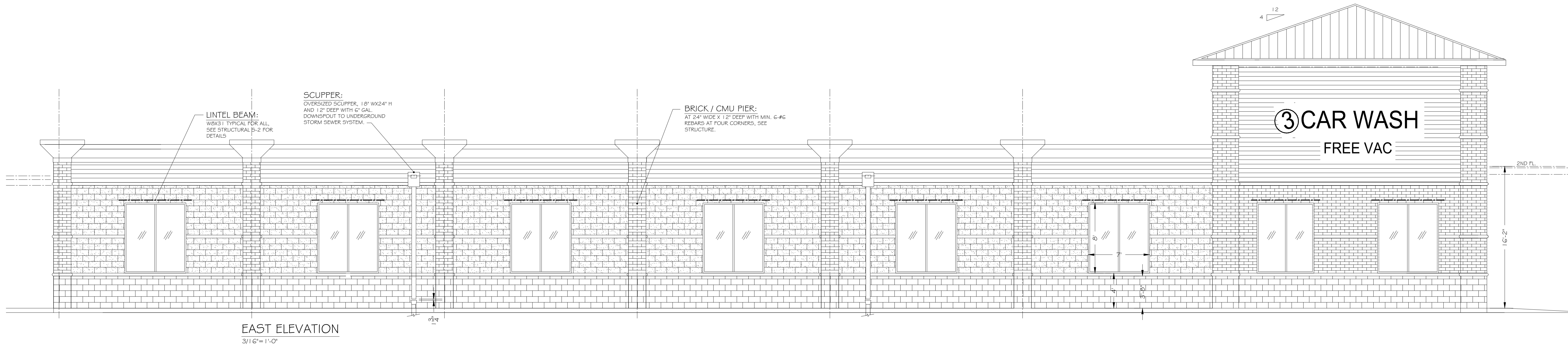
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: LANDSCAPING PLAN, DUMPSTER DETAIL	NO. REV. O	DESCRIPTIONS FOR PERMITS	BY/DATE RAY 3/15/2020	PREPARED BY/DATE RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: L-1
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 826 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614					REVIEWER/DATE JOHN 2/9/2020			
						APPROVER/DATE DATE: 2/9/2020			
						PROJECT NUMBER: 12-10-2019A			
						SCALE: AS SHOWN			



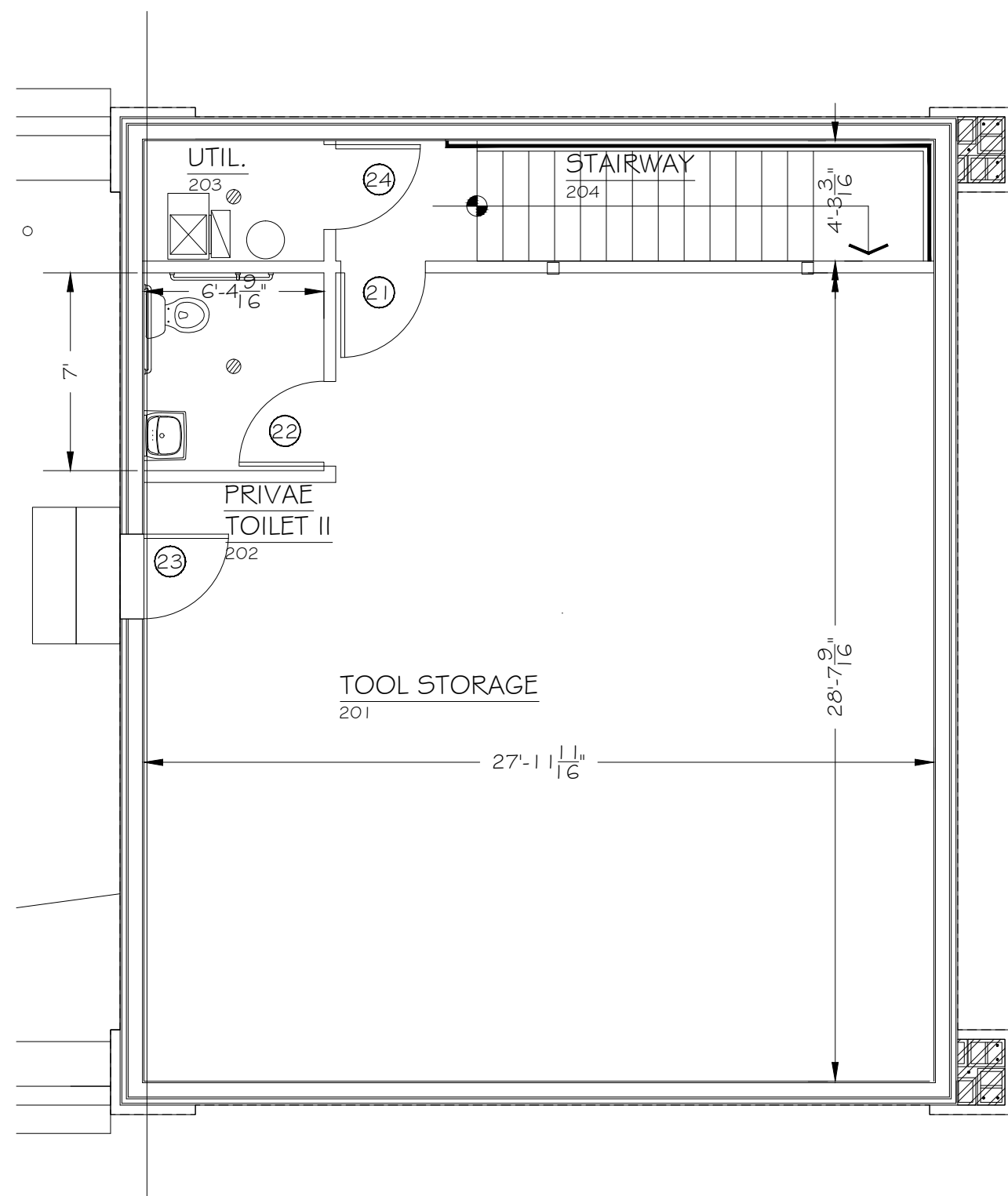
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: NEW FL. & CELG. PLANS; ENLARGED TOILET ROOM, STAIR DETAILS	NO. REV. O	DESCRIPTIONS FOR PERMITS	BY/DATE RAY 3/15/2020	PREPARED BY/DATE RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: A-1 2020 COPYRIGHT PROTECTED
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614					REVIEWER/DATE JOHN 2/9/2020			
						APPROVER/DATE			
						PROJECT NUMBER: 12-10-2019A			
						SCALE: AS SHOWN			



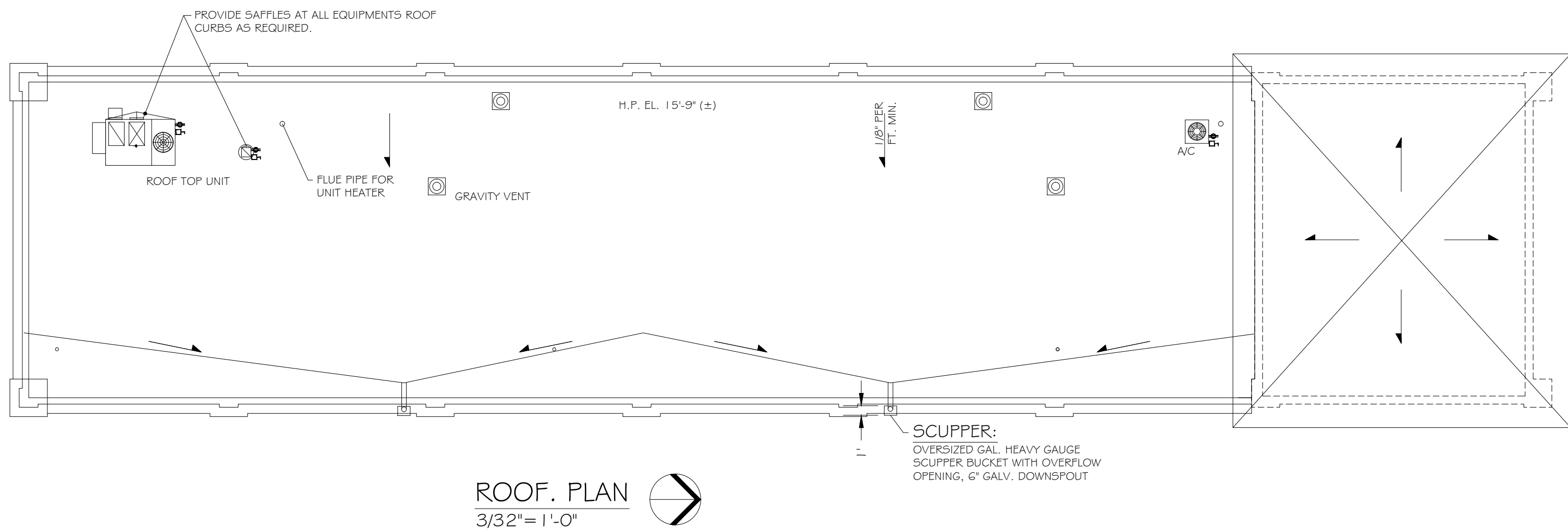
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: ELEVATIONS	NO. REV. O	DESCRIPTIONS FOR PERMITS	BY/DATE RAY 3/15/2020	PREPARED BY/DATE RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: A-2
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614					REVIEWER/DATE JOHN 2/9/2020			
						APPROVER/DATE			
						PROJECT NUMBER: 12-10-2019A			
						SCALE: AS SHOWN			



2ND FL. CELG. PLAN
3/16"=1'-0"

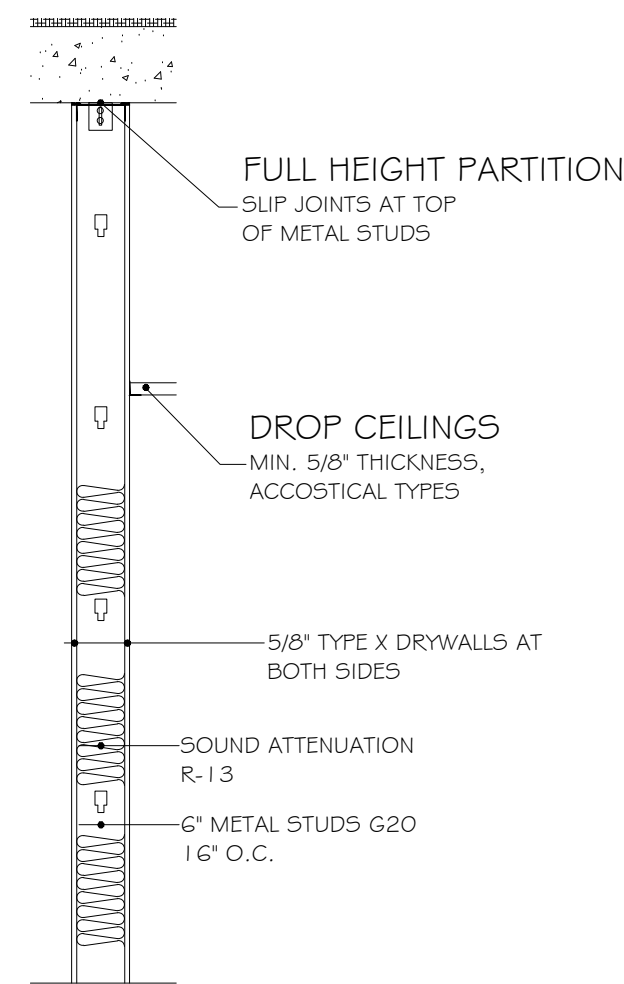
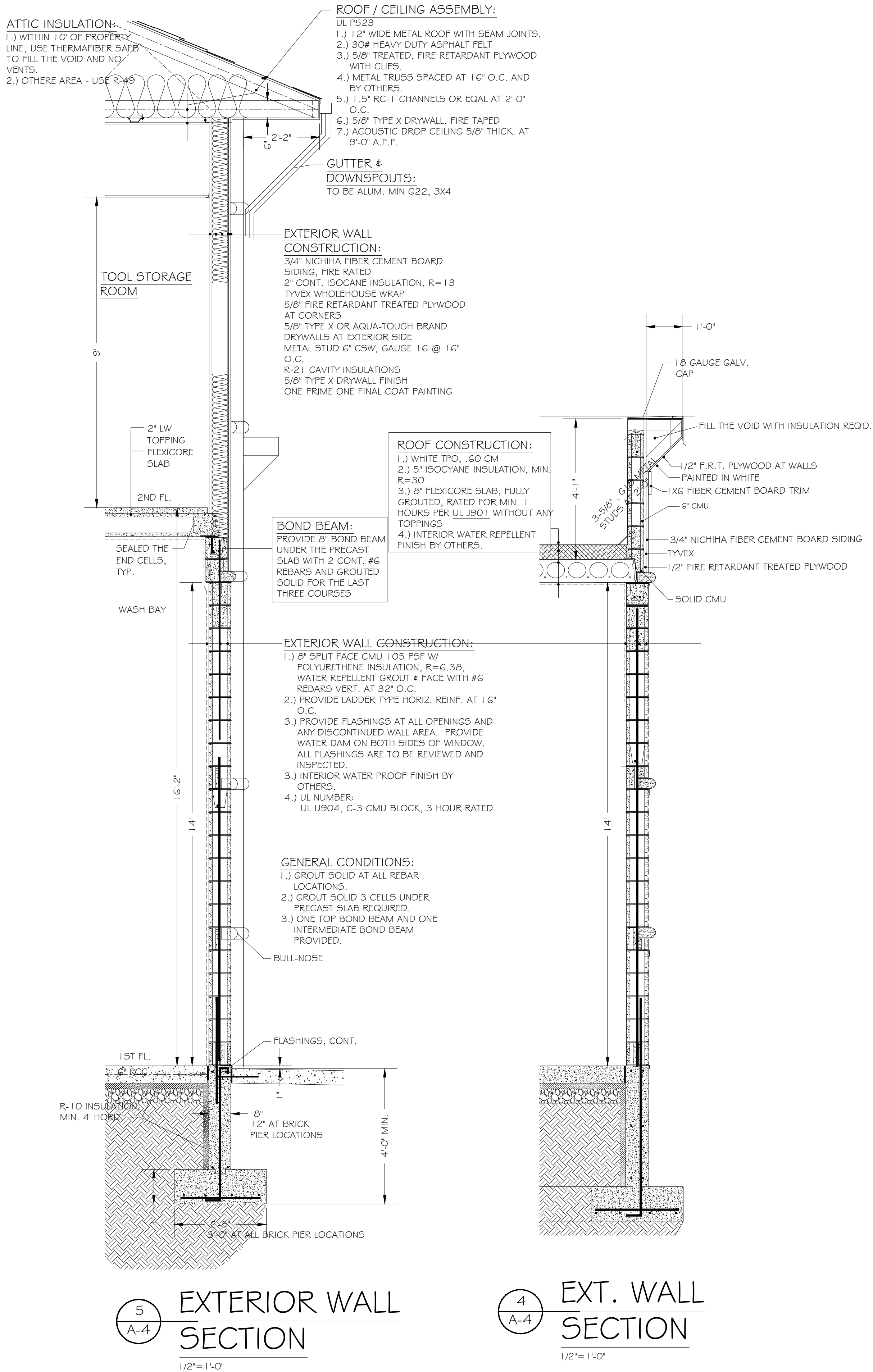


2ND FL. PLAN
3/16"=1'-0"

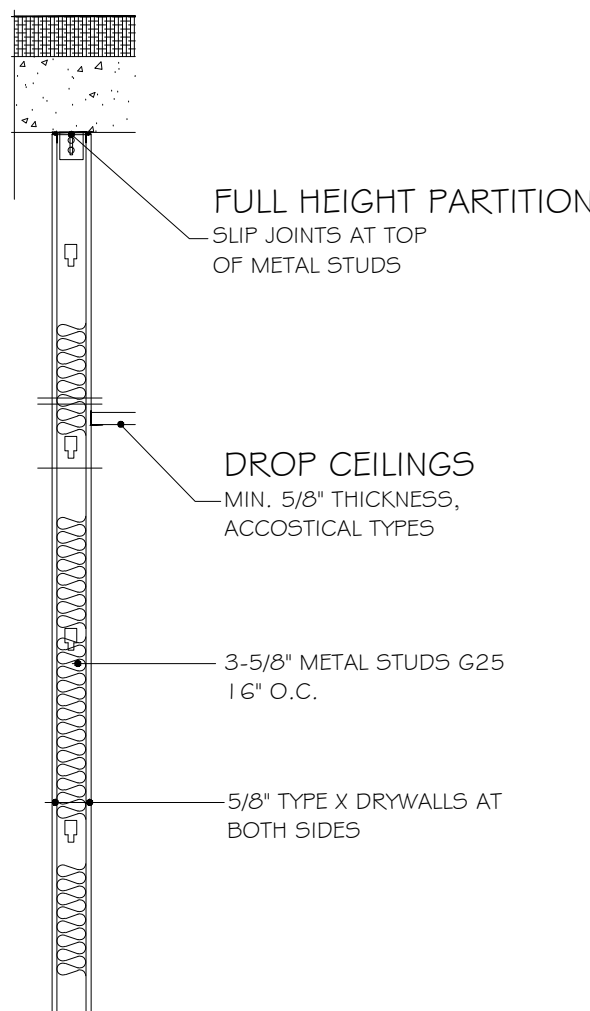


ROOF. PLAN
3/32"=1'-0"

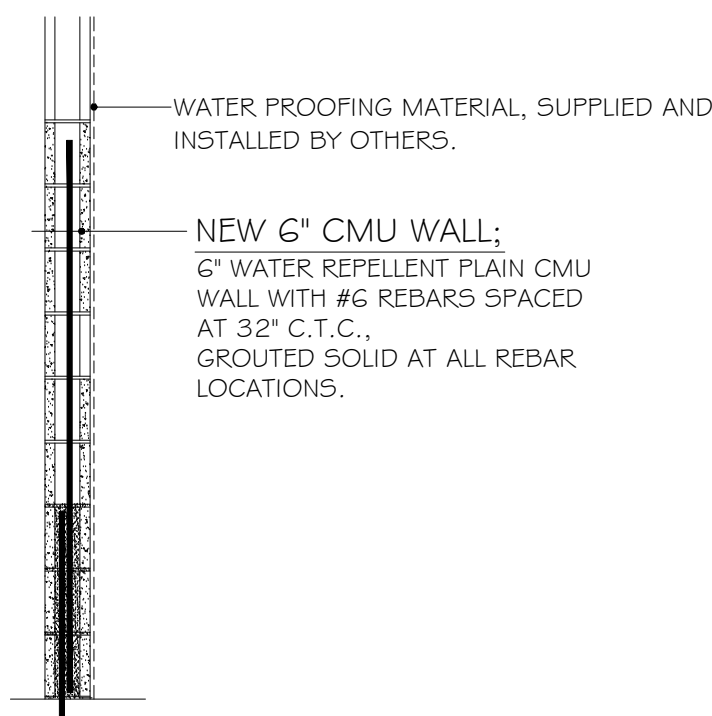
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: 2ND FL. & CELG. PLANS; EAST ELEVATION, ROOF PLAN	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER: DATE: RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: 	DRAWING NO.: A-3 2020 COPYRIGHT PROTECTED
				0	FOR PERMITS	RAY 3/15/2020	REVIEWER: DATE: JOHN 2/9/2020 APPROVER: DATE: PROJECT NUMBER: 12-10-2019A SCALE: AS SHOWN			



2 TYP. PLUMBING WALL
1/2" = 1'-0"



1 TYP. INTERIOR WALL
1/2" = 1'-0"



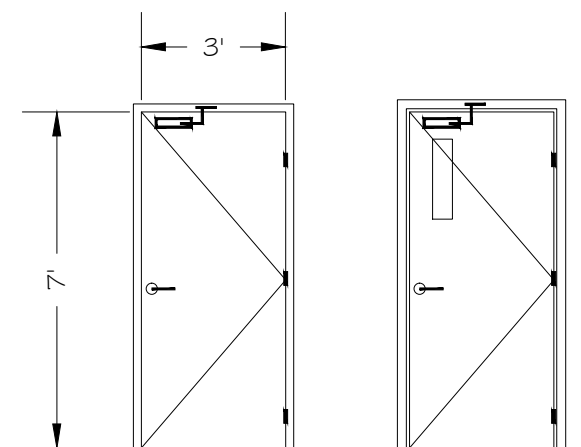
3 TYP. INTERIOR CMU WALL
1/2" = 1'-0"

ROOM FINISH SCHEDULE

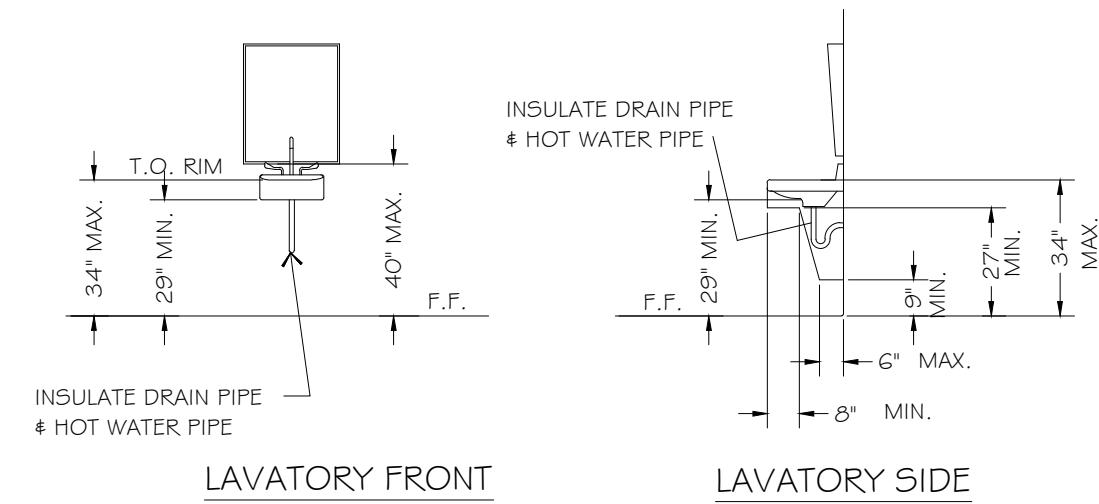
FLOOR LEVEL	ROOM NUMBER	ROOM NAME	FLOOR AREA	FLOOR				BASE		WALL		CEILING				REMARKS		
				CARPET	V.T.	C.T.	B.P. CONC. EXPOSED	VINYL	C.T.	COVERED	PAINT	V.T.	C.T.	F.R.P.	DRYWALL		5/8" ACOUSTIC DROP CEILING	EXPOSED CONCRETE
1ST FLOOR	101	SPRINKLER RM.	48.3					•						•				
	102	FOYER I	123.9		•				•		•					•		
	103	TOILET	51.0			•						•		•				
	104	MACHINE ROOM	992.3					•	•		•						•	
	105	FOYER II	92.4					•		•						•		
	106	OFFICE	91.8		•				•		•					•		
	107	WASHBAY	3817.2					•	•								•	
2ND FLOOR	201	STAIRWAY	90.9				•											
	202	TOILET II	44.7			•			•			•		•				
	203	TOOL STORAGE RM	750.5		•				•		•					•		
	204	UTILITY	27.3		•				•		•				•			
NOTES: 1.) IF CERAMIC TILE USED ON THE FLOOR, THEN, IT SHALL BE 'NON-SLIPPERY' STYLE. 2.) BATHROOM ACCESSORIES: PROVIDE ADA COMPLIED HAND RAILS, TOILET DISPENSERS, HAND DRYERS, ETC.																		

DOOR SCHEDULES

FLOOR LEVEL	ROOM NUMBER	ROOM NAME	DOOR NO.	DOOR STATUS	DOOR			FIRE LABEL	DOOR FRAME	HARDWARE				REMARKS
					SIZE	THICKNESS	TYPE			HINGE	LOCK	CLOSER	PUSH-BAR	
1ST FLOOR	101	SPKR. RM.	1	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER	YES		
	102	FOYER I	2	NEW	2-3X8' STORE FRONT				ALUM.	PIVOT	MORTISE	YES		
			3	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER	YES		
	103	TOILET I	7	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER			
	104	MACHINE RM.	4	NEW	2-3X8' STORE FRONT				ALUM.	PIVOT	MORTISE	YES		
	105	FOYER II	5	NEW	3X8' STORE FRONT				ALUM.	PIVOT	MORTISE	YES		
	106	OFFICE	6	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER			
2ND FLOOR	107	WASH BAY	8 TO 11	NEW	↓ ↓ ↓				METAL	PIVOT	CYLINDER	YES		
			12, 13	NEW	10X8' GARAGE DOOR				METAL					
	201	STAIRWAY	21	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER	YES		
	202	TOILET II	22	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER			
	203	TOOL STORAGE	23	NEW	3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER			
	204	UTIL. ROOM	24	NEW	1D3X7'	1-3/4"	A		METAL	PIVOT	CYLINDER			
1.) ALL DOOR KNOB TO BE LEVER ARM STYLE AND SATISFY ADA REQUIREMENTS. (SCHLAGE AL SERIES OR EQUAL) 2.) PROVIDE KNURL SURFACE FOR THE UTILITY ROOM AND STORAGE RM. 3.) CLOSER TO BE COMMERCIAL GRADE, I.E. NORTON 1603 OR 1604 AS APPLICABLE.														

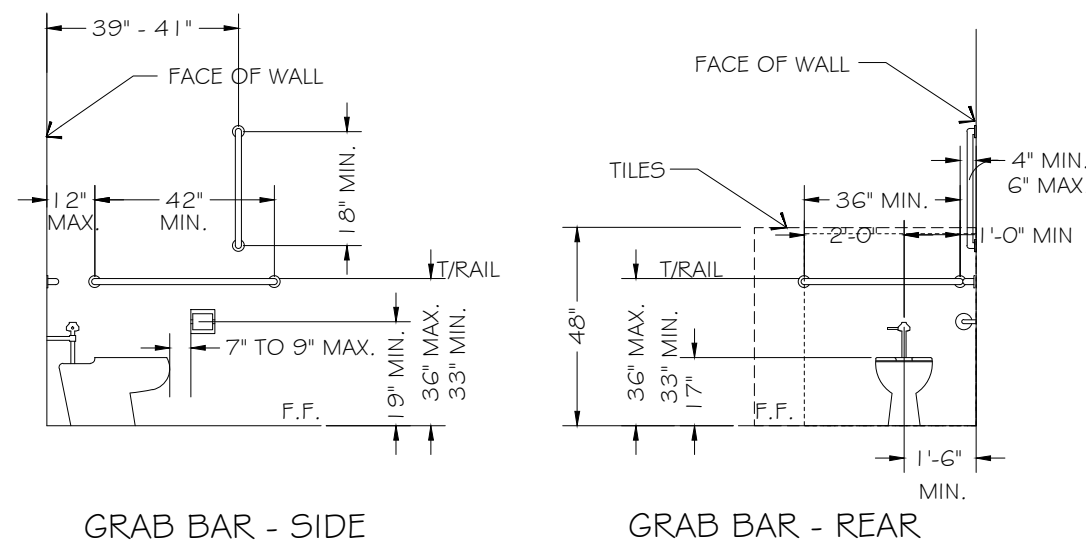


TYPE A TYPE B



LAVATORY FRONT

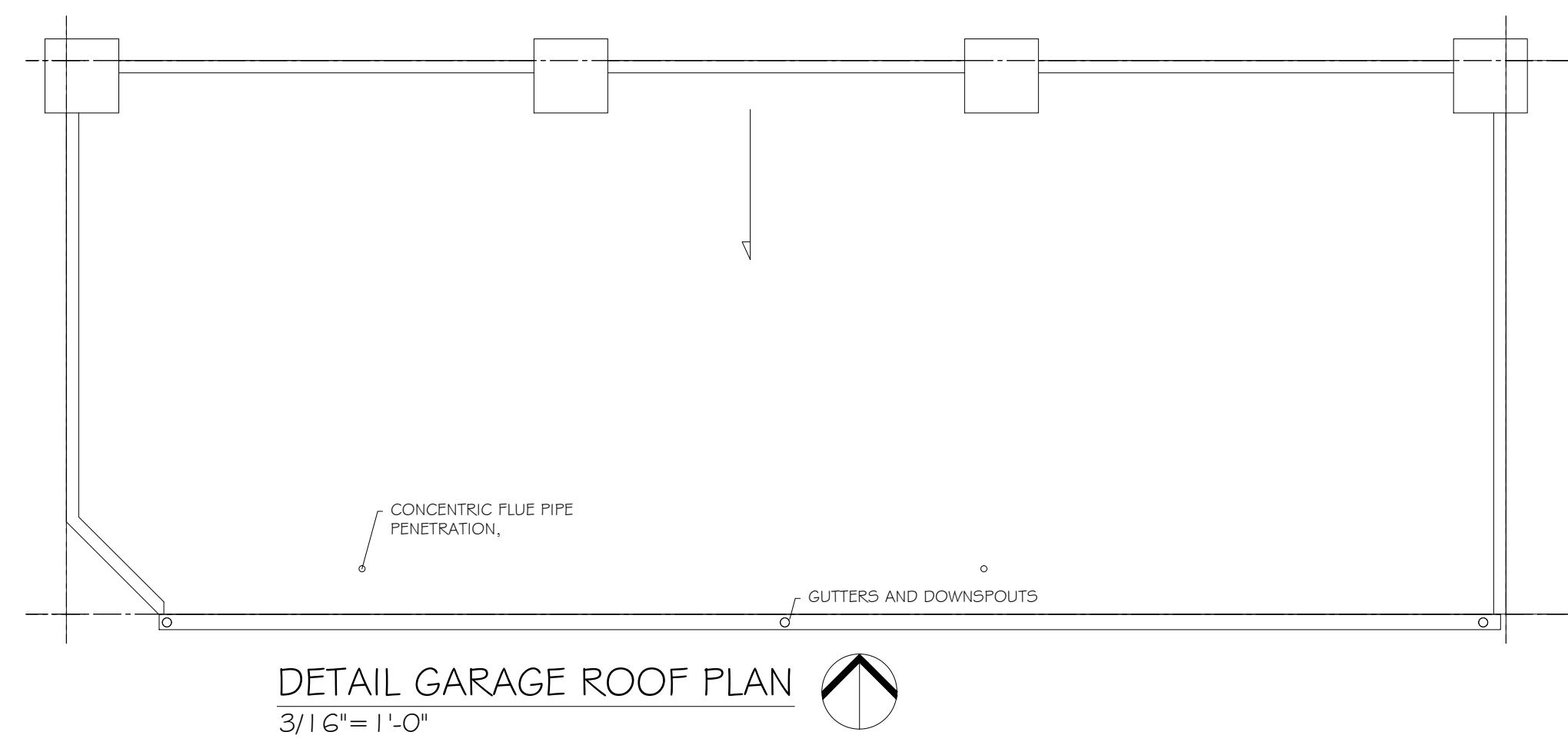
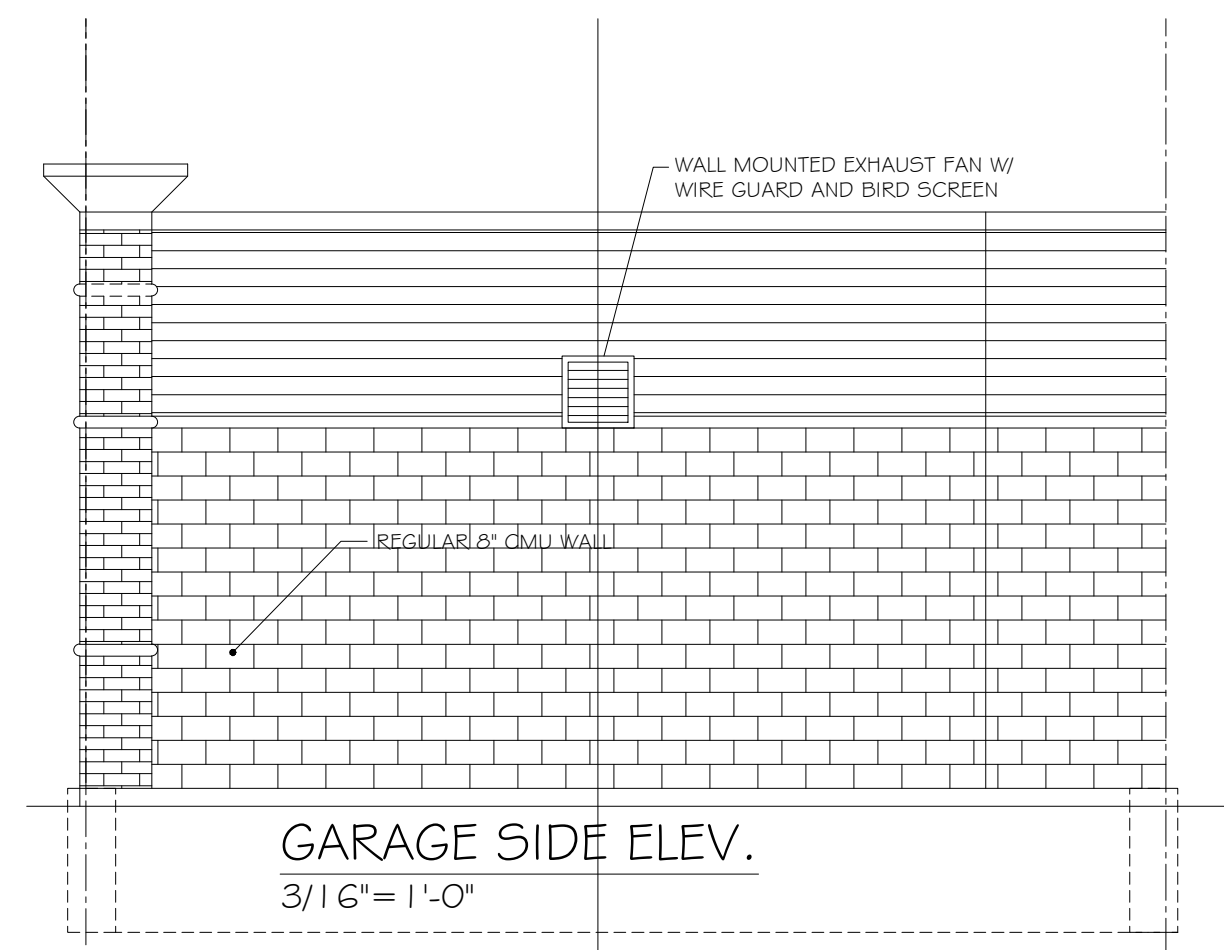
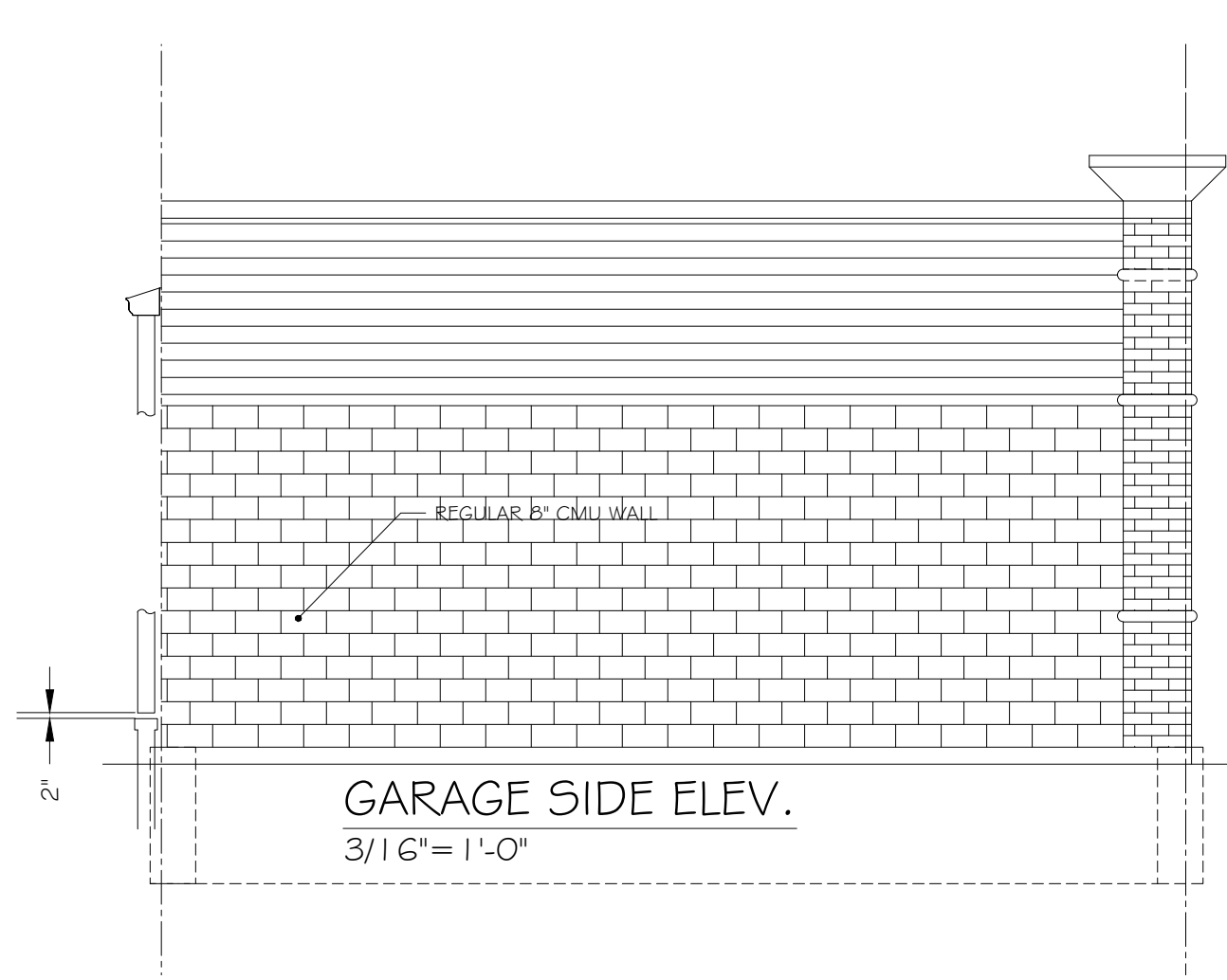
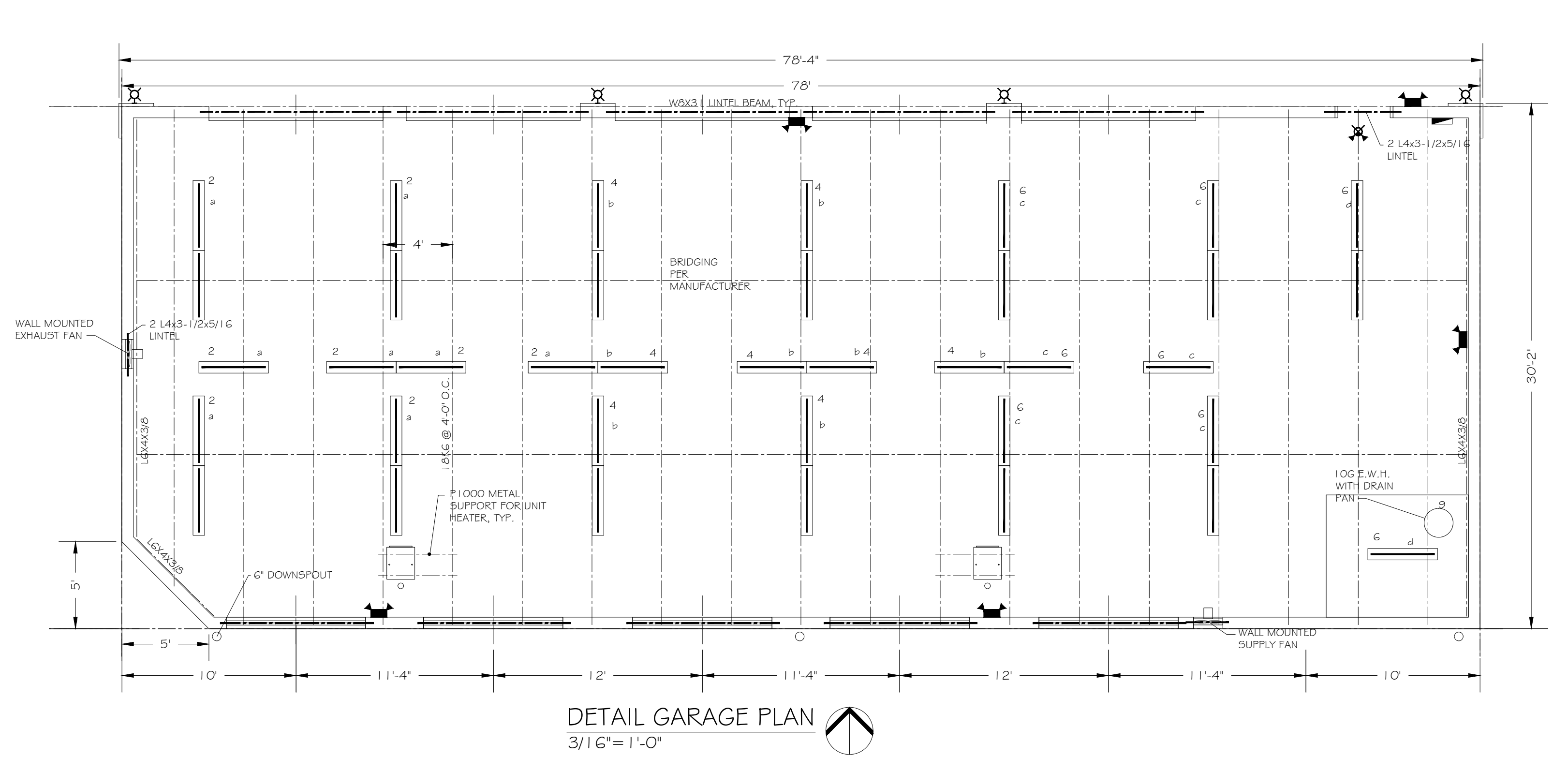
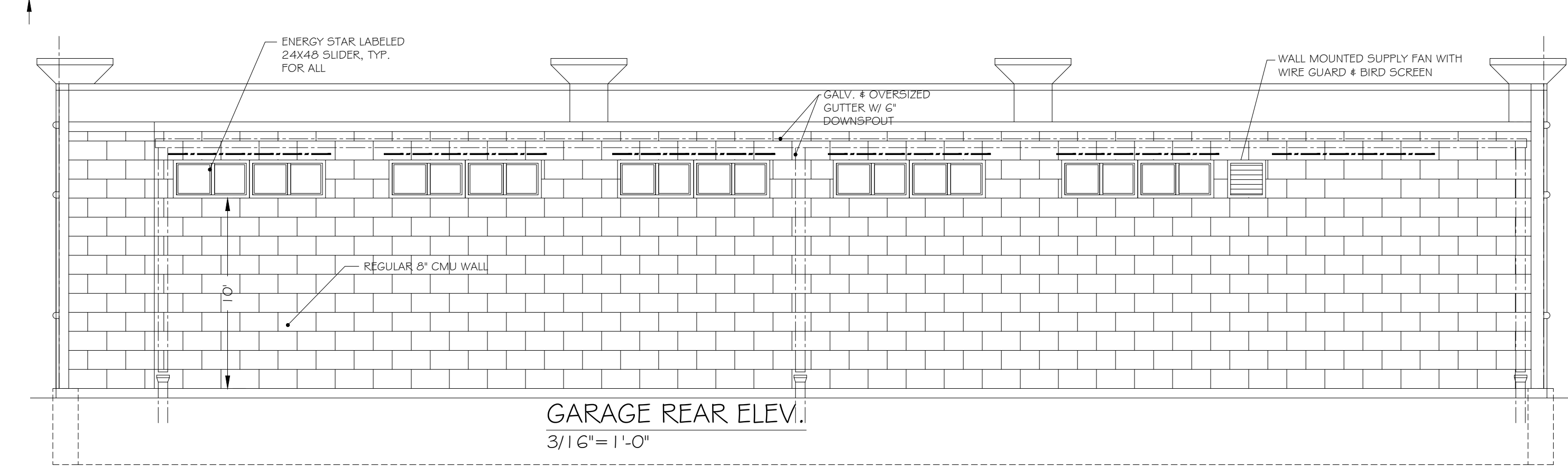
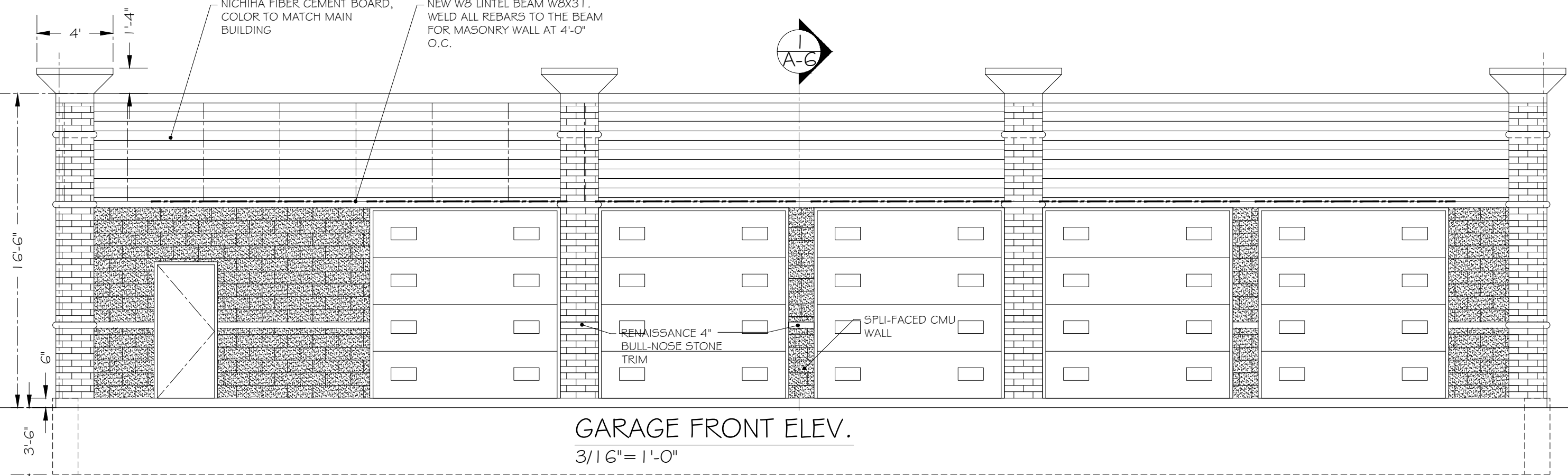
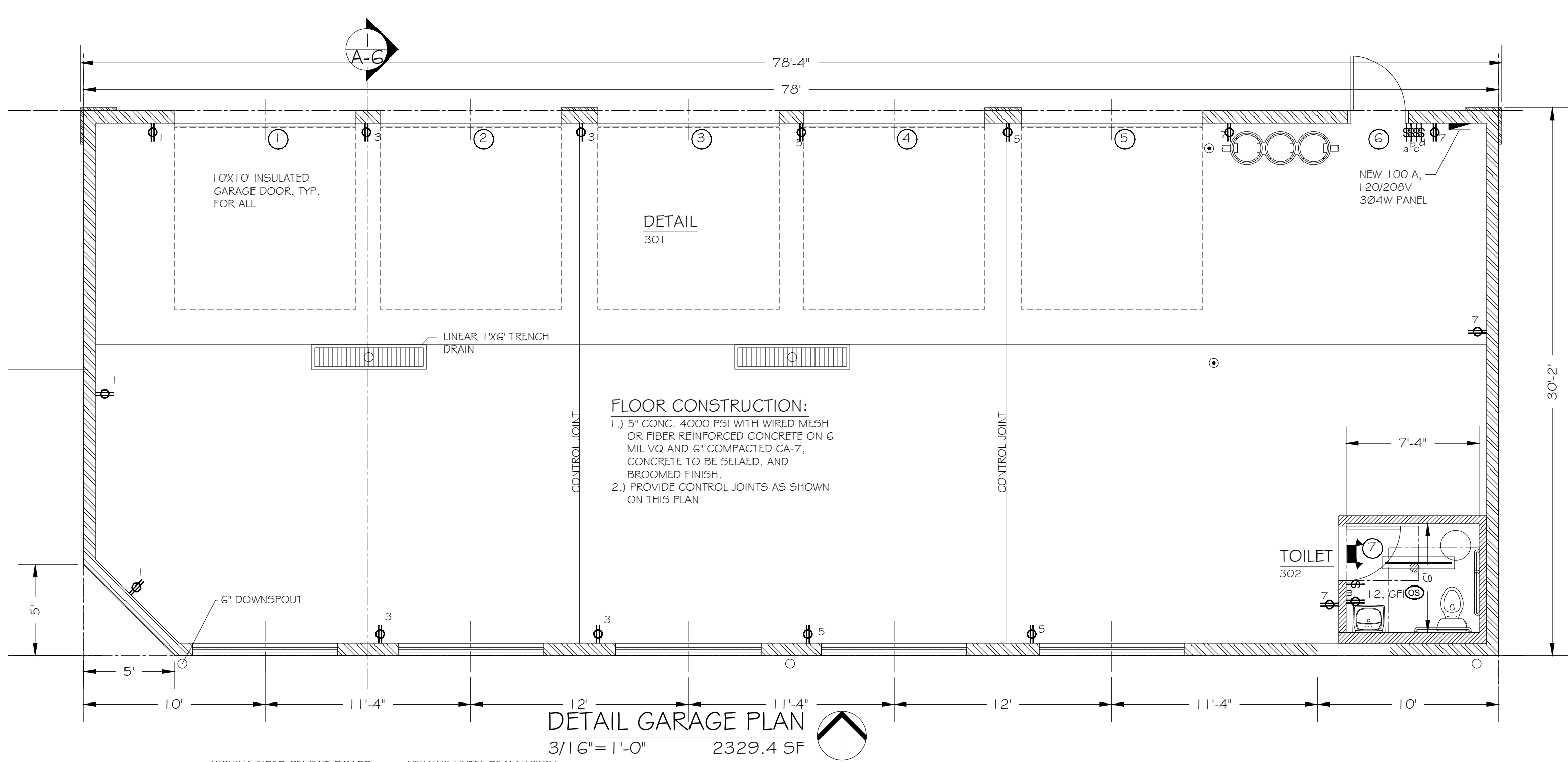
LAVATORY SIDE



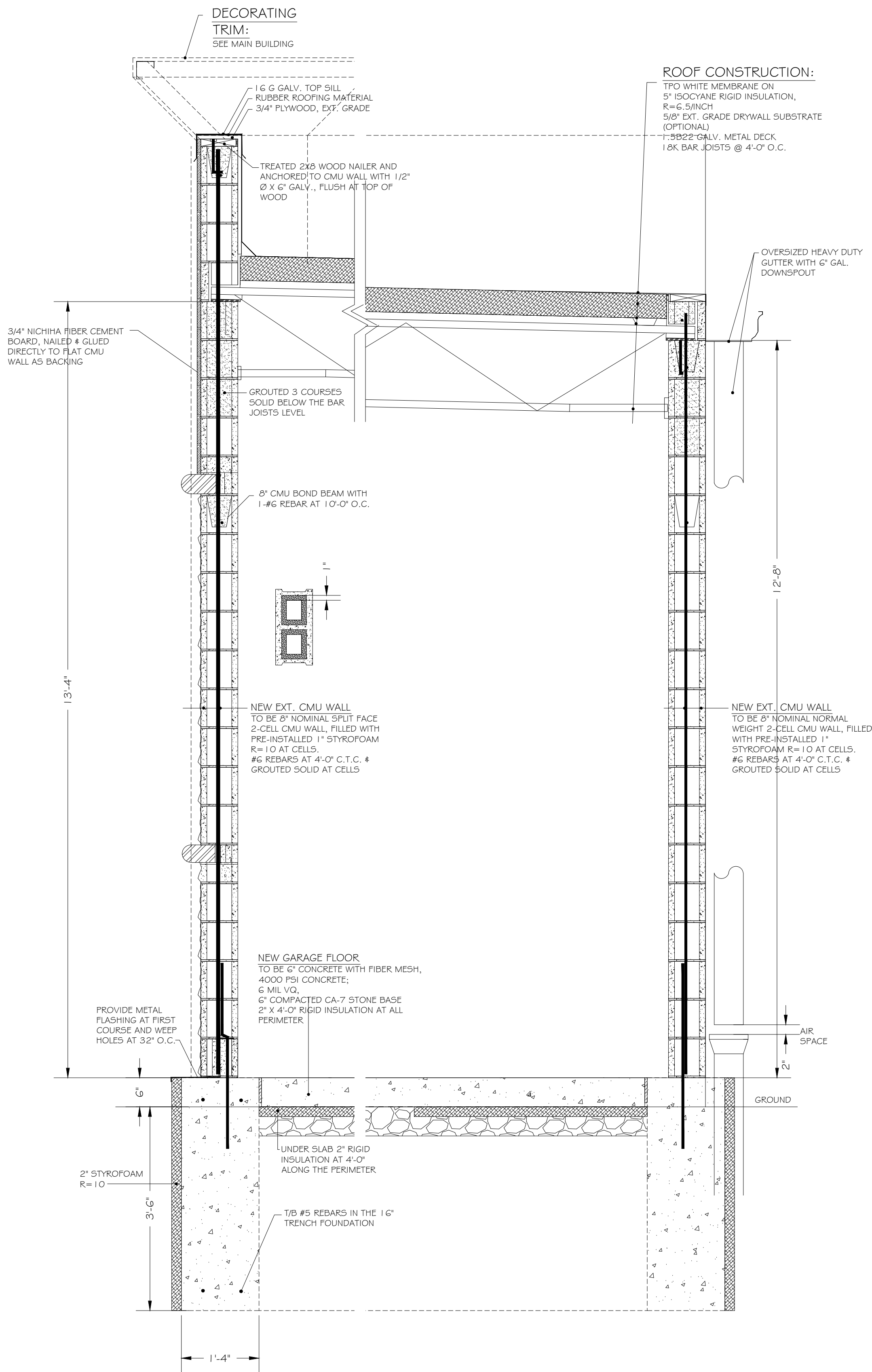
GRAB BAR - SIDE

GRAB BAR - REAR

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: WALL SECTION, ADA DIMEN., DOOR & ROOM FINISH SCHEDULES	NO. REV. O	DESCRIPTIONS FOR PERMITS	BY/DATE RAY 3/15/2020	PREPARED BY/DATE RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: A-4 2020 COPYRIGHT PROTECTED
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614					REVIEWER/DATE JOHN 2/9/2020			
						APPROVER/DATE			
						PROJECT NUMBER: 12-10-2019A			
						SCALE: AS SHOWN			



ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: NEW DETAIL GARAGE FL. & CELG. PLANS, ELEVVS. ROOF PLAN	REVISION LOGS	NO. REV. DESCRIPTIONS	BY/DATE	PREPARED: RAY DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: AE-5 2020 COPYRIGHT PROTECTED
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614					REVIEWER: JOHN DATE: 2/9/2020			
						APPROVER: DATE:			
						PROJECT NUMBER: 12-10-2019A			
						SCALE: AS SHOWN			

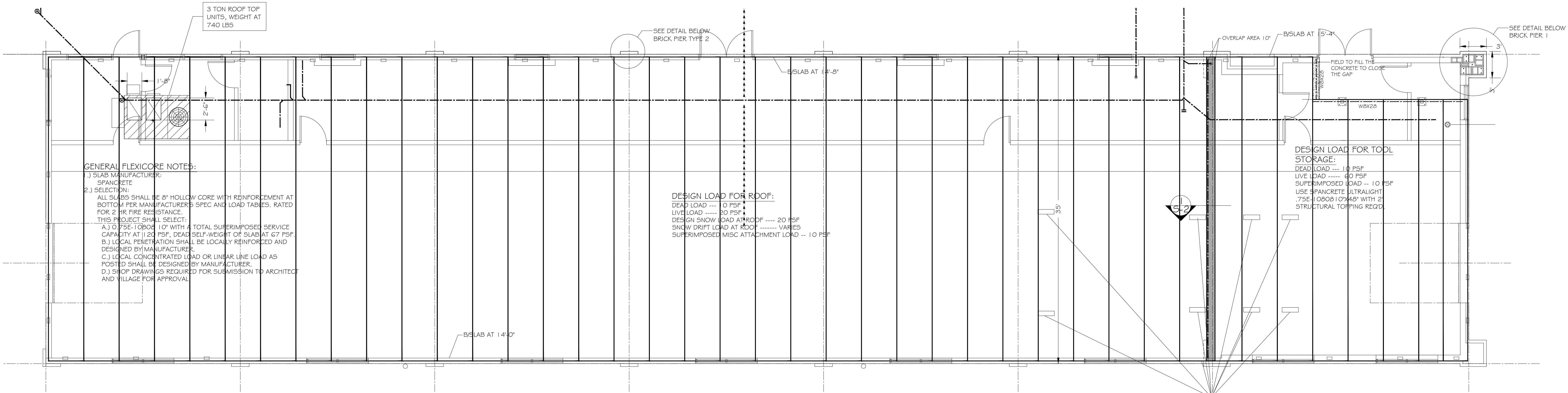


5 CROSS WALL SECTION
A-4 N.T.S.

DOOR SCHEDULES															
FLOOR	ROOM NUMBER	ROOM NAME	DOOR NUMBER	DOOR STATUS	DOOR				FIRE LABEL	HARDWARE					REMARKS
					SIZE	THICK.	TYPE	MATERIAL		HINGE	LOCKS	CLOSER	PUSH PLATE	PUSH BAR	
1ST	301	DETAIL BAY	1 THRU 5	NEW	10'X10' GARAGE DOOR				METAL						
			6	NEW	3X7'	0'-1 3/4"	A	METAL		PIVOT	CYLINDER	•			
	302	TOILET	7	NEW	3X7'	0'-1 3/4"	A	METAL		PIVOT	CYLINDER				
NOTES: 1.) ALL DOOR KNOB TO BE LEVER ARM STYLE AND SATISFY ADA REQUIREMENTS. (SCHLAGE AL OR EQUAL) 2.) PROVIDE KNURL SURFACE FOR THE UTILITY ROOM AND STORAGE ROOM.															

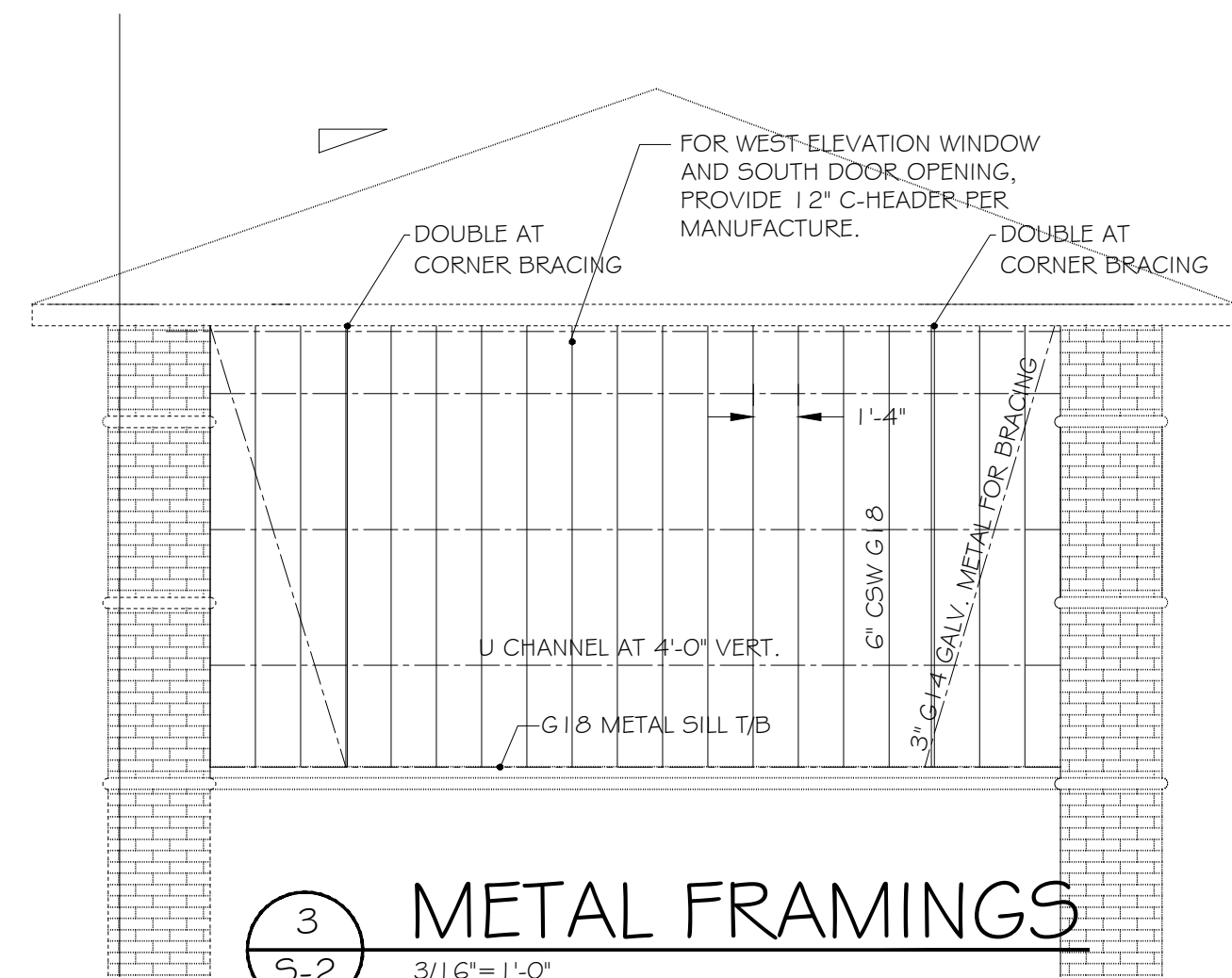
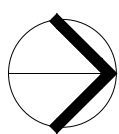
ROOM FINISH SCHEDULES													
FLOOR	ROOM NUMBER	ROOM NAME	AREA	FLOOR		BASE		WALL		CEILING		REMARKS	
				CARPET	V.T. C.T.	VINYL	CT	VT	NONE	PAINT	C.T. V.T.		
1ST	301	DETAIL BAY	2129.8			•			•				
	302	TOILET	44.0	•		•			•	•	•	•	•
NOTES: 1.) IF CERAMIC OR VINYL TILES USED ON THE FLOOR, THEN, IT SHALL BE NON-SLIPPERY STYLE. 2.) BATHROOM ACCESSORIES: PROVIDE ADA COMPLIED HAND RAILS, TOILET DISPENSERS, HAND DRYERS, ETC.,													

PANEL: LP-2									
LOCATION		DETAIL BAY			STATUS		NEW, MCB		
AMPS		100 AMPS			VOLTAGE		120/208V 1Ø3W		
SERVICE		POLE	SIZE	CCT	CCT	SIZE	POLE	SERVICE	
GEN. OUTLETS		1	20	1	2	20	1	GEN. LIGHTS	
GEN. OUTLETS		1	20	3	4	20	1	GEN. LIGHTS	
GEN. OUTLETS		1	20	5	6	20	1	GEN. LIGHTS	
GEN. OUTLETS		1	20	7	8	20	1	VT-1	
ELEC. WATER HTR		1	20	9	10	20	1	EX-1	
TE-1		1	20	11	12	20	1	GFI	
				13	14				
				15	16				
				17	18				
				19	20				
				21	22				
				23	24				
NOTES:									



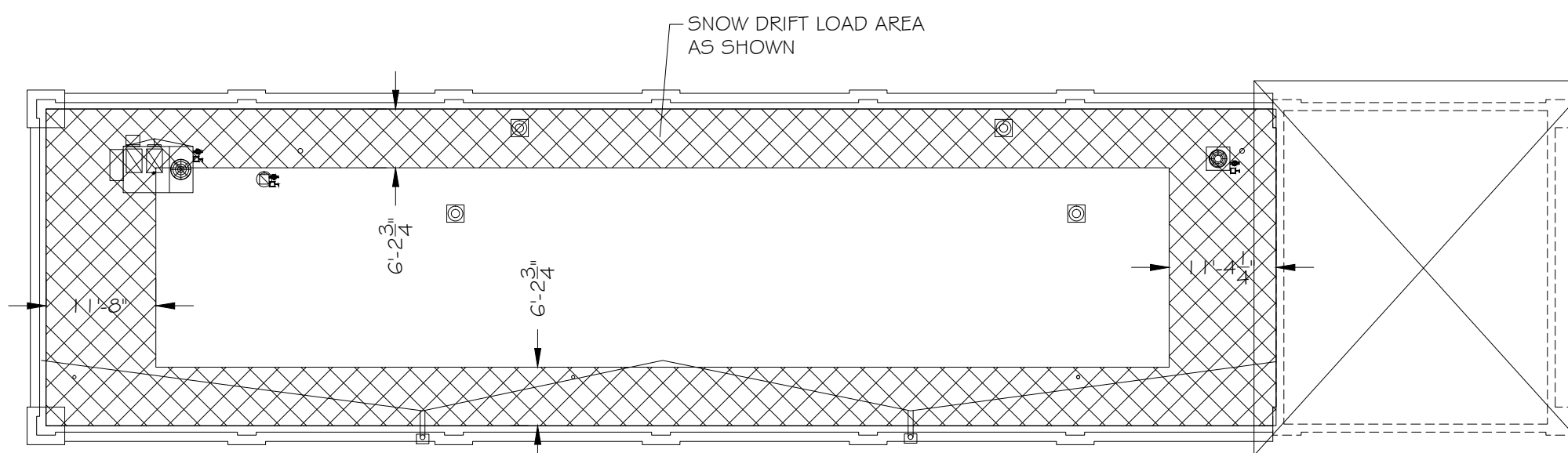
SPANCRETE SLAB PLAN

3/16"= 1'-0"



3
5-2 METAL FRAMINGS

3/16"= 1'-0"



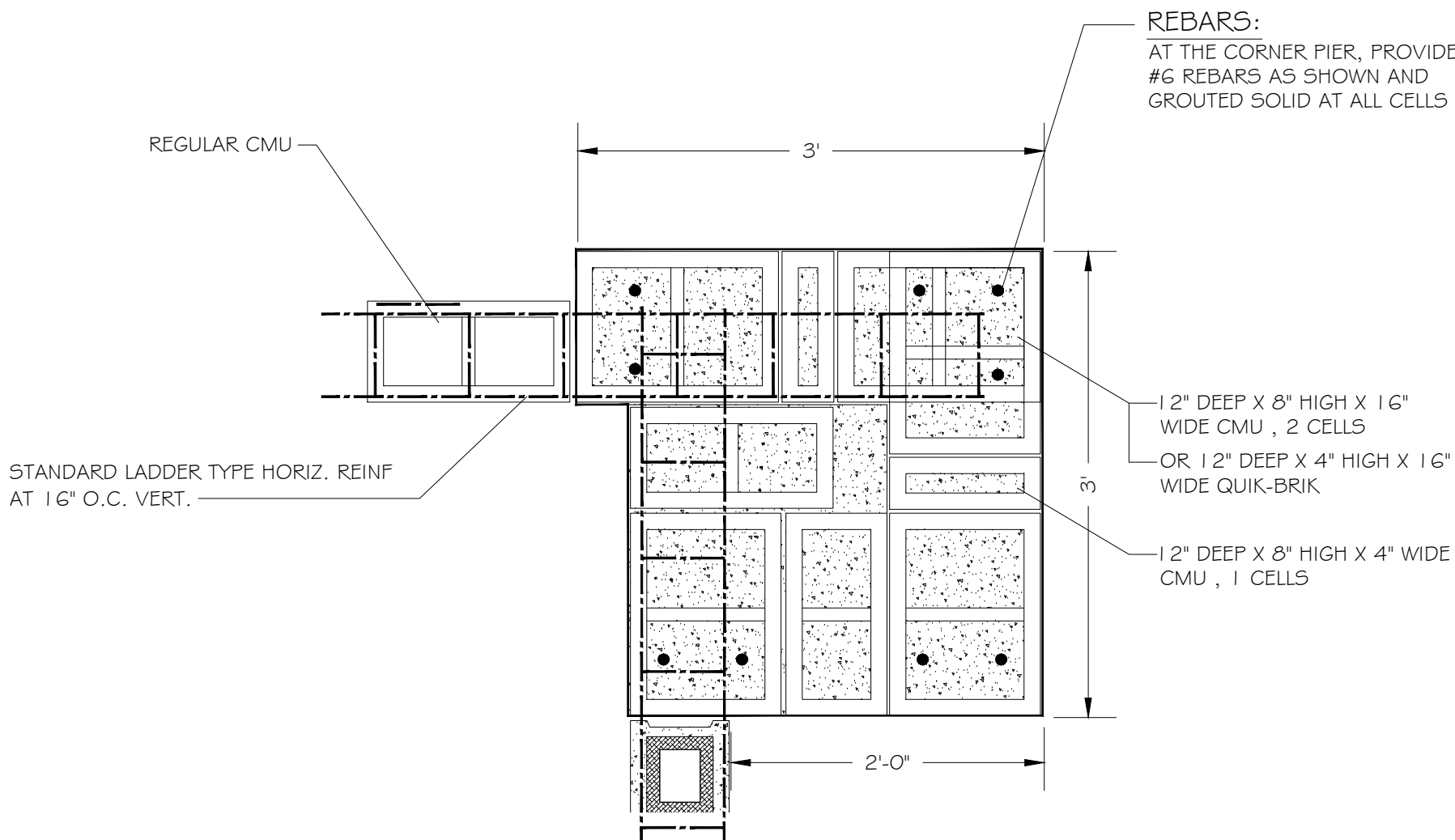
SNOW DRIFT LOADING PLAN

N.T.S.

WIND LOAD CAPACITY									
STUD SIZE	CODE	GAGE	STUD'S SPACING	15 PSF		20 PSF		25 PSF	
				U/240	U/360	U/240	U/360	U/240	U/360
6"	CSJ	20	12	19'-11"	17'-5"	18'-11"	15'-10"	16'-10"	14'-8"
			16	18'-11"	15'-10"	16'-5"	14'-4"	15'-3"	13'-4"
			24	15'-10"	13'-10"	14'-4"	12'-7"	13'-4"	11'-8"
			24	15'-10"	13'-10"	14'-4"	12'-7"	13'-4"	11'-8"
	CSW	20	12	20'-9"	18'-2"	18'-10"	16'-6"	17'-6"	15'-4"
			16	18'-10"	16'-6"	17'-2"	15'-0"	15'-11"	13'-11"
			24	16'-6"	14'-5"	15'-0"	13'-11"	13'-11"	12'-2"
			24	16'-6"	14'-5"	15'-0"	13'-11"	13'-11"	12'-2"
	CSJ	18	12	21'-8"	18'-11"	19'-8"	17'-2"	18'-3"	15'-11"
			16	19'-8"	17'-2"	17'-10"	15'-7"	16'-7"	14'-6"
			24	17'-2"	15'-0"	15'-7"	13'-8"	14'-6"	12'-8"
			24	17'-2"	15'-0"	15'-7"	13'-8"	14'-6"	12'-8"
	CSW	18	12	22'-9"	19'-10"	20'-8"	19'-2"	19'-2"	16'-9"
			16	20'-8"	18'-0"	18'-9"	17'-5"	17'-5"	15'-3"
			24	18'-0"	15'-9"	16'-5"	15'-3"	15'-3"	13'-3"
			24	18'-0"	15'-9"	16'-5"	15'-3"	15'-3"	13'-3"

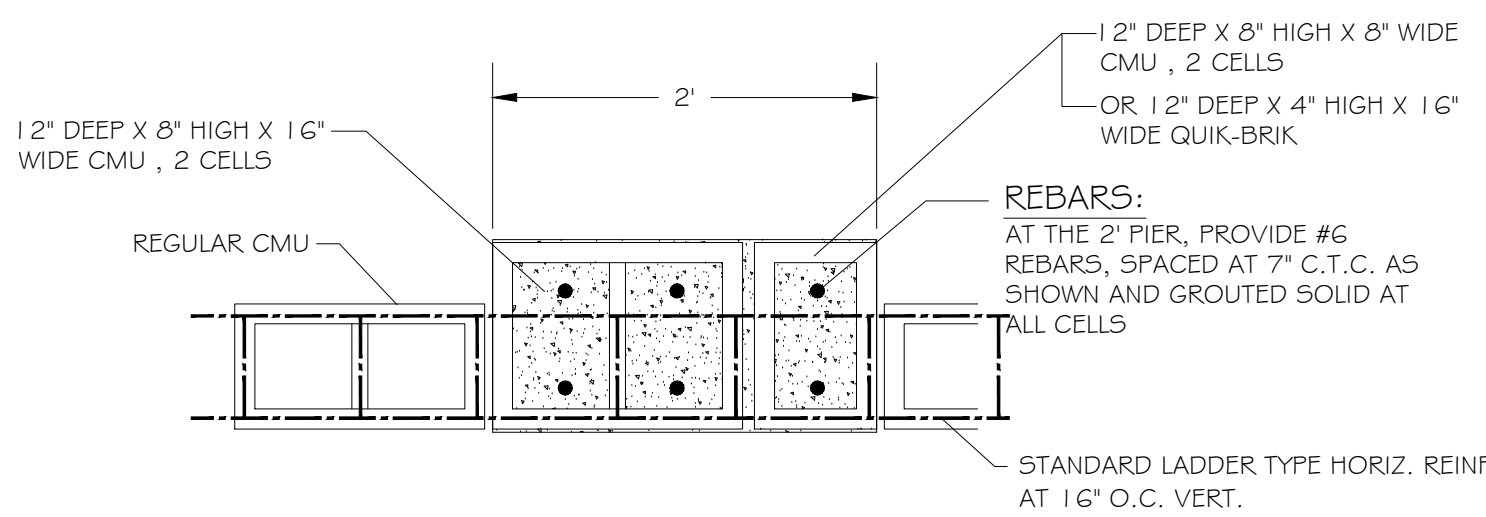
- NOTES:
- 1.) ALLOWABLE LOADS IS BASED ON 4'-0" U CHANNEL BRIDGINGS.
 - 2.) MIN. YIELD STRESS IS BASED ON 33 KSI FOR GAUGE 18,20. GAUGE 12,14 #16 IS BASED ON 50 KSI.
 - 3.) 1/3 STRESS INCREASE IS INCLUDED IN TABLE.
 - 4.) EFFECTS OF WALLBOARD ARE NOT CONSIDERED.
 - 5.) GC TO PROVIDE ALL HARDWARES PER MANUFACTURER'S SPECS.
 - 6.) GC TO PROVIDE DOUBLE X BRACINGS ON VERTICAL FACE WITH DOUBLE STUDS AT BOTH ENDS WITH GUSSET PLATE AND WELDED IN FIELD. MAX. SPACING IS 8'-0".
 - 7.) PROVIDE HEADERS AT ALL OPENINGS PER MANUFACTURER'S RECOMMENDATION. BUILT-UP HEADERS AS REQUIRED. BOXED HEADER PREFERRED AT ALL HEADERS LOCATIONS.

MOTOR FAN ATTACHMENT LOAD AT 1250 LB EACH. FLEXICORE MANUFACTURER TO PROVIDE 12X6X1/2" EMBEDMENT PLATE FOR CAR WASH MANUFACTURER'S FIELD ATTACHMENT, TOTAL 11 LOCATIONS.



BRICK PIER 1 DETAIL

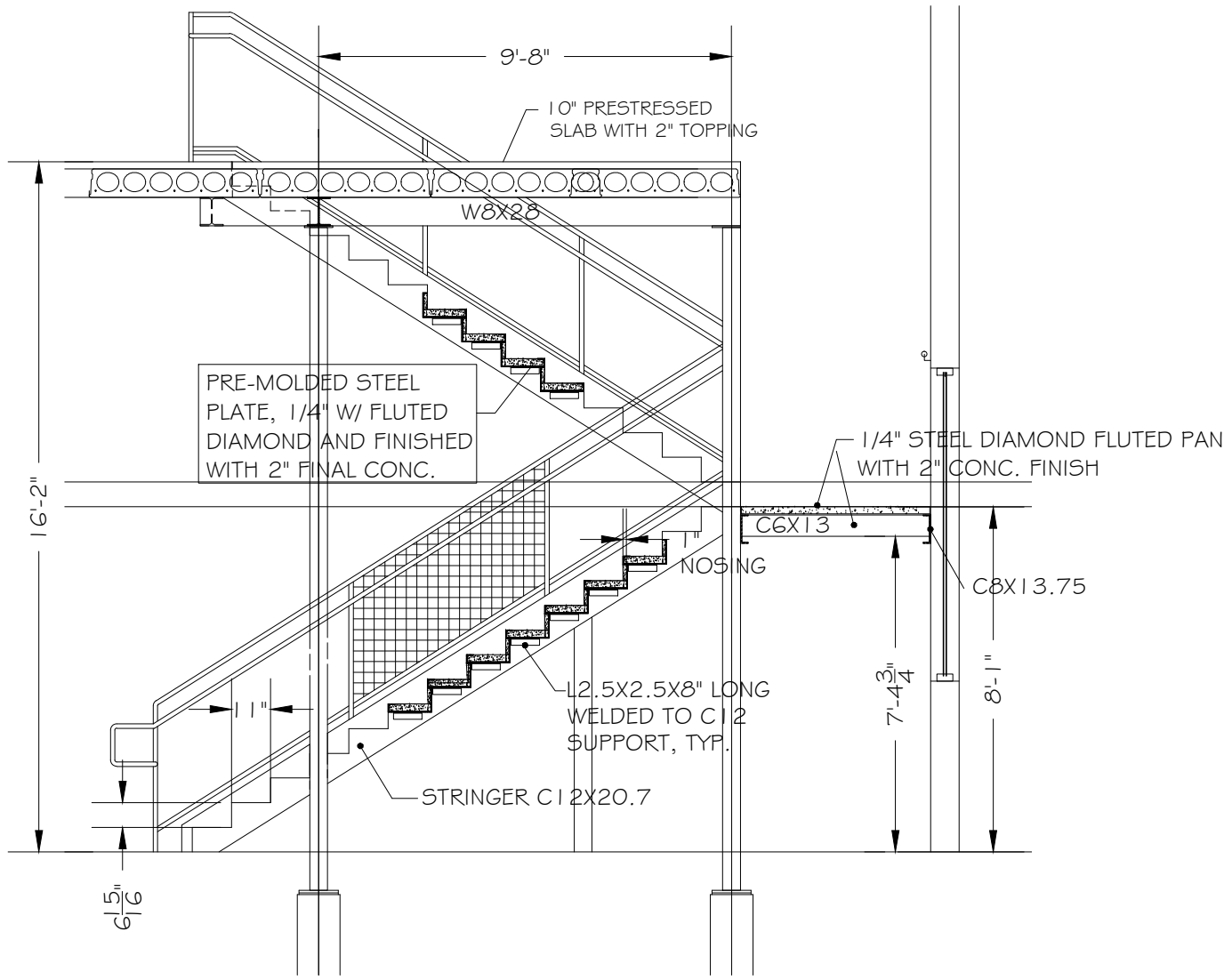
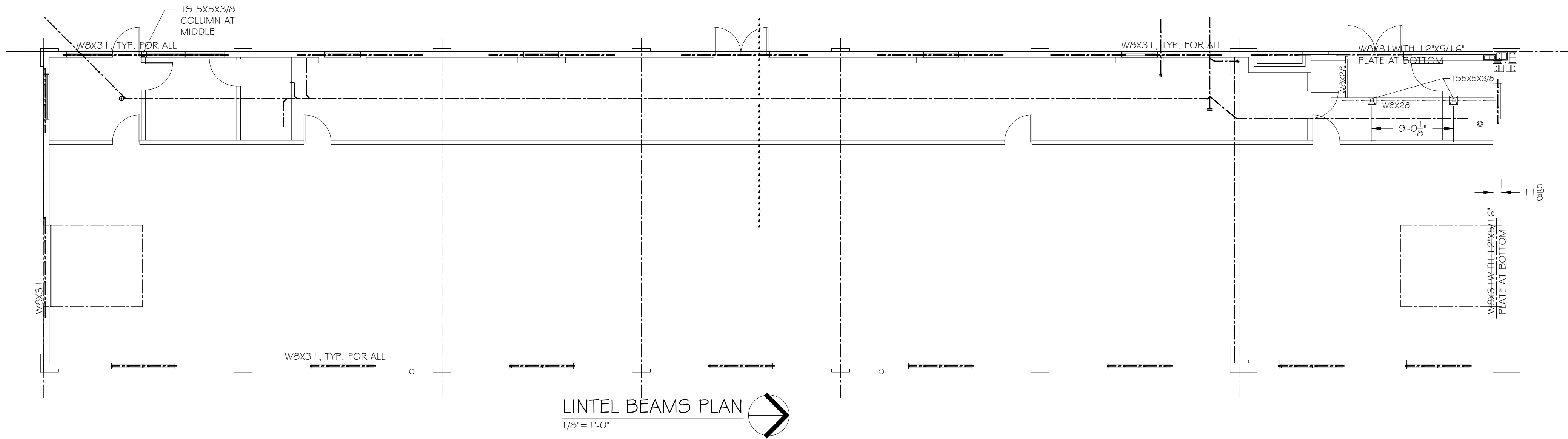
1"= 1'-0"



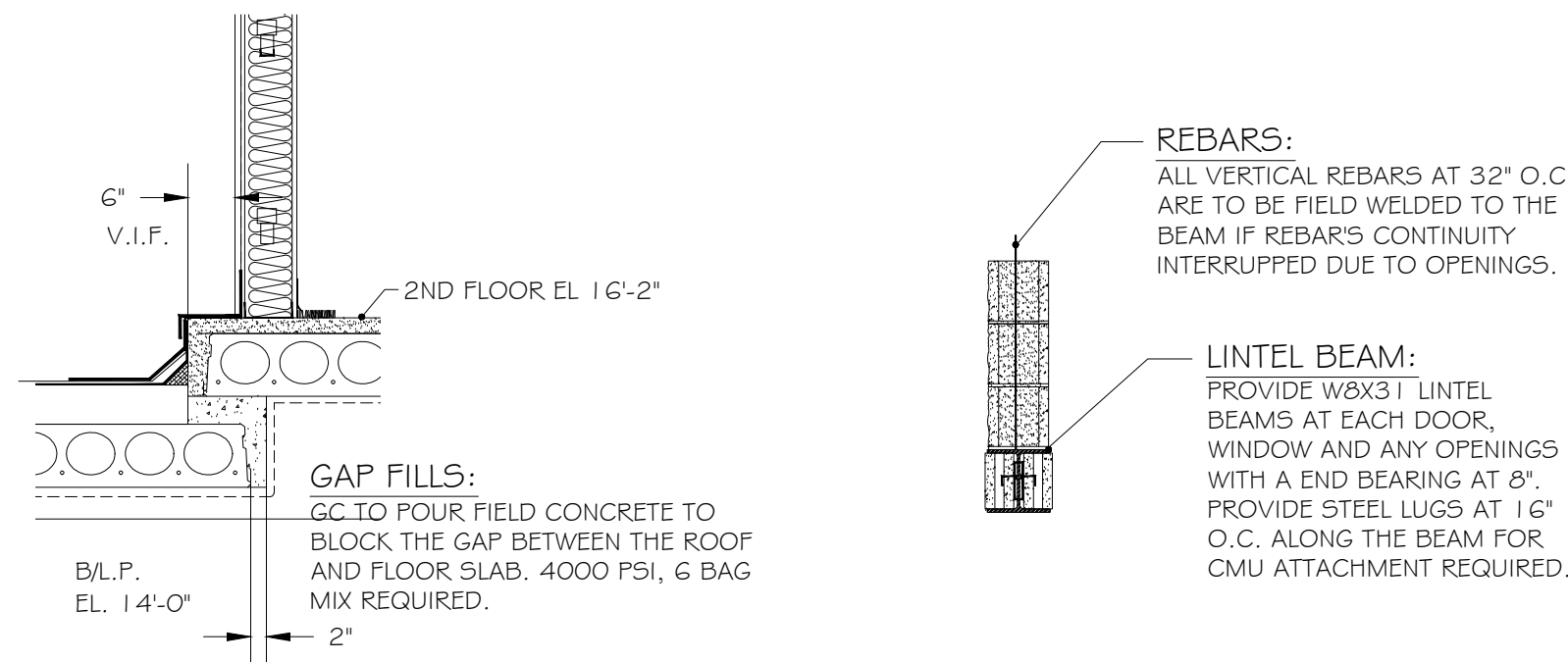
BRICK PIER 2 DETAIL

1"= 1'-0"

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: SPANCRETE SLAB PLAN. BRICK/CMU PIERS, 2ND FL. FRAMING WALL FRAMING CONCEPT	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER: RAY DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: S-2 2020 COPYRIGHT PROTECTED
				0	FOR PERMITS	3/15/2020	REVIEWER: JOHN DATE: 2/9/2020 APPROVER: DATE: PROJECT NUMBER: 12-10-2019A SCALE: AS SHOWN			

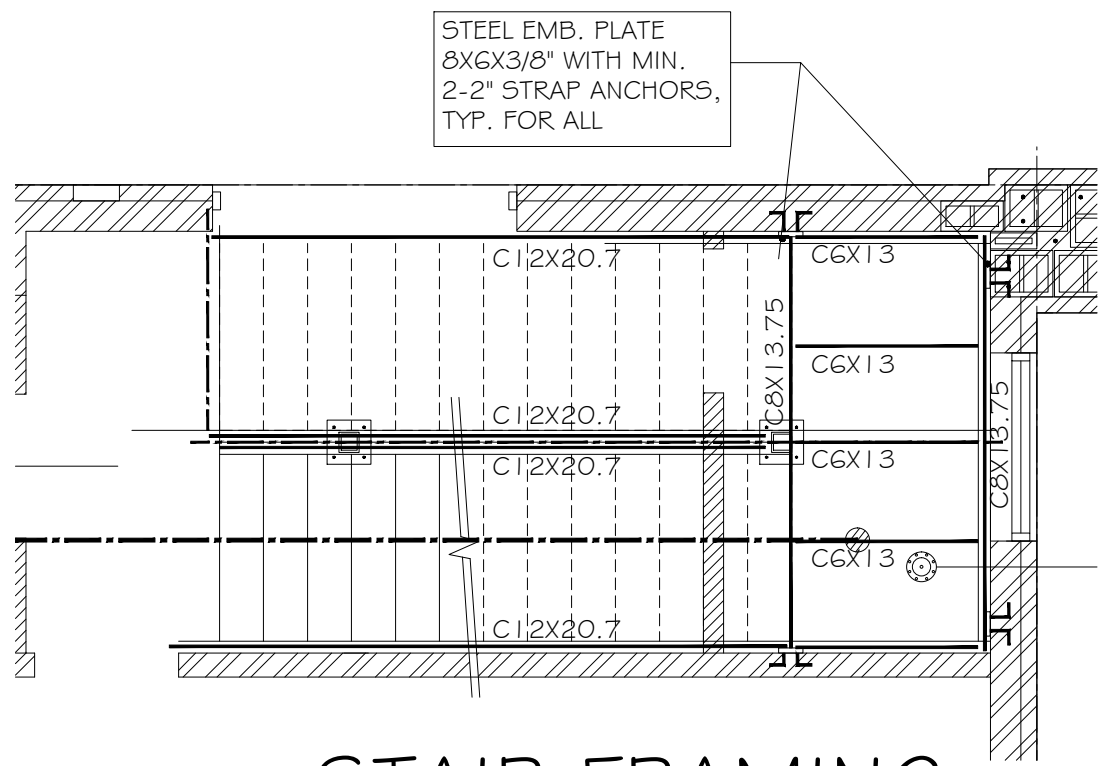


STAIR ELEV. FRAMING



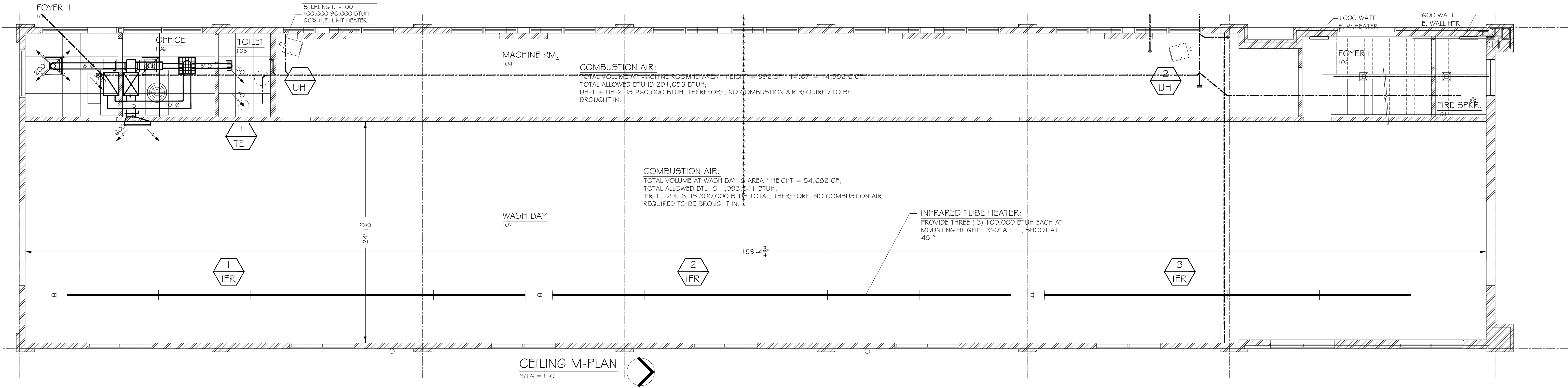
1 GAP FILLS

2 TYP. LINTELS



STAIR FRAMING

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: LINTEL BEAM PLAN AND DETAILS, STAIRWAY DETAILS	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER: RAY DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: 	DRAWING NO.: S-3 2020 COPYRIGHT PROTECTED
				0	FOR PERMITS	RAY 3/15/2020	REVIEWER: JOHN DATE: 2/9/2020 APPROVER: DATE: PROJECT NUMBER: 12-10-2019A SCALE: AS SHOWN			

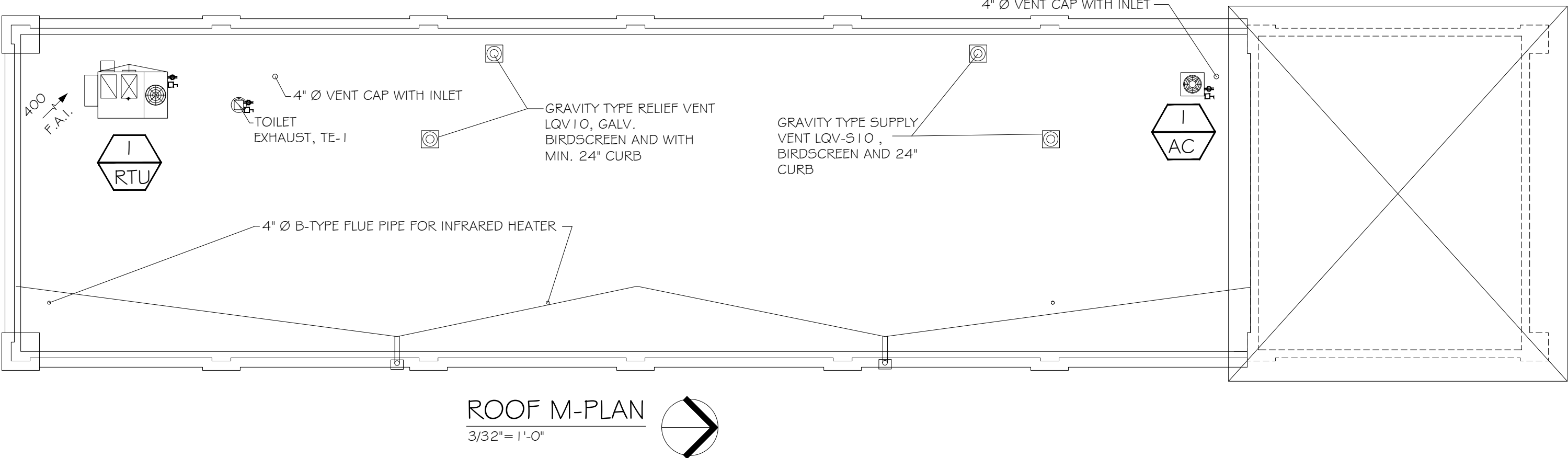


EXHAUST FAN SCHEDULE:

TAG	LOCATION	AREA SERVED	MANUFACTURER MODEL#	FAN DATA			ELECT. DATA					REMARKS
				RPM	S.P.	CAPACITY CFM	VOLT	PHASE	AMP	HP	KW	
TE-1	ROOF	1ST FL. TOILET I	LOREN # COOK 60C2B	1660	0.5	164	115	1		1/6		
TE-2	ROOF	2ND FL. TOILET RMS.	LOREN # COOK 60C2B	1660	0.5	164	115	1		1/6		

UNIT HEATER SCHEDULE:

TAG	LOCATION	AREA SERVED	MANUFACTURER MODEL	INPUT OUTPUT	AIRFLOW CFM	ELECT. DATA				GAS/FLUE		REMARKS
						VOLT	PHASE	AMP	HP	SIZE	FLUE	
UH-1 & UH-2	CEILING	MACHINE ROOM	STERLING UT-100	100,000 96,000	1,616	115	1	11.6	1 1/2	1/2	4"Ø	CONCENTRIC PVC VENT
IFR-1 TO IFR-3	CEILING	WASH BAYS	SUNSTAR SPS100	100,000		115	1	1.80	-	1/2	4"Ø	



HVAC EQUIPMENT SCHEDULE: ALL SYSTEMS SHALL USE R410-A WITH MIN. ARI EER 11.4 AND W/ ECONOMIZER

STORE	TAG	LOCATION	SERVED AREA	MANUFACTURER MODEL#	NOMINAL TONNAGE	CFM		NET COOLING CAPACITY BTUH	EXT. S.P.	COMP. KW	HEATING		GAS CONNL.	DISCH. RETURN	CO2 SENSOR ZONES	VVT	STRUCTURE WEIGHTS	ELECT. DATA			CURB HEIGHTS	VIBRATION ISOLATOR CURB	REMARKS
						SUPPLY AIR	FRESH AIR INTAKE				INPUT	OUTPUT						VOLT	PHASE	AMP			
I	RTU	ON THE ROOF	1ST FLOOR	YORK PREDATOR ZT037N07	3 TON	1,200	300	36,000	0.50	2.95	80,000	65,000	3/4"	BOTTOM	-	-	740 LB	208 230	3	40	14"	-	SEER 17.0

- 1.) PROVIDE WITH TEMPERATURE CONTROLLED ECONOMIZER. OA INTAKE SHALL HAVE INSECT MESH.
- 2.) PROVIDE WITH BAROMETRIC RELIEF DAMPER OR POWER EXHAUST FAN.
- 3.) PROVIDE WITH MFG ASSISTANT START UP.
- 4.) PROVIDE WITH TAG PLATE PERMANENTLY MOUNTED ON THE UNIT.
- 5.) PROVIDE SMOKE DETECTOR AT RETURNED DUCT WORK FOR RTU UNITS >= 2000 CFM.
- 6.) BALANCING REPORT AND AIR LEAKAGE TEST REPORTS:
HVAC CONTRACTOR TO PROVIDE A BALANCING REPORT AND AIR DUCT LEAKAGE TEST REPORT TO THE VILLAGE OF ELMHURST PRIOR TO FINAL INSPECTION.

REFRIGERATION SCHEDULE:

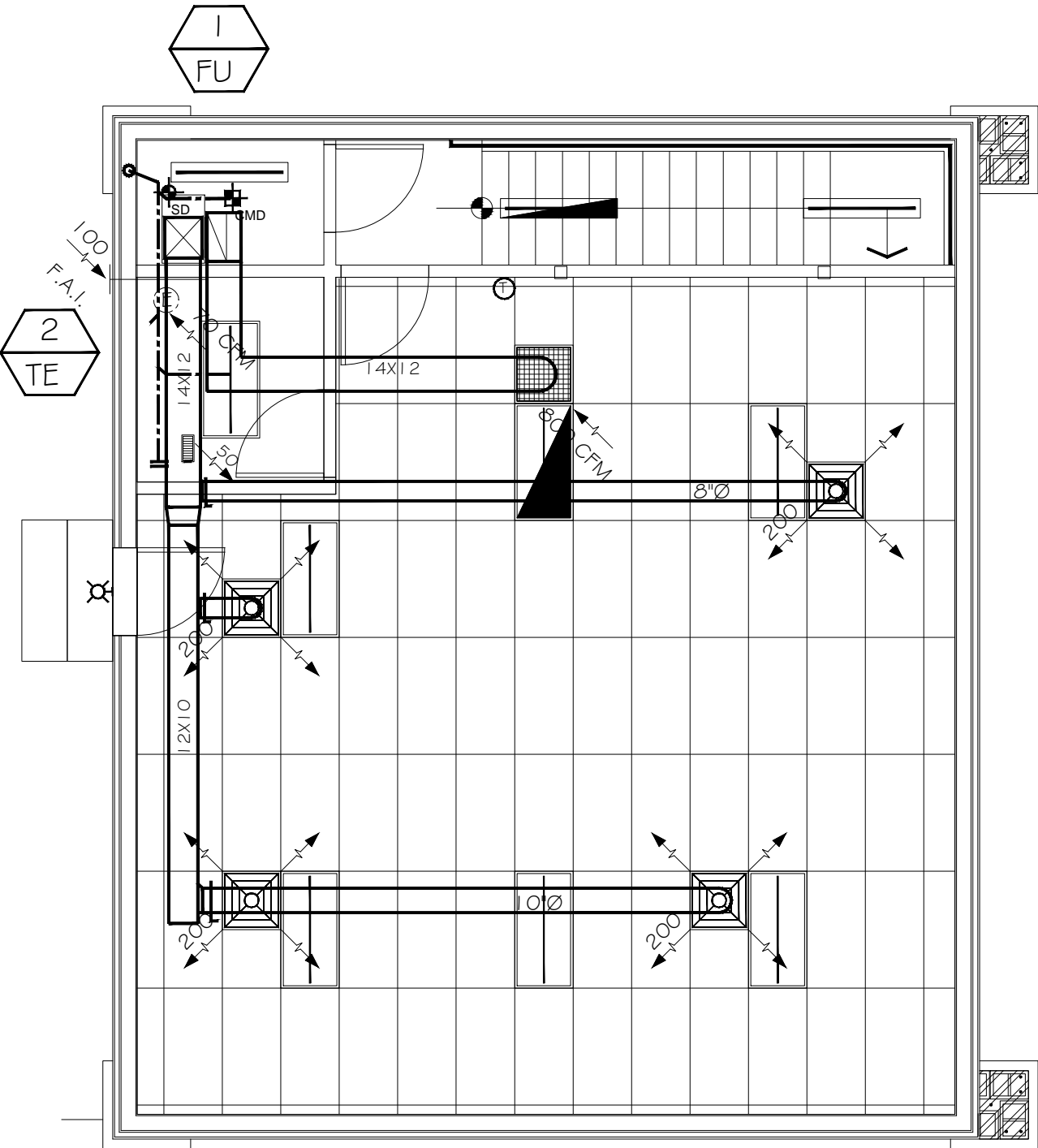
TAG # / UNIT #	QTY	COMPRESSOR DATA				WT. REF.	REMOTE	SELF-CONTAINED	LOCATION	AIR COOLED	WATER COOLED	REMARK
		NO.	TON	H.P.	AMP							
AC-1	1	1	3 T	-	40 A	106 OZ	YES	YES	ROOF	YES	NO	
NOTES: 1 AC CONDENSING UNITS, 16 SEER, R-410A, 208-1-60 ALL UNITS ARE BY RHEEM RA1630, SEER 16												

FURNACE SCHEDULE:

NAME	LOCATION	MODEL#	EFF.	INPUT / OUTPUT BTU/H	FLOW CFM	MOTOR HP	A/C	REMARK
FURNACE FU-1	2ND FL. UTIL. RM.	RGRB-07E RHEEM	93%	75K70K	1275	1/2	3 TON	

VENTILATION RATE PER 2015 IMC CODE						
OCCUPANCY CLASSIFICATIONS	OCCUPANCY DENSITY, #/1000	R _P CFM/PERSON	R _A CFM PER AREA	EXHAUST AIRFLOW, CFM/FT ²		
STORAGE ROOM			0.12			
TOILET ROOM					50/70	
OFFICES	5	5.00	0.06			
LOBBY, FOYER	10	5.00	0.06			

VENTILATION DATA FOR ALL MAJOR ROOMS													
STORE NO	ROOM NAME	PURPOSE	GROSS AREA	OCCUPANCY				VENTILATION CFM		EXHAUST CFM		REMARKS	
				DENSITY, PERSON / 1000 SF	R _P CFM / PERSON	R _A CFM / FT ²	EXHAUST AIRFLOW RATE CFM / SF ²	REQD	PROVD	REQD	PROVD		
CAR WASH 1ST FL.	FOYER I & II	LOBBY AT 101/1000	216.3	10	5	0.06	-	23.8	TOTAL VENTILATION REQUIRED IS 320, F.A.I. FROM RTU-1 & 2 AT 25% IS 400 CFM WHICH IS GREATER THAN VENT. REQD				
	TOILET I	TOILET, 1 FIXTURE	51	0	0	0	50/70*	0.0					
	OFFICE	OFFICE AT 51/1000	91.8	5	5	0.06		7.8					
	MACHINE ROOM	EQUIP. STORAGE	992.3	0	0	0.06		59.5					
2ND FL.	WASH BAY	STORAGE	3817.2	0	0	0.06		229.0					
	TOOL STORAGE	STORAGE	750.5	0	0	0.06		45.0	FU-1 VENT. PROVIDED >> 45 CFM REQD				
	TOILET	TOILET, 1 FIXTURE	44.7				50/70*						



2ND FL. CELG. M-PLAN
3/16"=1'-0"

ARCHITECT:
RAY FANG & ASSOCIATES
739 RED OAK DRIVE, BARTLETT, IL. 60103
630-788-5536, HCFANG003@AOL.COM

DEVELOPER/OWNER:
JOHN SADIKU
JOHN SADIKU, SMOKING@GMAIL.COM
828 N. YORK., ELMHURST, IL.

PROJECT NAME:
GEM CAR WASH

PROJECT ADDRESS:
**904-910 W. IRVING PARK RD.,
BENSENVILLE, IL. 60614**

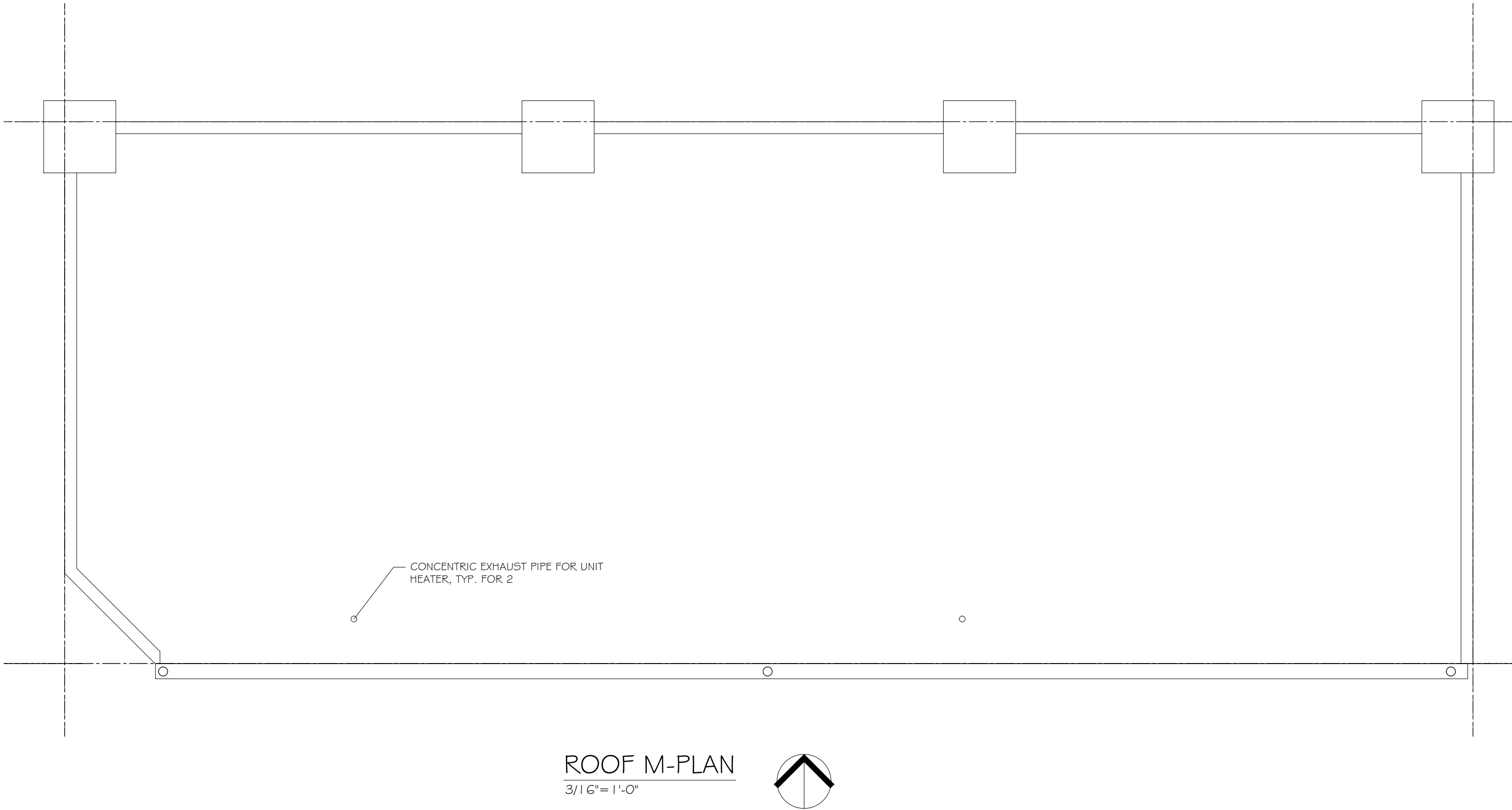
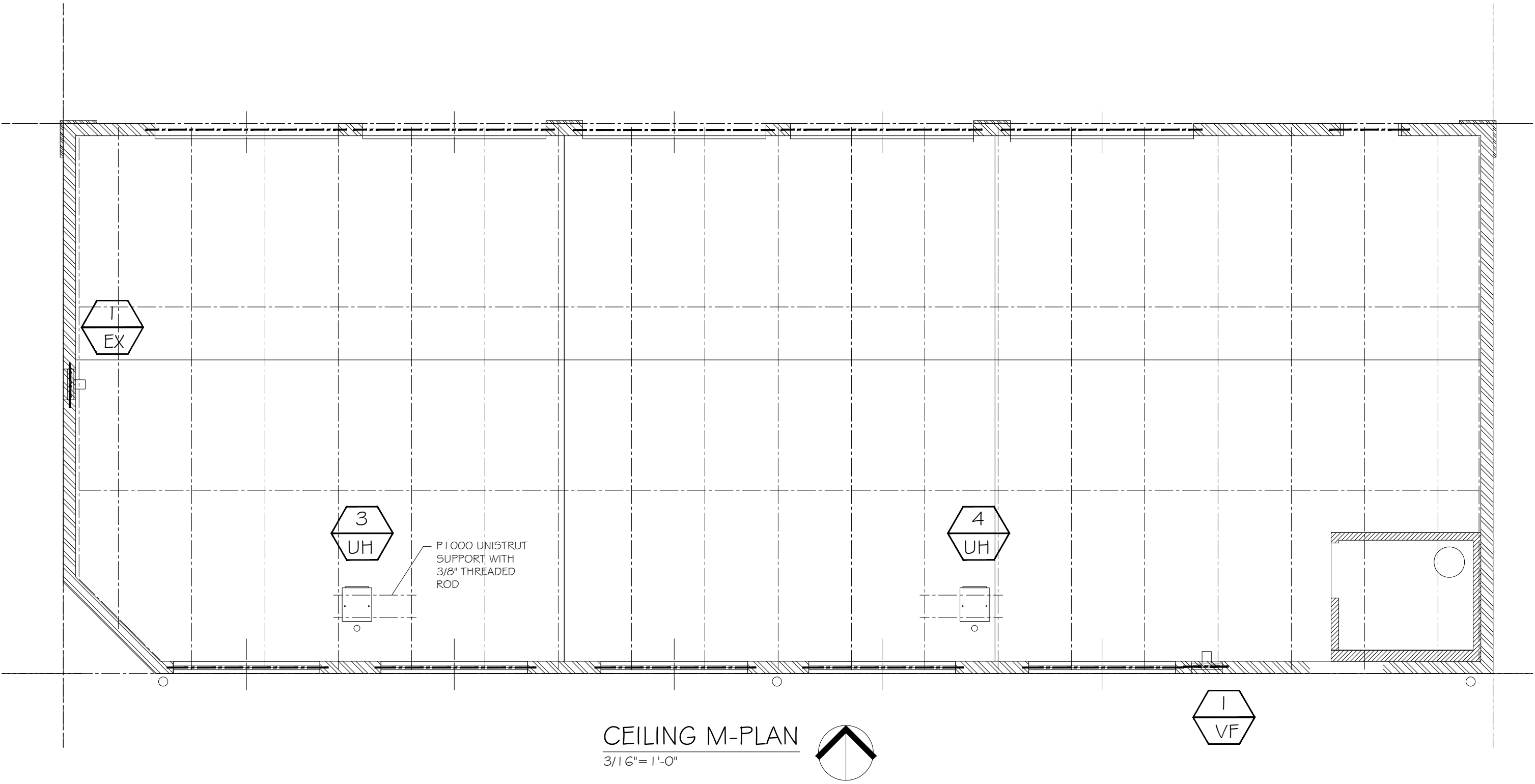
DRAWING CONTENTS:
**CELG. M-PLAN, ROOF
M-PLAN, EQUIPMENT
SCHEDULES, VENT DATA**

REVISION LOGS

NO. REV.	DESCRIPTIONS	BY/DATE	PREPARED: DATE:	CROSS REFERENCES:
0	FOR PERMITS	RAY 3/15/2020	RAY 2/9/2020	
			REVIEWER: JOHN DATE: 2/9/2020	
			APPROVER: DATE:	
			PROJECT NUMBER: 12-10-2019A	
			SCALE: AS SHOWN	

ARCHITECT STAMP:
**STATE OF ILLINOIS
HUNG-CHUN FANG
011348
EXP. 11/30/2020
REGISTERED ARCHITECT**

DRAWING NO.:
M-1
2020 COPYRIGHT PROTECTED



EXHAUST FAN SCHEDULE												
TAG	LOCATION	AREA SERVED	MANUFACTURER, MODEL #	FAN DATA			ELECT. DATA					REMARKS
				RPM	S.P.	CAPACITY CFM	V	Ø	AMP	HP	KW	
EX-1	WALL	ALL AREA	COOK 16510D	950	1/8	1684	115	1		1/6		
VF-1	WALL	ALL AREA	COOK 14510D	950	1/8	1684	115	1		1/6		REVERSE BLOW DIRECTION
NOTES		1.) PROVIDE HEAVY-DUTY ALUM. SHUTTER WITH OSHA APPROVED WIRE GUARD 2.) PROVIDE VARIABLE SPEED FAN CONTROL REQD										

UNIT HEATER SCHEDULE													
TAG	LOCATION	AREA SERVED	MANUFACTURER, MODEL #	INPUT / OUTPUT, MBTUH	AIR FLOW CFM	ELECT. DATA					GAS		REMARKS
						V	Ø	AMP	HP	KW	SIZE	FLUE	
UH-3, UH-4	CELG	ALL AREA	STERLING UT-100	100096	1616	115	1	11.6	1/12		1/2	4" Ø	CONCENTRIC PIPE EXHAUST

VENTILATION DATA FOR ALL MAJOR ROOMS												
STORE NO	ROOM NAME	PURPOSE	GROSS AREA	OCCUPANCY				VENTILATION		EXHAUST		REMARKS
				DENSITY 1000 PERSON / SF	R ₂ CFM / PERSON	R ₃ CFM / FT ²	EXHAUST APT/CFM RATE CMH / SF	REQ'D	PROV'D	REQ'D	PROV'D	
GEM CAR WASH	DETAIL BAY	DETAIL SHOP & STORAGE	2185.4	0	0	0	0.75	0.0	0	1639.05	1640	

VENTILATION RATE PER 2015 IMC CODE					
OCCUPANCY CLASSIFICATIONS	OCCUPANCY DENSITY, #/1000	R ₂ CFM/PERSON	R ₃ CFM PER AREA	EXHAUST MINIMUM, CFM/FT	
STORAGE ROOM			0.12		
TOILET ROOM				50/70	
OFFICES	5	5.00	0.06		
LOBBY, FOYER	10	5.00	0.06		

ARCHITECT:
RAY FANG & ASSOCIATES
739 RED OAK DRIVE, BARTLETT, IL. 60103
630-788-5536, HCFANG003@AOL.COM

DEVELOPER/OWNER:
JOHN SADIKU
JOHN SADIKU, SMOKING@GMAIL.COM
828 N. YORK., ELMHURST, IL.

PROJECT NAME:
GEM CAR WASH

PROJECT ADDRESS:
**904-910 W. IRVING PARK RD.,
BENSENVILLE, IL. 60614**

DRAWING CONTENTS:
**DETAIL SHOP CELG. M-PLAN,
ROOF M-PLAN, EQUIPMENT
SCHEDULES, VENT DATA**

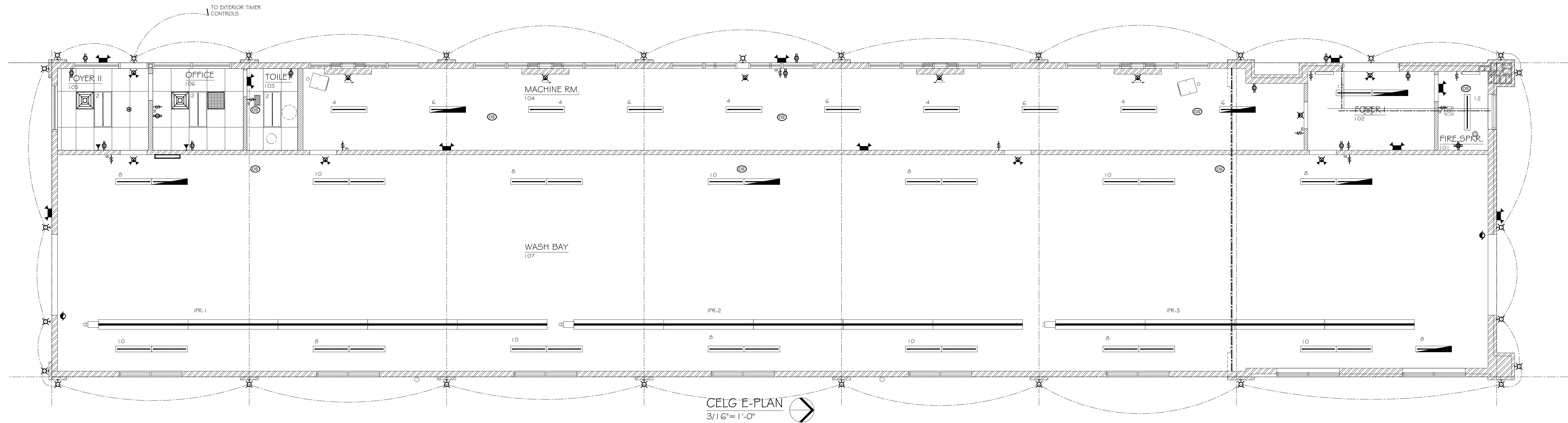
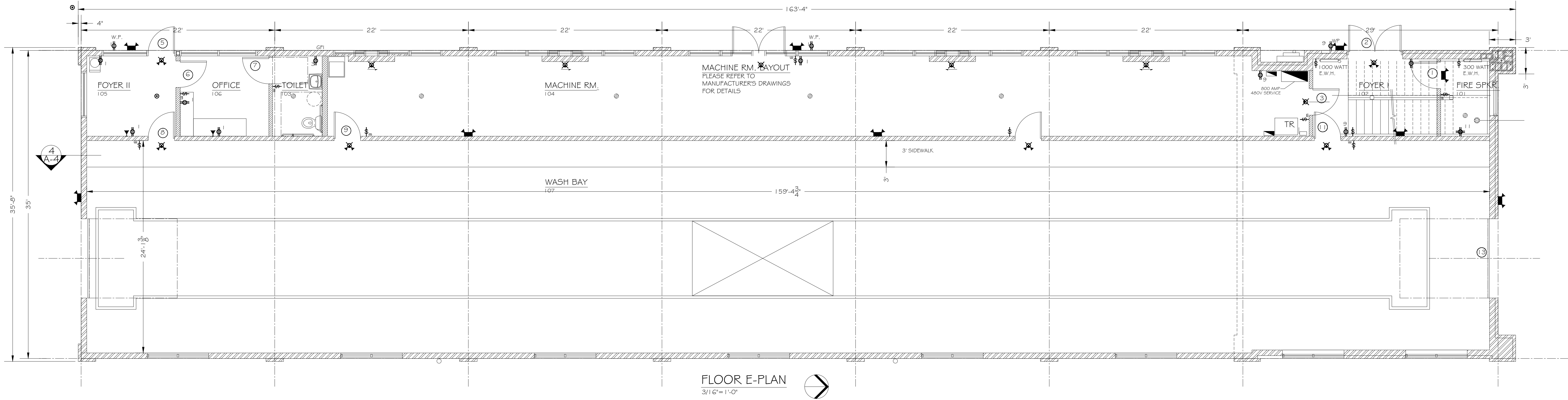
REVISION LOGS

NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER DATE:	CROSS REFERENCES:
0	FOR PERMITS	RAY 3/15/2020	RAY 2/9/2020 REVIEWER: JOHN DATE: 2/9/2020 APPROVER: DATE: PROJECT NUMBER: SCALE: AS SHOWN	

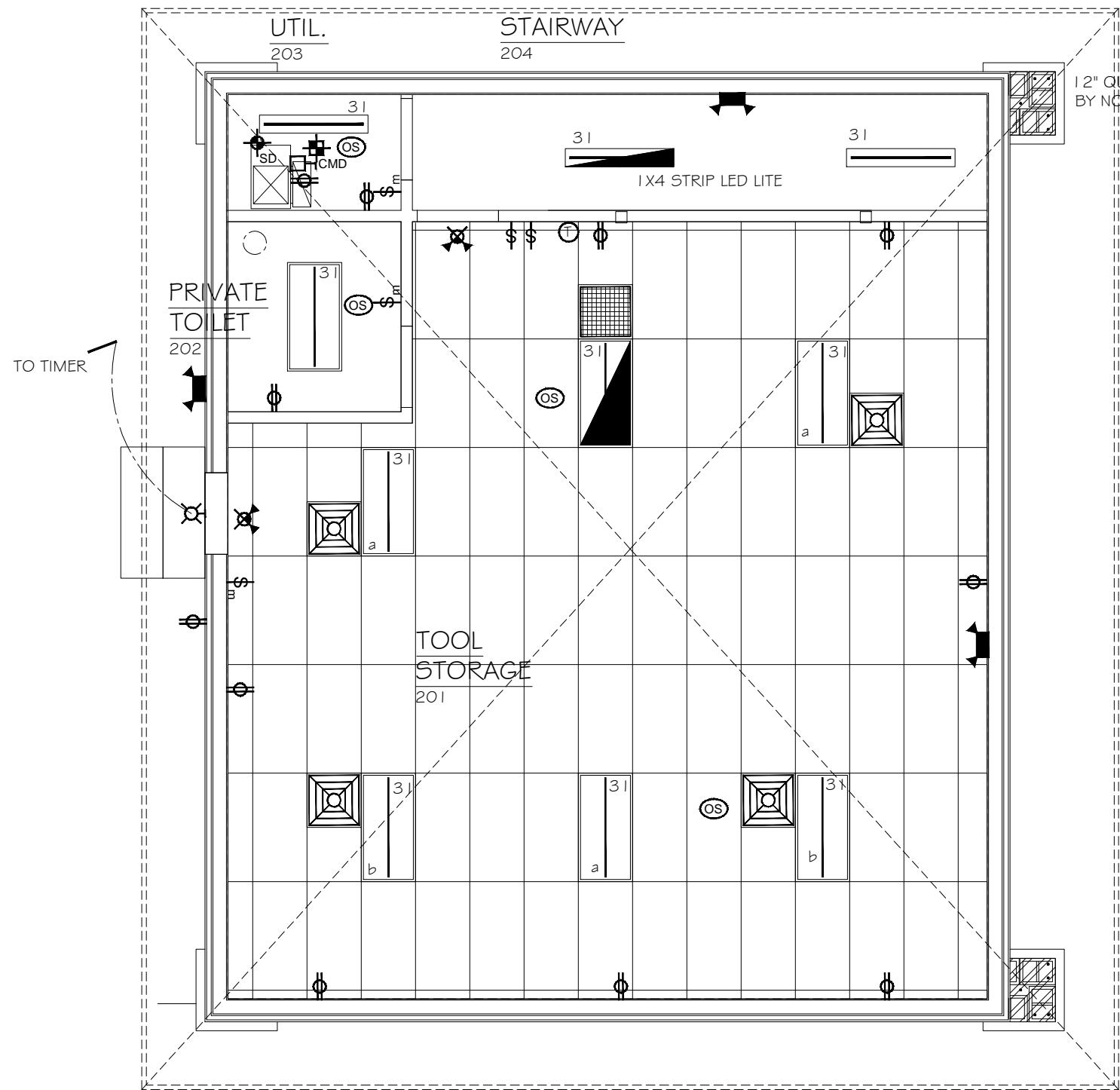
ARCHITECT STAMP:

HUNG-CHUN FANG
011348
EXP. 11/30/2020
REGISTERED ARCHITECT

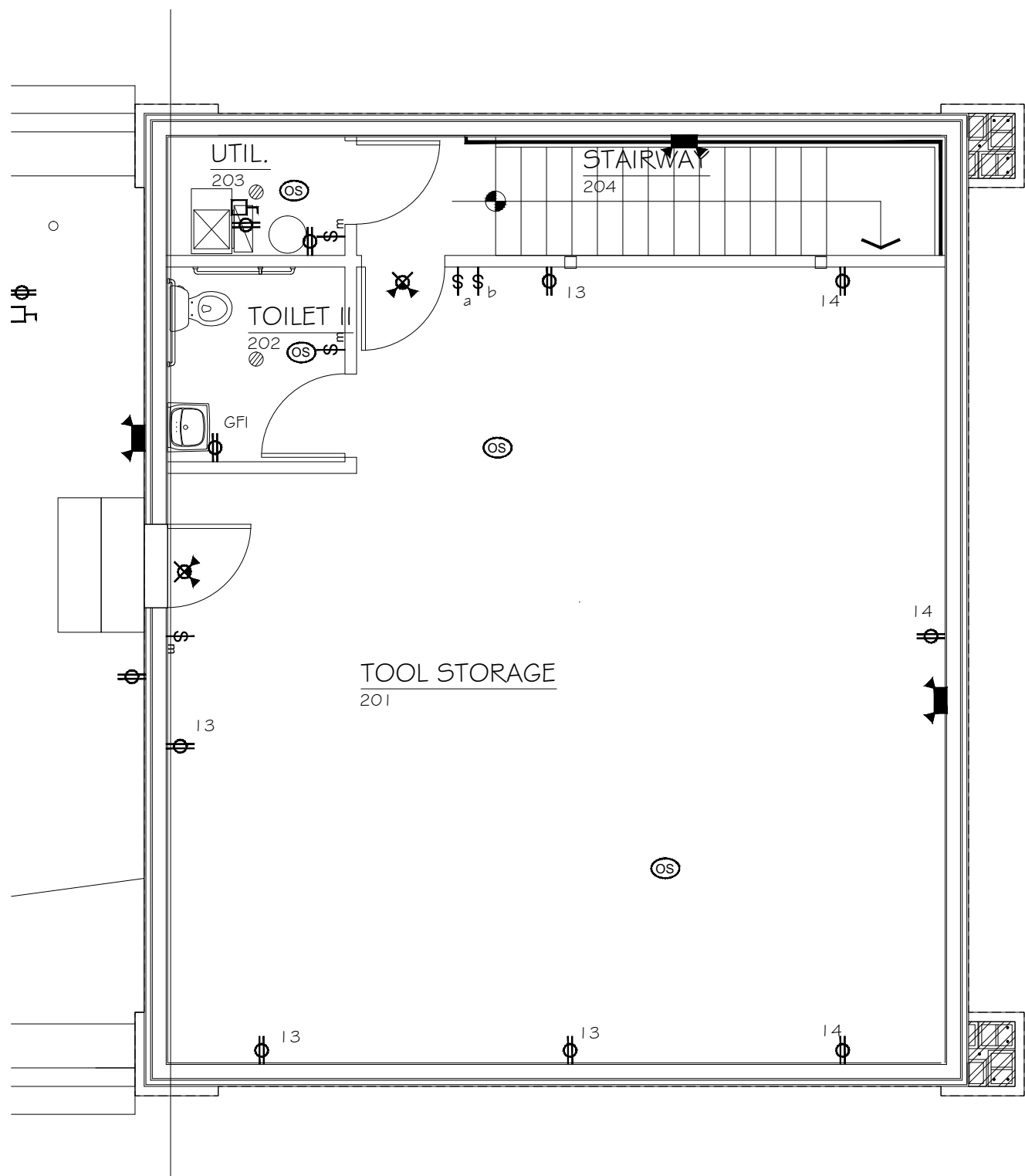
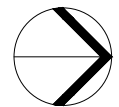
DRAWING NO.:
M-2
2020 COPYRIGHT PROTECTED



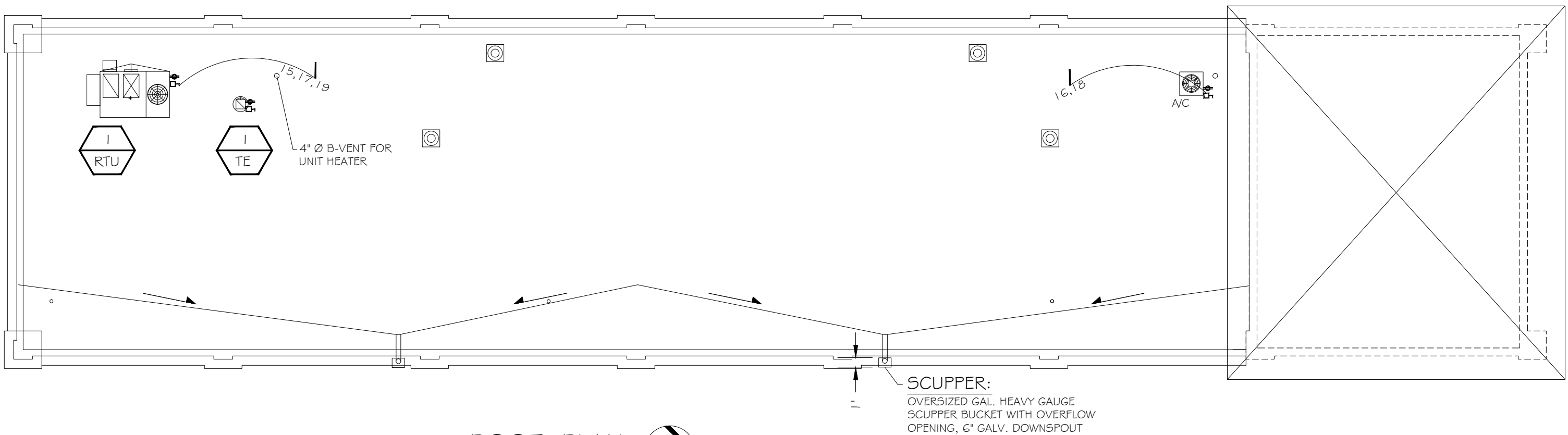
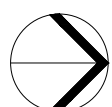
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: NEW FL. & CELG. E-PLANS;	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER: RAY DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: E-1
				0	FOR PERMITS	RAY 3/15/2020	REVIEWER: JOHN DATE: 2/9/2020			
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, 5MOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614						APPROVER: DATE:			
							PROJECT NUMBER: 12-10-2019A			
							SCALE: AS SHOWN			



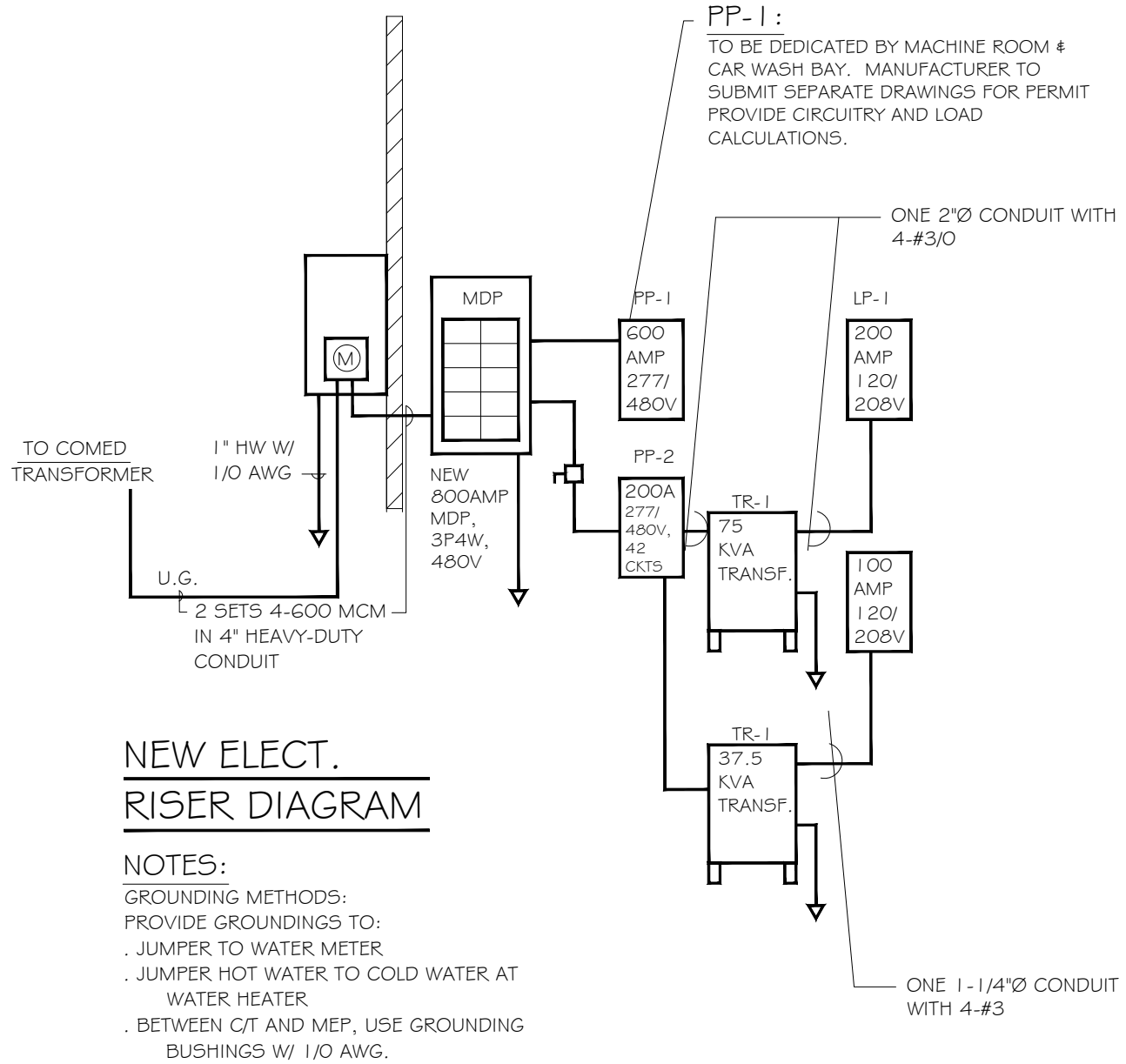
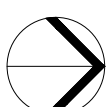
2ND FL. CELG. E-PLAN
3/16"=1'-0"



2ND FL. E-PLAN
3/16"=1'-0"



ROOF. PLAN
3/32"=1'-0"



NEW ELECT. RISER DIAGRAM

NOTES:
GROUNDING METHODS:
PROVIDE GROUNDINGS TO:
JUMPER TO WATER METER
JUMPER HOT WATER TO COLD WATER AT WATER HEATER
BETWEEN C/T AND MEP, USE GROUNDING BUSHINGS W/ 1/0 AWG.

ELECTRICAL NOTES:

- 1.) GROUNDING CONNECTIONS TO BE PER LOCAL CODES.
- 2.) ALL EXIT SIGNS, EMERGENCY FIXTURES AND EXIT EGRESS TO BE 90 MINUTES CHARGES.
- 3.) ALL UNDERGROUND CONDUIT TO BE PVC.
- 4.) ALL CONDUCTORS TO BE COPPER.
- 5.) MIN. CONDUCTORS TO BE #12 THIN.
- 6.) ALL CONDUCTORS OVER 24V TO BE IN CONDUIT.
- 7.) FLEXIBLE METAL CONDUIT SHALL NOT EXCEEDS 6' AND IS FOR INDOOR USE ONLY.
- 8.) LIQUID TIGHT METAL CONDUIT SHALL BE USED ABOVE GRADE WITH 6' MAX. LENGTH.
- 9.) EMT CONDUIT TO BE USED AND SHALL NOT BE USED BELOW GRADE AND EXTERIOR.
- 10.) ALL CABLES TO BE THIN OR THIN.
- 11.) ALL RECEPTACLES AND CIRCUITS TO BE 20 AMP.
- 12.) ALL CONDUITS SHALL HAVE A GREEN GROUNDING CONDUCTOR SIZED PER NEC 250.
- 13.) ALL BOXES SHALL BE OF THE BRACKETED TYPE.
- 14.) PIPE SHALL COMPLY WITH CHAPTER 49 AND ADJUSTED FOR MORE THAN 3 CURRENT CONDUCTORS PER NEC 201.1.
- 15.) 6' OF FREE CONDUCTORS SHALL BE LEFT AT ALL BOXES.
- 16.) ALL LOW VOLTAGE WIRING TO BE IN BRIDLE RINGS, 10' SPACING MAXIMUM.
- 17.) ELECTRICAL PVC MAY BE USED IN FLOOR.
- 18.) IF REQUIRED, CONTRACTOR REPRESENTATIVE WILL MEET WITH ELECTRICAL INSPECTOR BEFORE STARTING PROJECT.
- 19.) ALL WIRING SHALL BE PULLED FOR ROUGH IN INSPECTION, EXCEPT SLAB WORK.
- 20.) ALL GARVIN COVER OUTLETS SHALL HAVE BONDING JUMPER PER NEC 250.
- 21.) ELECTRICAL SERVICE CONDUITS BELOW GRADE TO BE HARD METAL OR PVC, ABOVE GRADE SERVICE CONDUITS TO BE EMT.
- 22.) ALL WATER PIPES AND GAS LINES SHALL BE BONDED PER NEC 201.1.
- 23.) A GROUNDING CONDUCTOR SHALL BE ENGAGED IN CONCRETE PER NEC 201.1.
- 24.) ELECTRICAL SERVICE CONDUCTORS SHALL NOT BE INSTALLED MORE THAN 5' FROM METER TO FIRST POINT OF DISCONNECT MEANS.
- 25.) SHUNT TRIP FOR ELECTRICAL SERVICE SHALL BE PROVIDED PER FIRE MARSHAL.
- 26.) ELECTRICAL INSPECTIONS SHALL BE CALLED IN FOR ALL ELECTRICAL WORK.
- 27.) COMED TO PROVIDE A/C RATING FOR TRANSFORMER DIRECTLY TO VILLAGE.
- 28.) ALL FIRE ALARM WIRING TO BE IN RED CONDUIT.
- 29.) ALL ELECTRICAL EQUIPMENT TO BE LABELED AND TESTED BY A THIRD PARTY.
- 30.) GROUNDING CONDUCTORS SMALLER THAN #6 TO BE GREEN AND GROUNDING CONDUCTORS SMALLER THAN #6 SHALL BE WHITE.
- 31.) CONTRACTORS NAME TO BE PERMANENTLY MOUNTED TO SERVICE.
- 32.) ALL EXIT SIGNS TO BE IN ACCORDANCE WITH IBC.
- 33.) BATTERY LIGHTS TO MEET IBC CODE (1-100).
- 34.) BATTERY LIGHTS TO BE WIRED TO SAME ROOM CIRCUIT AHEAD OF SWITCH.
- 35.) LIGHT FIXTURES AND CONDUIT IN DROP CEILING TO COMPLY WITH NEC 201.1.
- 36.) CONDUIT BELOW ROOF DECK SHALL COMPLY WITH 300-4E.
- 37.) TEMPORARY WIRING SHALL COMPLY WITH 300-5-1 AND BE HARD CORD INSULATION.

LEGENDS:

- SWITCH, OR WITH OCCUPANCY SENSORS
- DUPLEX, 20A
- QUAD-FLEX
- 2X4 LED LIGHTING, 40W
- 4' STRIP LED LIGHTING BY COOPER SNILED-LD I-45-RM-UNV-L640-CD I-U
- 220V
- DATAVOICE
- LED EXIT, 90 MIN. BATTERY
- EMERGENCY LITE WITH 90 MINUTES BATTERY BACKUP
- WALLS
- NEW WALL SCONCE
- NEW INCANDESCENT LIGHT
- NEW CO DETECTOR
- NEW SMOKE DETECTOR

MOUNTING HEIGHT OF ELEC. DEVICES		
DEVICE	HEIGHT TO BOTTOM OF DEVICE	REMARKS
SWITCHES	44"	
RECEPTACLES	12"	
TOILET ROOM OUTLETS	40"	
GENERAL OUTLETS	15"	

PANEL SCHEDULE									
PANEL: PP-2					EXISTING/ NEW				
LOCATION: MACHINE ROOM					FED FROM: MDP				
VOLTAGE: 277/480V					MAINS: 200AMP				
WATTS	LOAD SERVICE	AMP	CCT #	A PHASE	B PHASE	C PHASE	CCT AMP #	LOAD SERVICE	WATTS
1500	HEATER #64 950 MBTUH	20	1	6500			2	AIR COMPRESSOR #1	5000
1500			3		6500		4		5000
1500			5			6500	6		5000
1500	HEATER #65 950 MBTUH	20	7	6500			8	AIR COMPRESSOR #2	5000
1500			9		6500		10		5000
1500			11			6500	12		5000
7500	CONVEYOR CONTROL BOX	80	13	9000			14	WATER RECLAIM UNIT	1500
7500			15		9000		16		1500
7500			17			9000	18		1500
			19				20		
			21				22		
			23				24		
			25				26		
			27				28		
			29			16.5 KW	30	TR-1	50.8 KW
			31	17.5 KW			32		
			33		16.8 KW		34		
			35				36	TR-2	10.0 KW
			37				38		
			39				40		
			41				42		
TOTALS				39.5 KW	38.8 KW	38.5 KW		TOTAL 116.8 KW	
					TOTAL 140.4 AMPS				

PANEL SCHEDULE									
PANEL: LP-1					EXISTING/ NEW				
LOCATION: MACHINE ROOM					FED FROM: TRANSFORMER TR-1				
VOLTAGE: 120/208V					MAINS: 200AMP				
WATTS	LOAD SERVICE	AMP	CCT #	A PHASE	B PHASE	C PHASE	CCT AMP #	LOAD SERVICE	WATTS
1500	OFFICE/FOYER OUTLETS	20	1	2500			2	GEN. LITES, OFF. Foyer I, ToileT	1000
1800	TOILET GFI OUTLETS	20	3		2800		4	GEN. LITES, MACHINE RM	1000
1000	E. WALL HEATER Foyer II	20	5			2000	6	GEN. LITES, OFF. MACHINE RM	1000
600	E. WALL HEATER SPKR RM	20	7	1600			8	GEN. LITES, WASH BAY	1000
1500	SPKR OUTLETS	20	9		2500		10	GEN. LITES, WASH BAY	1000
1500	SPKR OUTLETS	20	11			2100	12	FURNACE	600
1500	RM 203 OUTLETS	20	13	3000			14	RM 203 OUTLETS	1500
9900	RTU-1	40	15		4800		16	A/C	1500
			17			4800	18		1500
			19	4200			20	UH-1	900
900	GARAGE DOOR WEST CONTR	20	21		1800		22	UH-2	900
900	GARAGE DOOR EAST CONTR	20	23			1800	24	IFR-1	900
900	FF-1 TOILET I	20	25	1800			26	IFR-2	900
900	FF-2 TOILET II	20	27		1800		28	IFR-3	900
900	GAS WATER HTK 2ND FL	20	29			1900	30	E.W.H., 10G	1000
1000	RM 201, 202, 203 LIGHTS	20	31	2000			32		1000
600	E. WALL HEATER STAIRWAY, 2ND FL	20	33		1600		34		1000
900	AIR FILTER FOR COMP. 1 & 2	20	35			2400	36	DE-ICE SYSTEM #129	1500
900	BRINE TANK FOR WATER SOFTNER	20	37	2400			38	DE-ICE SYSTEM #130	1500
			39		1500		40		1500
			41			1500	42		1500
TOTALS				17.5 KW	16.8 KW	16.5 KW		TOTAL 50.8 KW	
					TOTAL 141 AMPS				

PANEL SCHEDULES ON ELECT. PANEL:
AT COMPLETION OF WORK, ELECTRICIAN TO TYPE IN THE CIRCUITRY DIRECTORY ON THE FACE OR INSIDE EACH ELECTRICAL PANEL REQUIRED.

PANEL SCHEDULE									
PANEL: MDP					FED FROM: COMED				
LOCATION: MACHINE RM					NEW				
VOLTAGE: 277/480V					MAINS: 800 AMP				
KW	LOAD SERVICE	AMP	CCT #	A PHASE	B PHASE	C PHASE	CCT AMP #	LOAD SERVICE	KW
346.0	MCC MANUFACTURERS CONTROL CABINET	600	1				2	PP-2	116.8
			3				4		
			5				6		
	SPACE		7				8	SPACE	
			9				10		
			11				12		
	SPACE		13				14	SPACE	
			15				16		
			17				18		

ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: 2ND FL. & CELG. E-PLANS; ROOF E-PLAN, PANEL SCHEDULES, E-RISERS	NO. REV. 0	DESCRIPTIONS FOR PERMITS	BY/DATE RAY 3/15/2020	PREPARED BY/DATE RAY 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: E-2 2020 COPYRIGHT PROTECTED
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, SMOKING@GMAIL.COM 828 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614								



The image shows a professional engineer's seal for the State of Illinois. The seal is circular with a double-line border. The outer ring contains the text "STATE OF ILLINOIS" at the top and "REGISTERED ARCHITECT" at the bottom. The center of the seal contains the name "HUNG-CHUN FANG", the license number "011348", and the expiration date "EXP: 1/13/2020". To the right of the seal, the text "DRAWING NO.:" is followed by a large, handwritten "E-4". At the bottom right, the text "2020 COPYRIGHT PROTECTED" is printed.

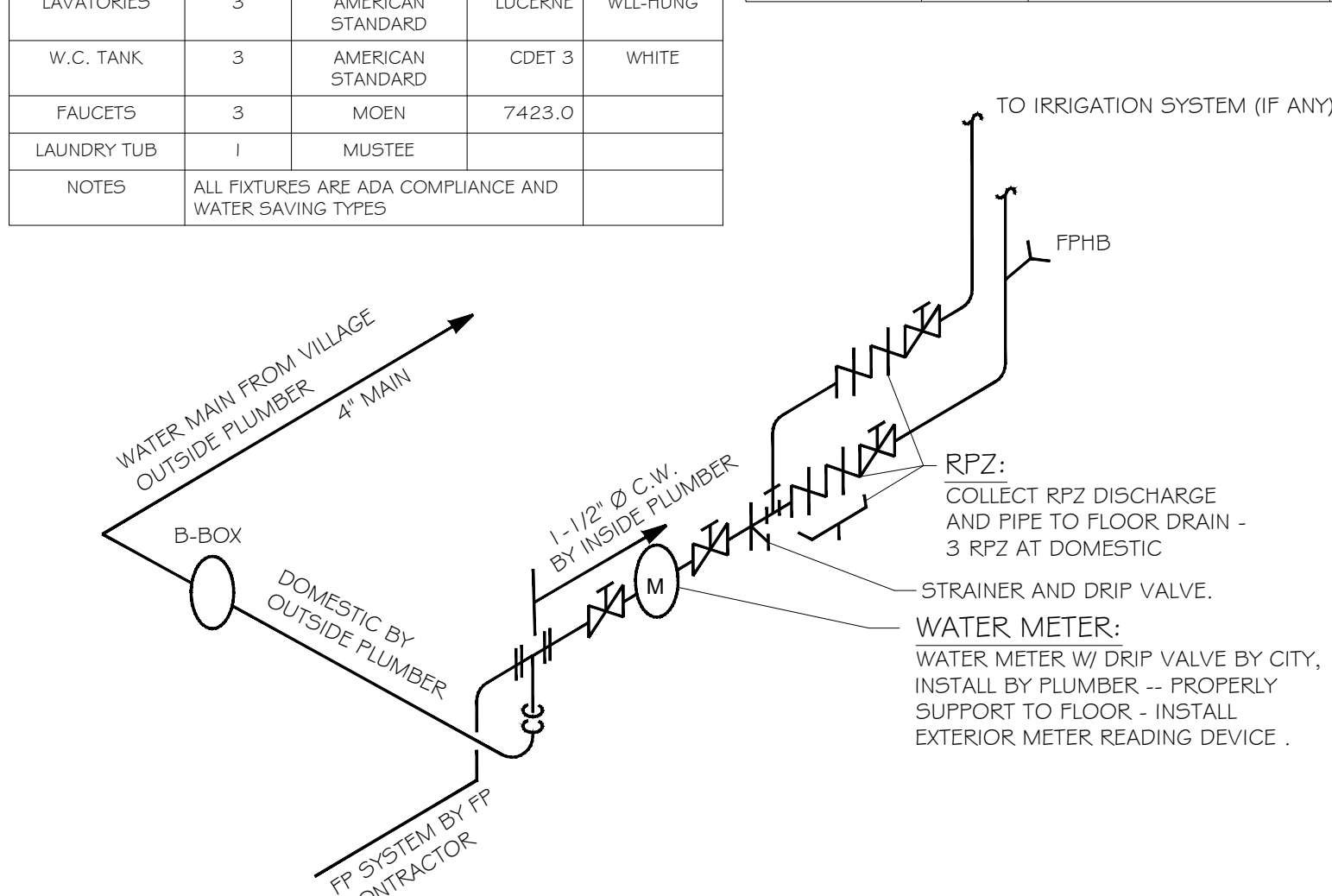
PLUMBING NOTES:

- 1.) WASTE PIPE
ABOVE GROUND ---- PVC SCH. 40 OR C.I. WITH LEAD JOINTS UNDERGROUND ---- PVC SCH. 40 OR CAST IRON WITH LEAD JOINT
- 2.) VENT PIPE
ABOVE GROUND ----PVC SCH. 40 OR C.I. WITH LEAD JOINTS UNDERGROUND ---- PVC SCH. 40 OR CAST IRON WITH LEAD JOINT
- 3.) WATER PIPE:
TYPE K FOR UNDER GROUND
TYPE M OR L FOR ABOVE GROUND
- 4.) ALL PLUMBING PIPES ARE TO BE SIZED BY A LICENSED PLUMBER IN THE STATE OF ILLINOIS.
- 5.) ALL PLUMBING WORKS ARE TO FOLLOW ILLINOIS PLUMBING CODE'S REQUIREMENTS AND IT GOVERNS.
- 6.) ALL PLUMBING FIXTURES ARE TO HAVE MIN. 1/2" AIR CHAMBER. MAIN WATER RISER SHALL HAVE 24" AIR CHAMBER.
- 7.) PLUMBER TO PROVIDE SHUT-OFF AT EACH BRANCH OF SERVICE TO A SERIES OF PLUMBING FIXTURES FOR COLD AND HOT WATER LINES.
- 8.) FLOOR DRAIN OR OPEN SITE DRAIN THEY SHALL BE INDIVIDUALLY VENTED ACCORDING TO PLUMBING CODE.
- 9.) FLOOR DRAINS: ALL FLOOR DRAINS SHALL REQUIRE PROTECTION TO PREVENT THE LOSS OF THE TRAP SEAL BY EVAPORATION. WHERE LOSS OF THE TRAP SEAL MAY OCCUR DUE TO EVAPORATION, ONE OF THE FOLLOWING SHALL BE USED: --VEGETABLE OIL ADDED TO THE TRAP, A DEEPER SEAL NOT TO EXCEED 8" INCHES OR AN AUTOMATIC TRAP PRIMER DEVICE MAY BE USED.
- 10.) DRAINAGE AND VENT SYSTEM SHALL BE TESTED WITH WATER CLOSING THE LOWER END OF THE VERTICAL PIPES AND FILLING THE ENTIRE SYSTEM ABOVE THE HIGHEST OPENING WITH A 10 FT. HEAD OF WATER. THE WATER SHALL BE KEPT IN THE SYSTEM FOR AT LEAST 15 MINUTES BEFORE INSPECTION STARTS AND HOLD TIGHT WITHOUT ANY LEAKS. WHEN THE METHOD OF AIR TESTING THE SYSTEM IS PERFORMED, IT SHALL BE DONE BY INLETS AND OUTLETS AND PRESSURIZING THE SYSTEM WITH A MAXIMUM OF FIVE (5) P.S.I. AND SHALL HOLD AIRTIGHT FOR A PERIOD OF AT LEAST 15 MINUTES BEFORE INSPECTION STARTS.
- 11.) ALL LAVATORY FAUCETS FOR PUBLIC USE SHALL BE PROVIDED WITH AN AUTOMATIC SAFETY WATER-MIXING DEVICE AND SHALL COMPLY WITH ANSI/ASSE 1070 OR 1017. THE TEMPERATURE AT SAFETY-MIXING DEVICE SHALL BE LIMITED TO A SETTING OF 110°F, AT THE TIME OF INSTALLATION.
- 12.) ALL REDUCED PRESSURE BACKFLOW PREVENTER (RPZ) ASSEMBLIES SHALL BE TESTED AND APPROVED BY A CROSS CONNECTION CONTROL DEVICE INSPECTOR (CCCDI) BEFORE INITIAL OPERATION, AND AT LEAST ANNUALLY THEREAFTER. RECORDS TO VERIFY TESTING AND MAINTENANCE SHALL BE AVAILABLE AT SITE OF INSTALLATION.
- 13.) INSULATE THE FIRST 8 FT. OF THE HOT AND COLD WATER SUPPLY PIPES FROM THE WATER HEATER WITH MIN. 1/2 INCH OF MATERIAL HAVING A CONDUCTIVITY NOT EXCEEDING 0.27 BTU/IN/FT2/F.
- 14.) WATER CLOSET BOWLS FOR PUBLIC USE SHALL BE ELONGATED TYPE AND THE SEATS SHALL BE ANTI-MICROBIAL PLASTIC MATERIAL AND OPEN-FRONT TYPE. ALL WC SHALL COMPLY WITH ILLINOIS ACCESSIBILITY CODE WITH THE HANDLE ON THE WIDE SIDE OF THE ROOM.
- 15.) BOTTLED PORTABLE DRINKING WATER MUST BE ON SITE AND FULL AT TIME OF FINAL INSPECTION.
- 16.) STACK TEST REQUIRED ON ALL WASTE AND VENT PIPING AT THE TIME OF ROUGH AND UNDERGROUND INSPECTIONS.
- 17.) TESTING PRESSURES:
WATER PIPING ---- 75 PSI
GAS PIPING ---- 25 PSI
- 18.) TEMPERED HOT WATER NOT TO EXCEED 110 DEGREES TO BE SUPPLIED TO ALL PUBLIC LAVATORIES.
- 19.) TESTING: ALL PIPINGS ARE TO BE EITHER PRESSURE OR WATER TESTED FOR TIGHTNESS.
- 20.) ALL EXISTING PLUMBING THAT MAY POSE A HEALTH OR SAFETY HAZARD MUST BE REVISED TO MEET ILLINOIS PLUMBING CODE AND LOCAL ORDINANCES.
- 21.) RPZ REQUIRED ON DOMESTIC WATER FOR ALL COMMERCIAL BUILDINGS. THE INCOMING WATER SERVICE TO TENANT SHALL HAVE AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (RPZ) INSTALLED IN-LINE OF EQUAL PIPE DIAMETER OF THE WATER SERVICE AND SHALL BE LOCATED NO MORE THAN FIVE (5) FEET ABOVE THE FLOOR.
- 22.) ISOLATION VALVES REQUIRED ON WATER PIPE IN ACCORDANCE WITH THE ILLINOIS PLUMBING CODE SECTION 890.1.1, 190.8.1 FOR NON-INSTANTANEOUS WATER HEATERS SHALL EMPLOY A HEAT TRAP IN THE PIPING ARRANGEMENT.

PLUMBING FIXTURE REQ'D											
TYPE OF OCCUPANCY	FLOOR	ROOM NAME	AREA	OCL BASE	OCL LOAD	PLUMBING FIXTURES					REMARKS
						WC	UR	LAV	*DF	SS	
BUSINESS, CAR WASH, DETAILING	1ST FL.	OFFICE	91.8	200	1	1	0	1	1	1	ACTUAL 3 EMPLOYEES, NO PUBLIC TOILET REQUIRED
		MACHINE ROOM	992.3	400	2						
		WASHBAY	3817.2	400	10						
		SPRINKLER RM	48.3								
		TOILET	51.0								
	FOYER I & II	216.3									
	2ND FL.	TOOL RM	750.5	400	2						
DETAIL AREA	1ST FL.	DETAIL BAY	2129.8	400	5	1		1	1	1	
		TOILET	44.0								
NOTES	*PORTABLE DRINKING FOUNTAIN PROVIDED AND IN THE OFFICE										

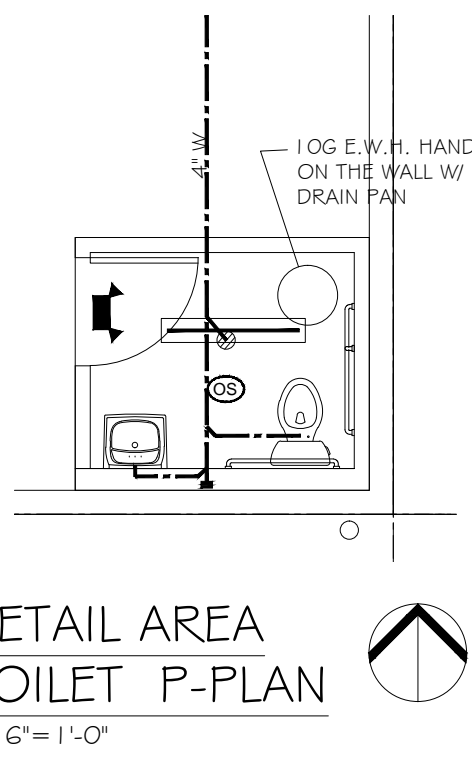
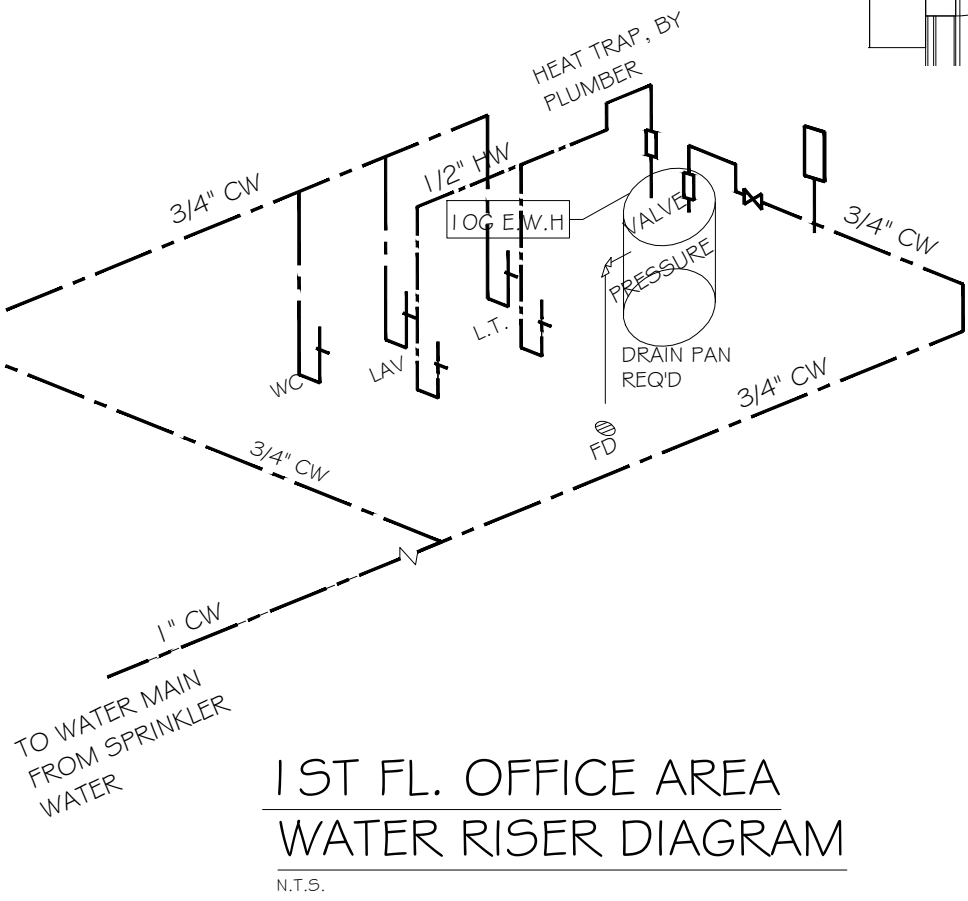
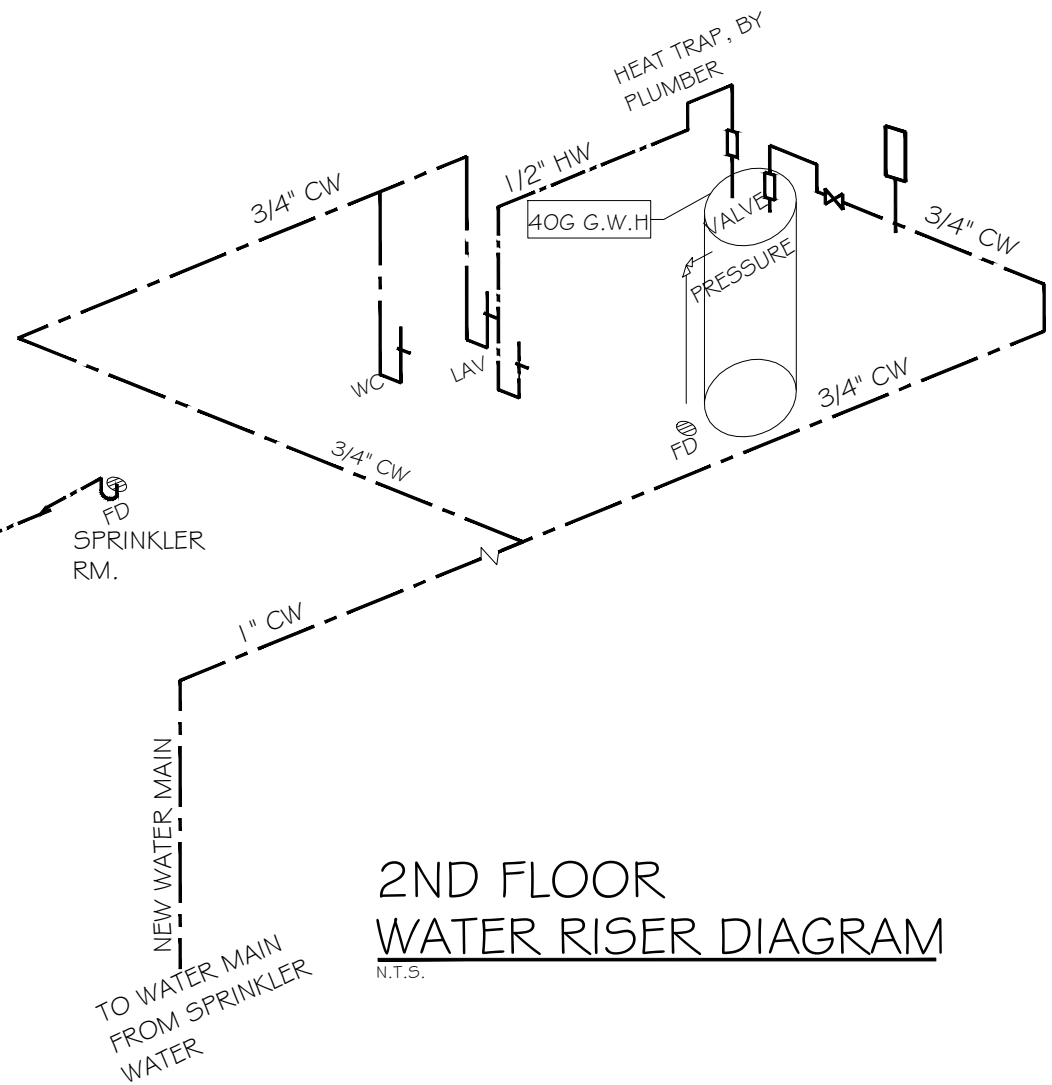
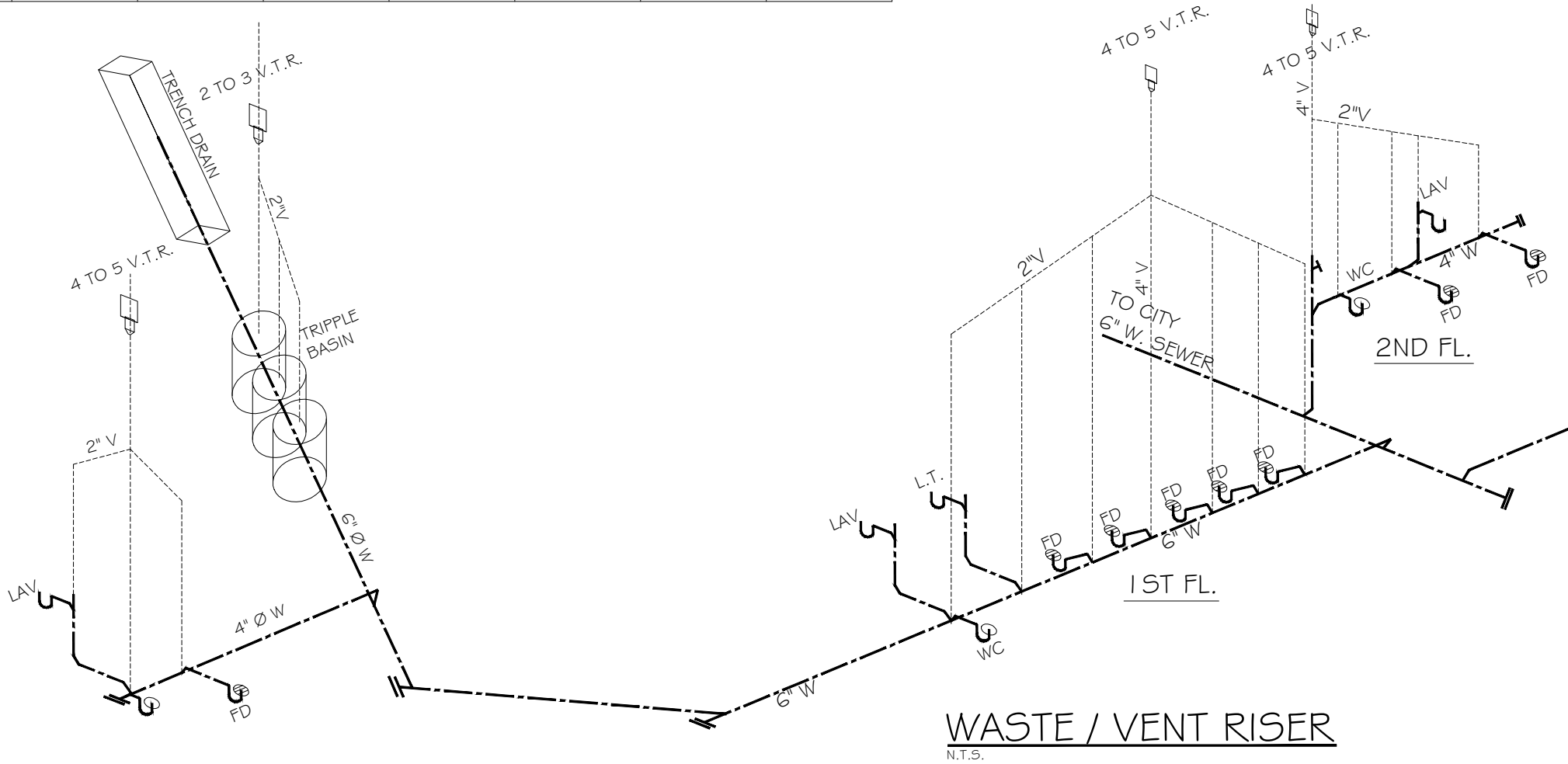
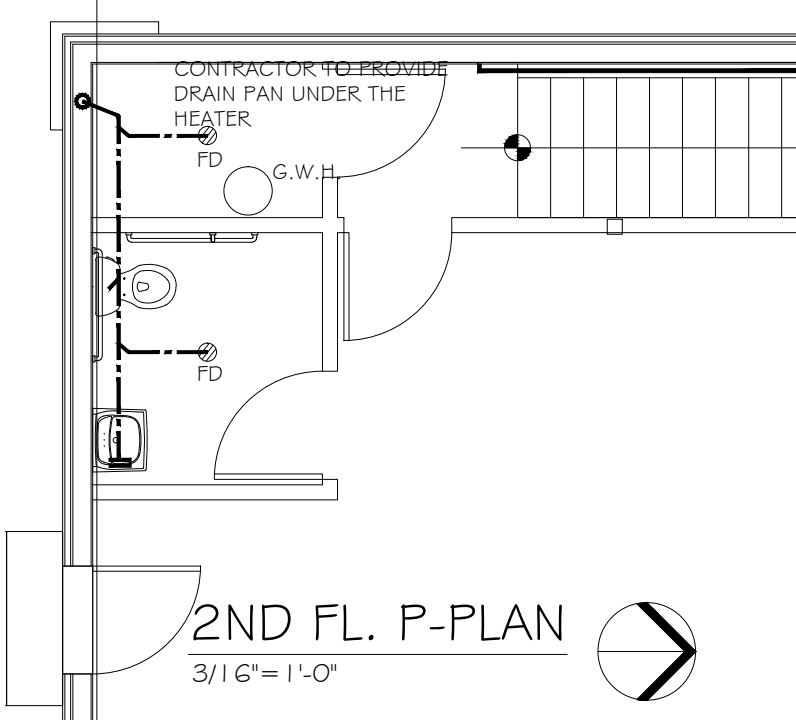
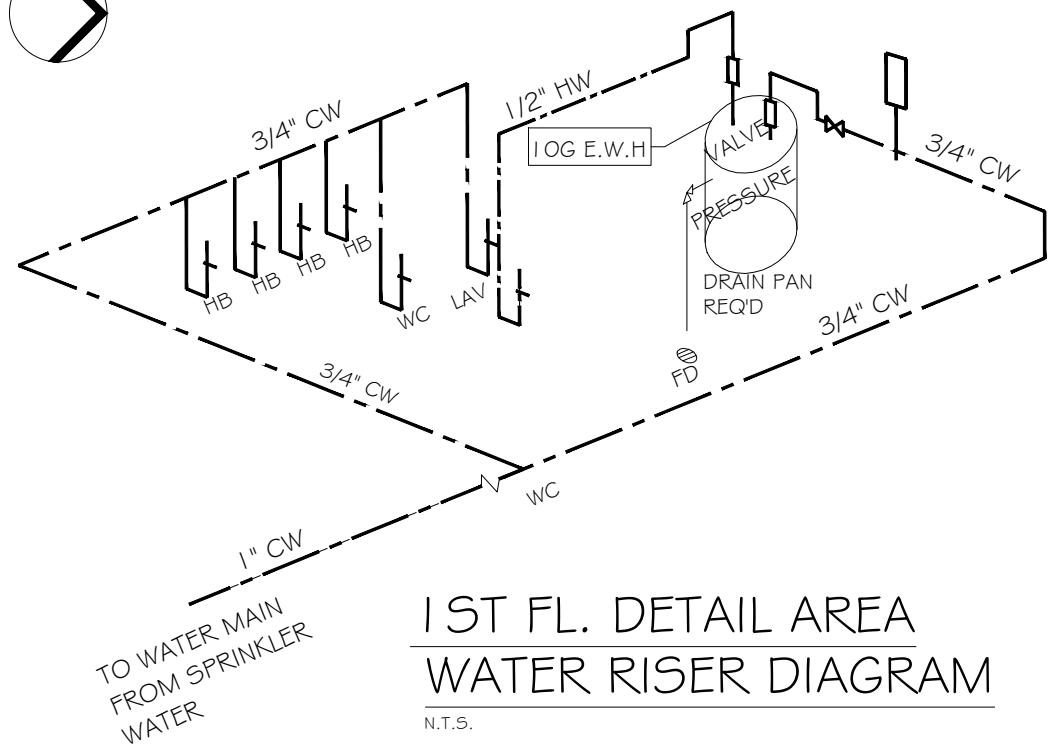
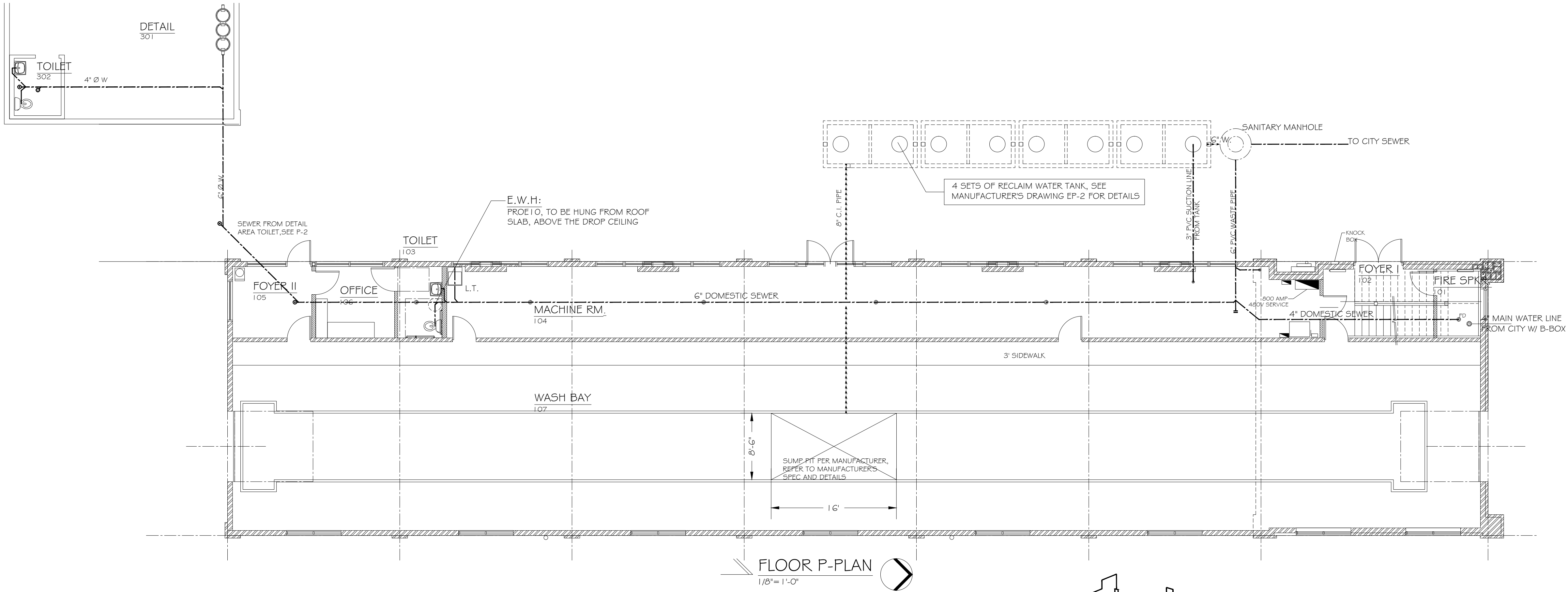
PLUMBING FIXTURES				
FIXTURES	QTY	MANUFACTURER	MODEL NO	REMARKS
WATER HEATER	2	RHEEM E.W.H.	PROE10	10 G
LAVATORIES	3	AMERICAN STANDARD	LUCERNE	WALL-HUNG
W.C. TANK	3	AMERICAN STANDARD	CDT 3	WHITE
FAUCETS	3	MOEN	7423.0	
LAUNDRY TUB	1	MUSTEE		
NOTES		ALL FIXTURES ARE ADA COMPLIANCE AND WATER SAVING TYPES		

WATER HEATER SCHEDULE										
NAME	LOCATION	MANUFACTURER MODEL NO	CAPACITY	EFF	INPUT / OUTPUT	RECOVERY GAL AT 90°F	MOTOR			REMARKS
							AMP	VOLT	HZ	
GAS WATER HEATER	2ND FL.	AMERICAN WATER HEATER5 VGG250T76NV	50G	90%	76K / 65K	92	5	120	60	



NOTE:
WATER MAIN SERVING THE SPRINKLER SYSTEM SHALL BE FLUSHED AT A RATE APPROPRIATE TO ITS SIZE PRIOR TO CONNECTION TO THE SYSTEM. NOTIFY THE LOCAL AUTHORITY TWENTY-FOUR (24) HOURS IN ADVANCE TO FLUSHING TO WITNESS. THE REQUIREMENT IS SEPARATE FROM OTHER WATER MAIN FLUSHINGS.

WATER SERVICE AREA, DOMESTIC
COLD WATER RISER



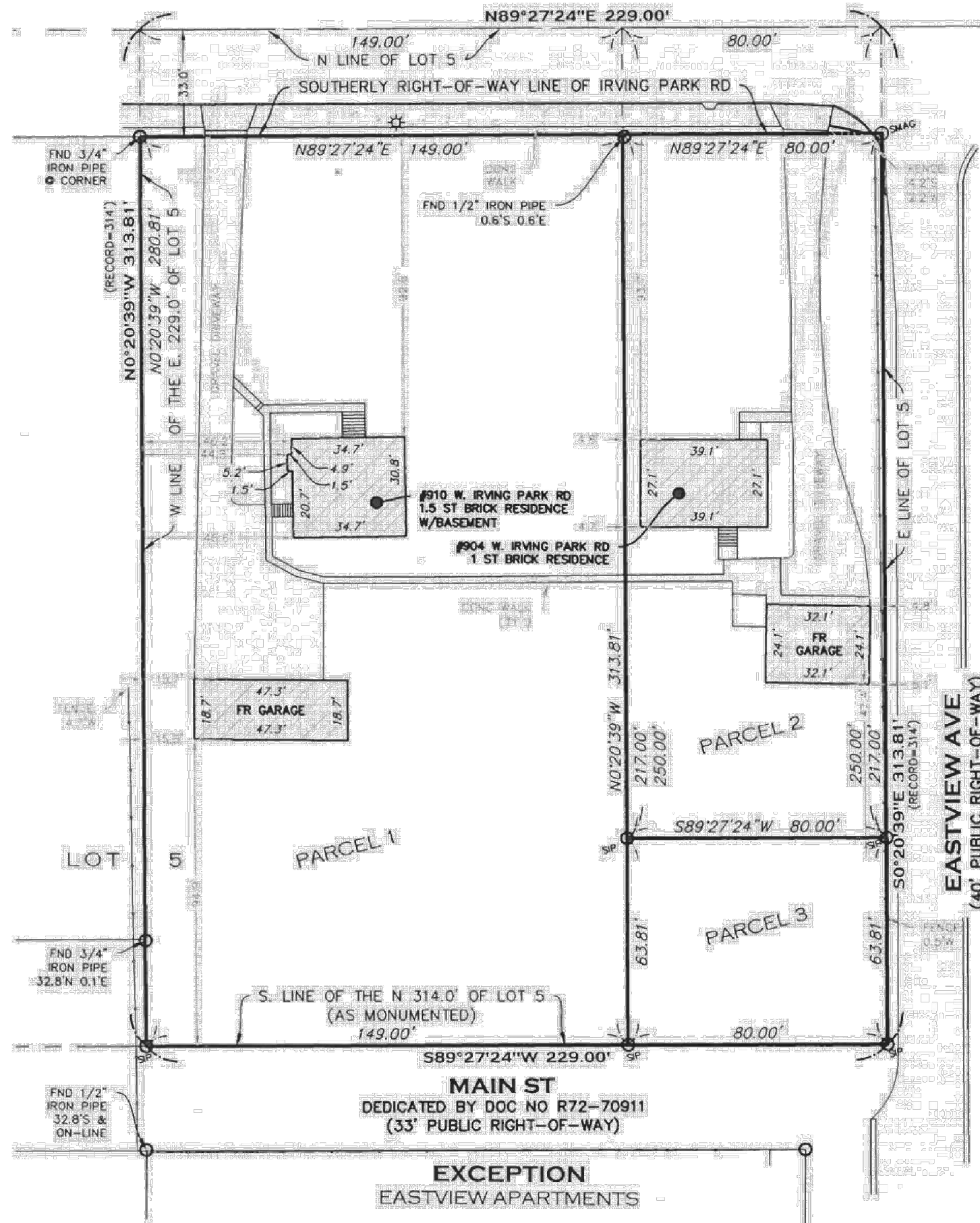
ARCHITECT: RAY FANG & ASSOCIATES 739 RED OAK DRIVE, BARTLETT, IL. 60103 630-788-5536, HCFANG003@AOL.COM	PROJECT NAME: GEM CAR WASH	DRAWING CONTENTS: 1ST & 2ND FL. P-PLANS, P-NOTES, P-RISERS, WATER-RISER	REVISION LOGS	NO. REV.	DESCRIPTIONS	BY/DATE	PREFARER: RAY DATE: 2/9/2020	CROSS REFERENCES:	ARCHITECT STAMP: STATE OF ILLINOIS HUNG-CHUN FANG 011348 EXP. 11/30/2020 REGISTERED ARCHITECT	DRAWING NO.: P-1
				0	FOR PERMITS	3/15/2020	REVIEWER: JOHN DATE: 2/9/2020			
DEVELOPER/OWNER: JOHN SADIKU JOHN SADIKU, 5MOKING@GMAIL.COM 826 N. YORK., ELMHURST, IL.	PROJECT ADDRESS: 904-910 W. IRVING PARK RD., BENSENVILLE, IL. 60614						PROJECT NUMBER: 12-10-2019A			2020 COPYRIGHT PROTECTED
							SCALE: AS SHOWN			

PLAT OF SURVEY

SHEET No. 1/1

W. IRVING PARK RD
(83' PUBLIC RIGHT-OF-WAY)

904 & 910 W. IRVING PARK RD
BENSENVILLE, ILLINOIS 60106



SURVEYOR'S NOTES

- THIS SURVEY IS SUBJECT TO MATTERS OF TITLE WHICH MAY BE REVEALED BY A CURRENT TITLE REPORT.
- SURVEY IS BASED ON FIELD WORK COMPLETED ON OCTOBER 26, 2018.
- ALL DIMENSIONS ARE GIVEN IN FEET AND DECIMAL PARTS THEREOF.
- EASEMENTS WHICH ARE SHOWN ON THE RECORDED PLAT OF SUBDIVISIONS ARE SHOWN HEREON. REFER TO THE DEED, TITLE INSURANCE POLICY AND LOCAL ORDINANCES FOR OTHER RESTRICTIONS.
- COMPARE DEED DESCRIPTION AND SITE CONDITIONS WITH THE DATA GIVEN ON THIS PLAT AND REPORT ANY DISCREPANCIES TO THE SURVEYOR AT ONCE.
- SURVEY COMPLETED FOR:
MR. HARRIS SELTZER
910 W. IRVING PARK RD
BENSENVILLE, IL 60106
- THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
- BASIS OF BEARING: GRID NORTH - ILLINOIS EAST ZONE, STATE PLANE COORDINATE SYSTEM, NAD 83.
- PARCEL 1 AND 3 SHOWN PER QUIT CLAIM DEED DOC NO R2006-222787. PARCELS 1, 2, AND 3 SHOWN PER CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 18GNW635050RM.
- PARCEL 2 AND 3 ARE COMBINED PER TRUSTEE'S DEED DOC NO R2016-127477. CLIENT NOTIFIED SURVEYOR THAT THE DESCRIPTION FURNISHED IN R2016-127477 WAS IN ERROR.

LEGAL DESCRIPTION

- PARCEL 1**
THE EAST 229 FEET (EXCEPT THE EAST 80 FEET THEREOF) AND (EXCEPT EASTVIEW APARTMENT PER DOCUMENT R72-70911) OF LOT 5 IN OWNER'S ASSESSMENT PLAT OF PART OF SECTION 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.
- PARCEL 2**
THE NORTH 250 FEET OF THE EAST 80 FEET (EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) (MEASURED ALONG THE NORTH LINE) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.
- PARCEL 3**
THE EAST 80 FEET (EXCEPT THE NORTH 250 FEET AND EXCEPT EASTVIEW APARTMENTS PER DOCUMENT R72-70911) OF LOT 5 OF THE OWNER'S ASSESSMENT PLAT OF PART OF SECTIONS 11 AND 14, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 11, 1917 AS DOCUMENT 129399, IN DUPAGE COUNTY, ILLINOIS.

LEGEND

PROPERTY BOUNDARY	—
OFFSITE PROPERTY LINE	---
EASEMENT LINE	==
BUILDING SETBACK LINE	----
FOUND IRON PIPE	○
SET 3/4" IRON PIPE	○ SIP
FOUND PK NAIL	○ SMAG
OVERHEAD UTILITY LINES	~~~~~
FENCE LINE	=====
POWER POLE	⊥
LIGHT POLE	⊥

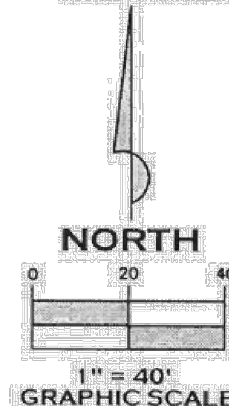
SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS
COUNTY OF DUPAGE

WE, MERITCORP, LLC, HEREBY CERTIFY THAT WE HAVE SURVEYED THE DESCRIBED PROPERTY AND THAT THIS PLAT REPRESENTS THE CONDITIONS FOUND AT THE TIME OF SAD SURVEY.

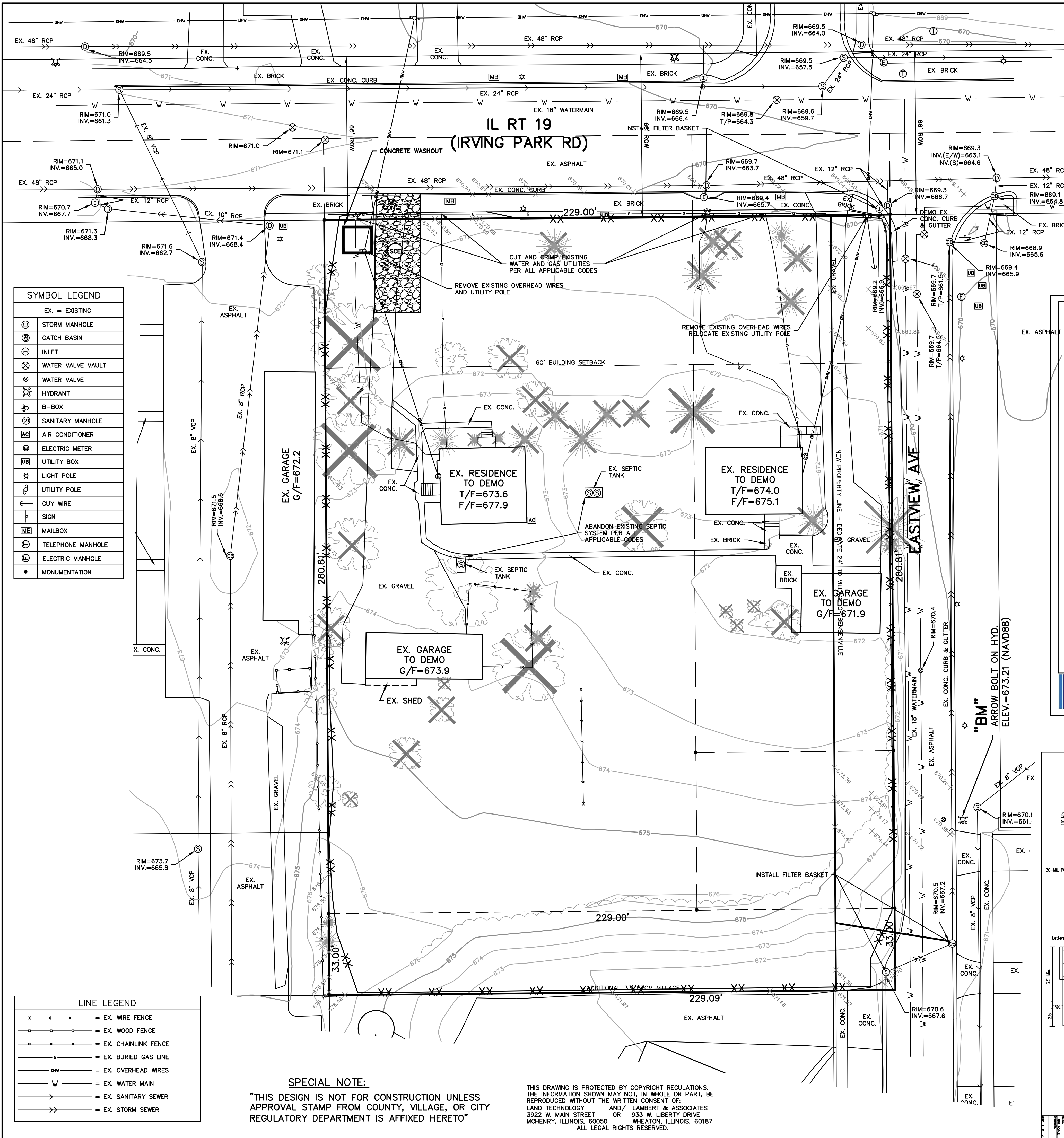
GIVEN UNDER MY HAND AND SEAL ON THIS THE 29TH DAY OF OCTOBER, 2018.

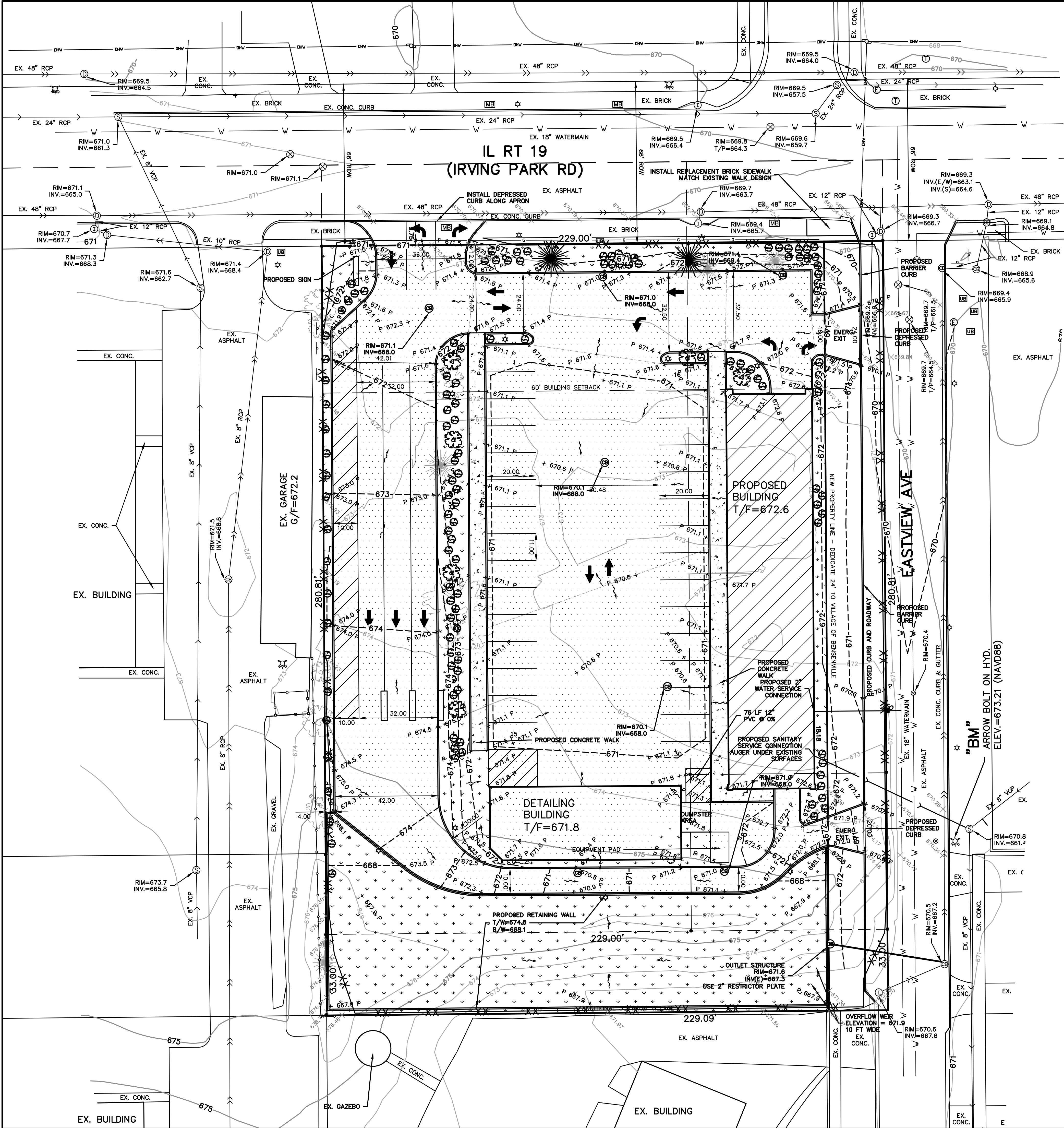
Jonathan D. Spinazzola
JONATHAN D. SPINAZZOLA
ILLINOIS PROFESSIONAL LAND SURVEYOR No. 3868
CURRENT LICENSE EXPIRES NOVEMBER 30, 2018



DATE	DESCRIPTION
10-29-2018	ISSUED TO CLIENT
PLAT OF SURVEY	
904 & 910 W. IRVING PARK RD BENSENVILLE, IL 60106	
PROJECT No. M18152	
DRAWN BY: JDS	CHECKED BY: JDS
COPYRIGHT © 2018 MeritCorp	

MeritCorp
ENGINEERING • PLUMBING • SURVEYING • ENVIRONMENTAL
50 North Brockway, Suite 3-9 3697 Darlene Ct.
Palatine, IL 60067 Aurora, IL 60504
Office 847.496.4170 Office 630.554.6655
Lic. No. 184-005860 www.meritcorp.com





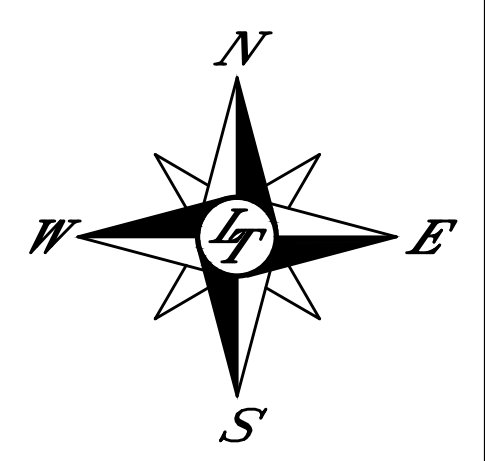
SITE DATA
TOTAL EXISTING SITE AREA = 1.48 ACRES
TOTAL PROPOSED SITE AREA = 1.58 ACRES
TOTAL EXISTING IMPERVIOUS = 0.23 ACRES
TOTAL PROPOSED IMPERVIOUS = 1.07 ACRES
TOTAL DISTURBED AREA = 1.63 ACRES
POST-CONSTRUCTION COVERAGE = 67.7%

SPECIAL NOTE:
"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY REGULATORY DEPARTMENT IS AFFIXED HERETO"

THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS. THE INFORMATION SHOWN MAY NOT, IN WHOLE OR PART, BE REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY AND/ LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
MCHEENRY, ILLINOIS, 60050 WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.

SYMBOL LEGEND	
PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING
CATCH BASIN	STORM MANHOLE
INLET	CATCH BASIN
B-BOX	INLET
SANITARY CLEAN-OUT	WATER VALVE VAULT
AIR CONDITIONER	WATER VALVE
ELECTRIC METER	HYDRANT
GAS METER	B-BOX
	SANITARY MANHOLE
	AIR CONDITIONER
	ELECTRIC METER
	UTILITY BOX
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	SIGN
	MAILBOX
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	MONUMENTATION

LINE LEGEND	
	EX. WIRE FENCE
	EX. WOOD FENCE
	EX. CHAINLINK FENCE
	EX. BURIED GAS LINE
	EX. OVERHEAD WIRES
	EX. WATER MAIN
	EX. SANITARY SEWER
	EX. STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED SILT FENCE



SCALE:
1"=20'



LAMBERT & ASSOCIATES
933 W. LIBERTY DR
WHEATON, IL 60187
P: (630)653-6331
F: (630)653-6396
E: INFO@LAMBERTSURVEY.COM

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

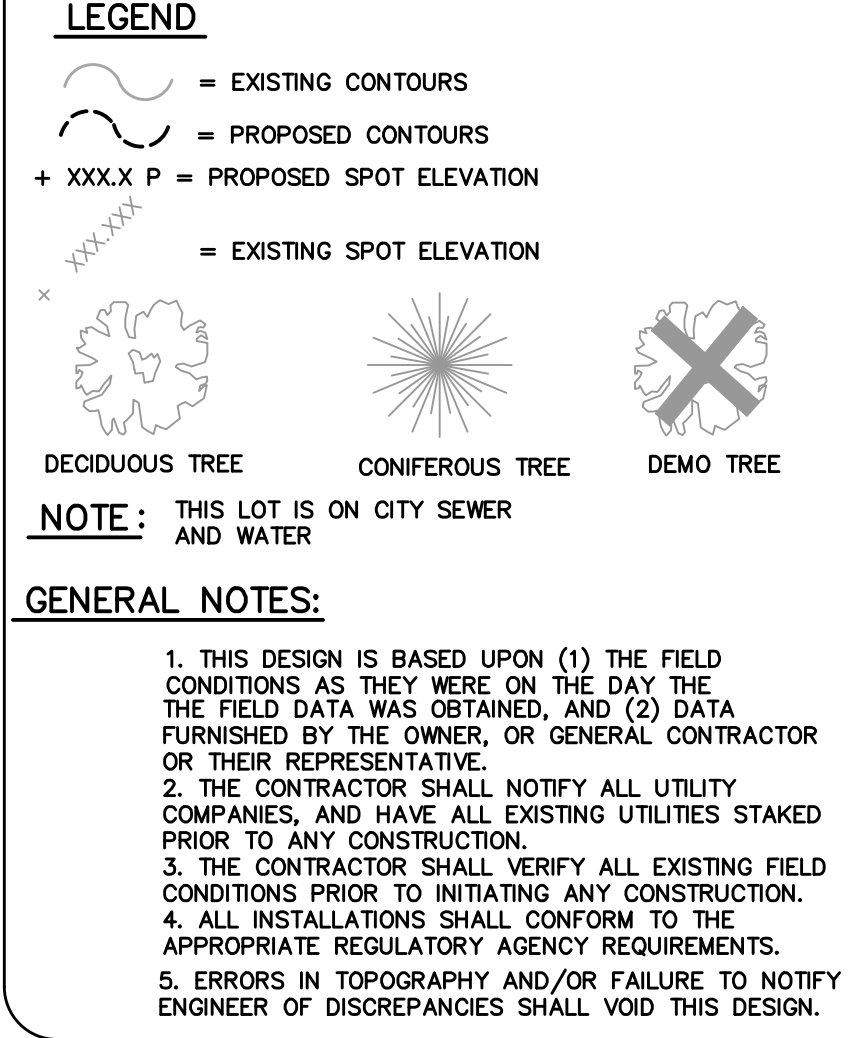
LAND TECHNOLOGY
3922 W. MAIN STREET
MCHEENRY, IL. 60050
P: (815)363-9200
F: (815)363-9223
E: LANDTECH@T-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

SITE GRADING PLAN:

904 & 910 IRVING PARK RD, BENSENVILLE
PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F
PINS: 03-14-117-029 & 03-14-117-030
CLIENT: CEM CARWASH

DRAWN BY: DTM
CHECK'D BY: SSP
T:\2020-JOB\5\200012\200012ST 3-23-20.dwg
DATE: 3/3/20
PAGE 3 OF 5
DRAWING NUMBER: 200012ST



STORM AND UTILITY PLAN:

904 & 910 IRVING PARK RD, BENSENVILLE
 PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F
 PINS: 03-14-117-029 & 03-14-117-030
 CLIENT: GEM CARMASH

REVISIONS:

TOTAL STORAGE 40510 CU.FT.



THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS.
THE INFORMATION SHOWN MAY NOT, IN WHOLE OR PART, BE
REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY AND/ LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
MCHENRY, ILLINOIS, 60050 WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.



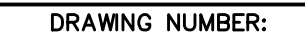
CATCH BASIN (TY A)
STANDARD



TEMPORARY CONSTRUCTION ENTRANCE STANDARD



VILLAGE OF BENSENVILLE	
SPECIFICATIONS AND DETAILS	
FILE LOCATION	



**Call
Before
You Dig**

JULIE

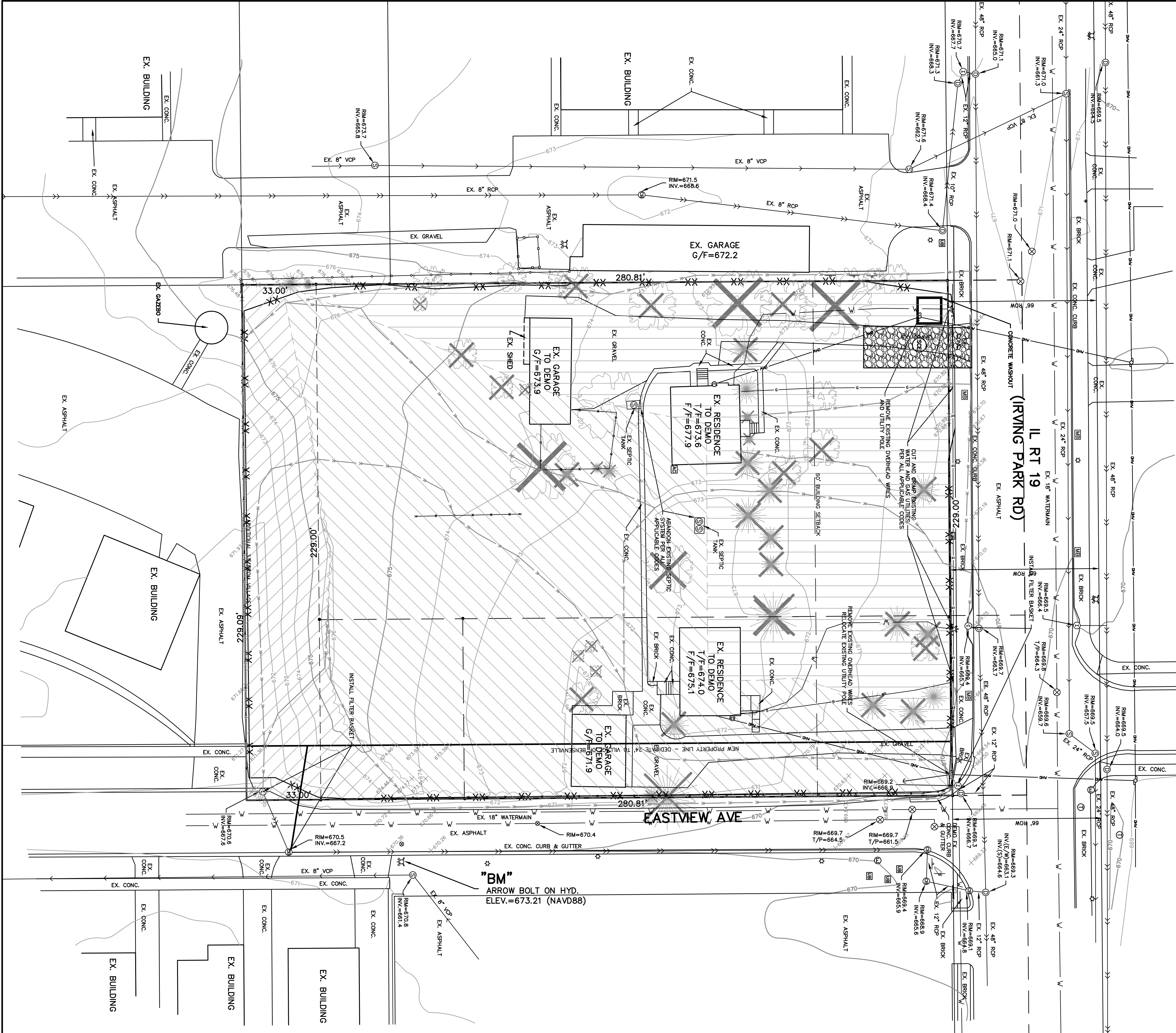
**ILLINOIS
ONE-CALL SYSTEM**

**LAMBERT &
ASSOCIATES**
933 W. LIBERTY DR
WHEATON, IL 60187

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

**LAND
TECHNOLOGY**
3922 W. MAIN STREET
McHENRY, IL. 60050

ILLINOIS PROFESSIONAL DESIGN FIR
No. 184-007260



SYMBOL LEGEND	
PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING

ONSITE TRIBUTARY
TO EXISTING
STORM SEWER
1.65 ACRES

LINE LEGEND	
	= EX. WIRE FENCE
	= EX. WOOD FENCE
	= EX. CHAINLINK FENCE
	= EX. BURIED GAS LINE
	= EX. OVERHEAD WIRES
	= EX. WATER MAIN
	= EX. SANITARY SEWER
	= EX. STORM SEWER
	= PROPOSED SANITARY SEWER
	= PROPOSED STORM SEWER
	= PROPOSED SILT FENCE
	= EXISTING DRAINAGE PATH

SITE DATA
TOTAL EXISTING SITE AREA = 1.48 ACRES
TOTAL PROPOSED SITE AREA = 1.58 ACRES
TOTAL EXISTING IMPERVIOUS = 0.23 ACRES
TOTAL PROPOSED IMPERVIOUS = 1.07 ACRES
TOTAL DISTURBED AREA = 1.63 ACRES

POST-CONSTRUCTION COVERAGE = 67.7%

SPECIAL NOTE:
"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS
APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY
REGULATORY DEPARTMENT IS AFFIXED HERETO"

THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS.
THE INFORMATION SHOWN MAY NOT, IN WHOLE OR PART, BE
REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY AND/ LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
MCHEENRY, ILLINOIS, 60050 WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.

SCALE:
1"=20'

Call Before You Dig
1-800-4-A-DAWG
ILLINOIS
ONE-CALL SYSTEM

LAMBERT & ASSOCIATES
933 W. LIBERTY DR
WHEATON, IL 60187
P: (630)653-6331
F: (630)653-6396
E: INFO@LAMBERTSURVEY.COM

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

LAND TECHNOLOGY
3922 W. MAIN STREET
McHENRY, IL. 60050
P: (815)363-9200
F: (815)363-9223
E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

EXISTING DRAINAGE PLAN:

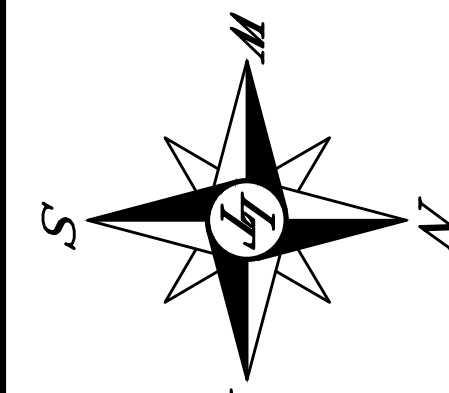
904 & 910 IRVING PARK RD, BENSENVILLE
PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F
PINS: 03-14-117-029 & 03-14-117-030
CLIENT: GEM CARWASH

REVISIONS:

DRAWN BY: DTM
CHECK'D BY: SSP
T:\2020-JOB\5\200012\200012ST 3-23-20.dwg
DATE: 3/3/20

PAGE 7 OF 10

DRAWING NUMBER:
200012ST



SCALE:

1"=20'



LAMBERT & ASSOCIATES
933 W. LIBERTY DR
WHEATON, IL 60187
P: (630)653-6331
F: (630)653-6396
E: INFO@LAMBERTSURVEY.COM

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

LAND TECHNOLOGY
3922 W. MAIN STREET
McHENRY, IL. 60050
P: (815)363-9200
F: (815)363-9223
E: LANDTECH@LT-PE.COM

ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

PROPOSED DRAINAGE PLAN:

904 & 910 IRVING PARK RD, BENSENVILLE
PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F
PINS: 03-14-117-029 & 03-14-117-030
CLIENT: GEM CARWASH

REVISIONS:

DRAWN BY: DTM

CHECK'D BY: SSP

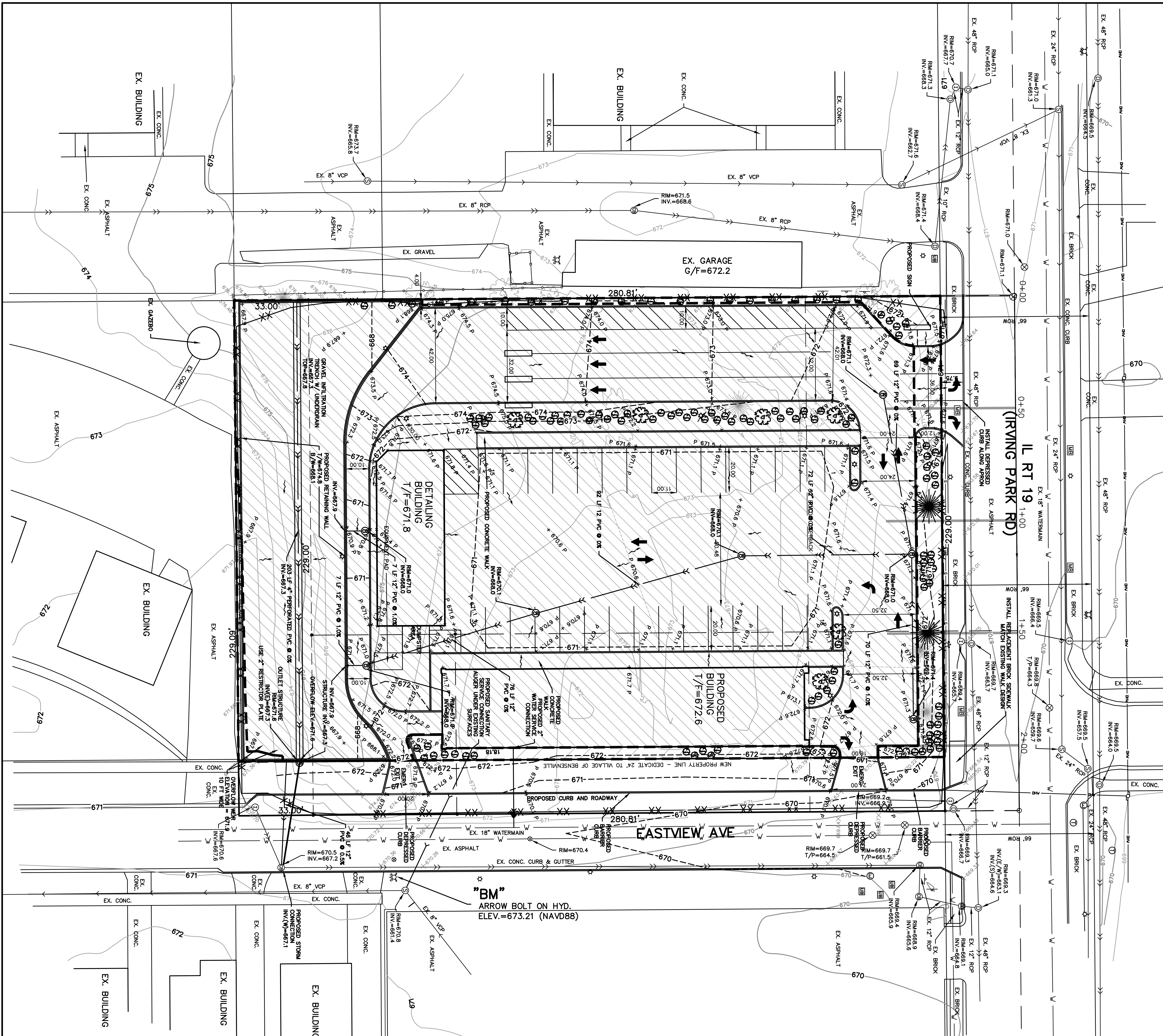
T:\2020-JOB\5\200012\200012ST 3-23-20.dwg

DATE: 3/3/20

PAGE 8 OF 10

DRAWING NUMBER:

200012ST



SYMBOL LEGEND	
PROP. = PROPOSED IMPROVEMENTS	EX. = EXISTING
CATCH BASIN	STORM MANHOLE
INLET	CATCH BASIN
B-BX	INLET
SANITARY CLEAN-OUT	WATER VALVE VAULT
AIR CONDITIONER	WATER VALVE
ELECTRIC METER	HYDRANT
GAS METER	B-BX
	SANITARY MANHOLE
	AIR CONDITIONER
	ELECTRIC METER
	UTILITY BOX
	LIGHT POLE
	UTILITY POLE
	GUY WIRE
	SIGN
	MAILBOX
	TELEPHONE MANHOLE
	ELECTRIC MANHOLE
	MONUMENTATION

**TRIBUTARY AREAS
TO DETENTION**
1.37 ACRES

**TRIBUTARY AREAS
TO EXISTING STORM SEWER**
0.11 ACRES

LINE LEGEND	
	= EX. WIRE FENCE
	= EX. WOOD FENCE
	= EX. CHAINLINK FENCE
	= EX. BURIED GAS LINE
	= EX. OVERHEAD WIRES
	= EX. WATER MAIN
	= EX. SANITARY SEWER
	= EX. STORM SEWER
	= PROPOSED SANITARY SEWER
	= PROPOSED STORM SEWER
	= PROPOSED SILT FENCE

SITE DATA

TOTAL EXISTING SITE AREA = 1.48 ACRES
TOTAL PROPOSED SITE AREA = 1.58 ACRES
TOTAL EXISTING IMPERVIOUS = 0.23 ACRES
TOTAL PROPOSED IMPERVIOUS = 1.07 ACRES
TOTAL DISTURBED AREA = 1.63 ACRES

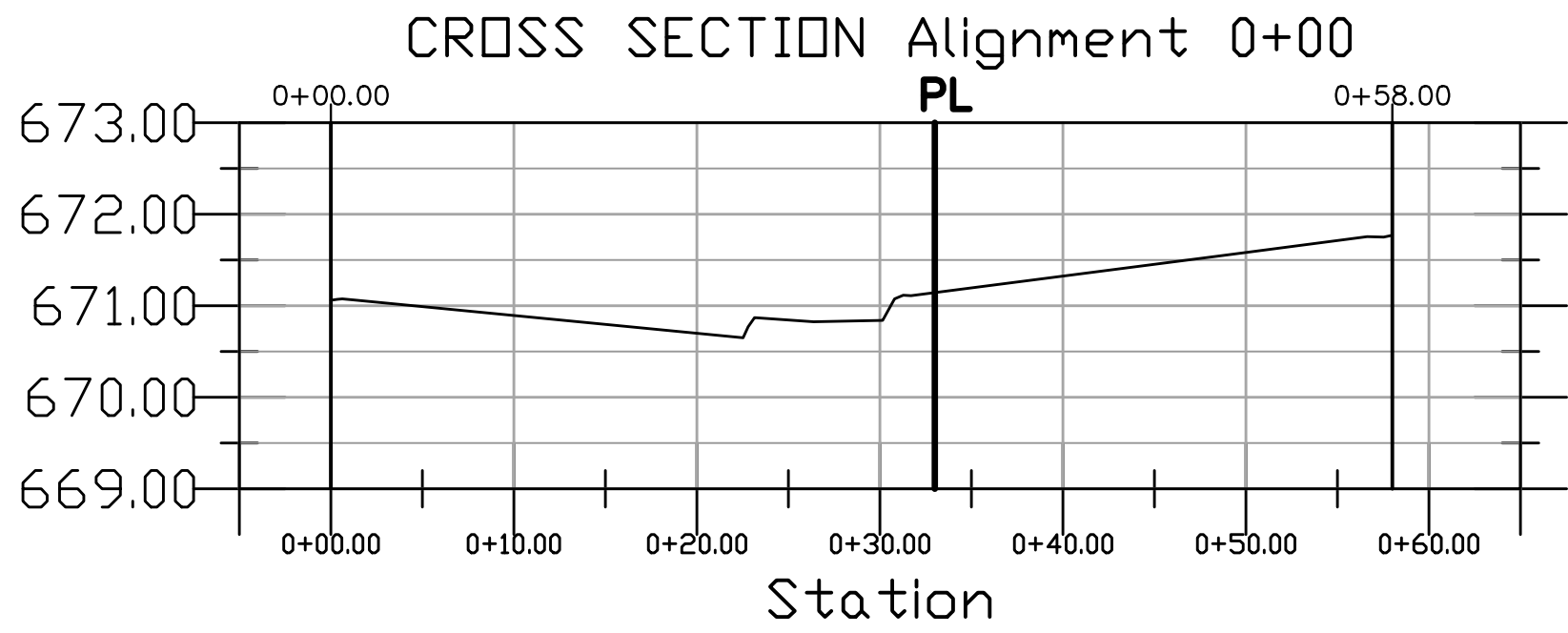
POST-CONSTRUCTION COVERAGE = 67.7%

SPECIAL NOTE:

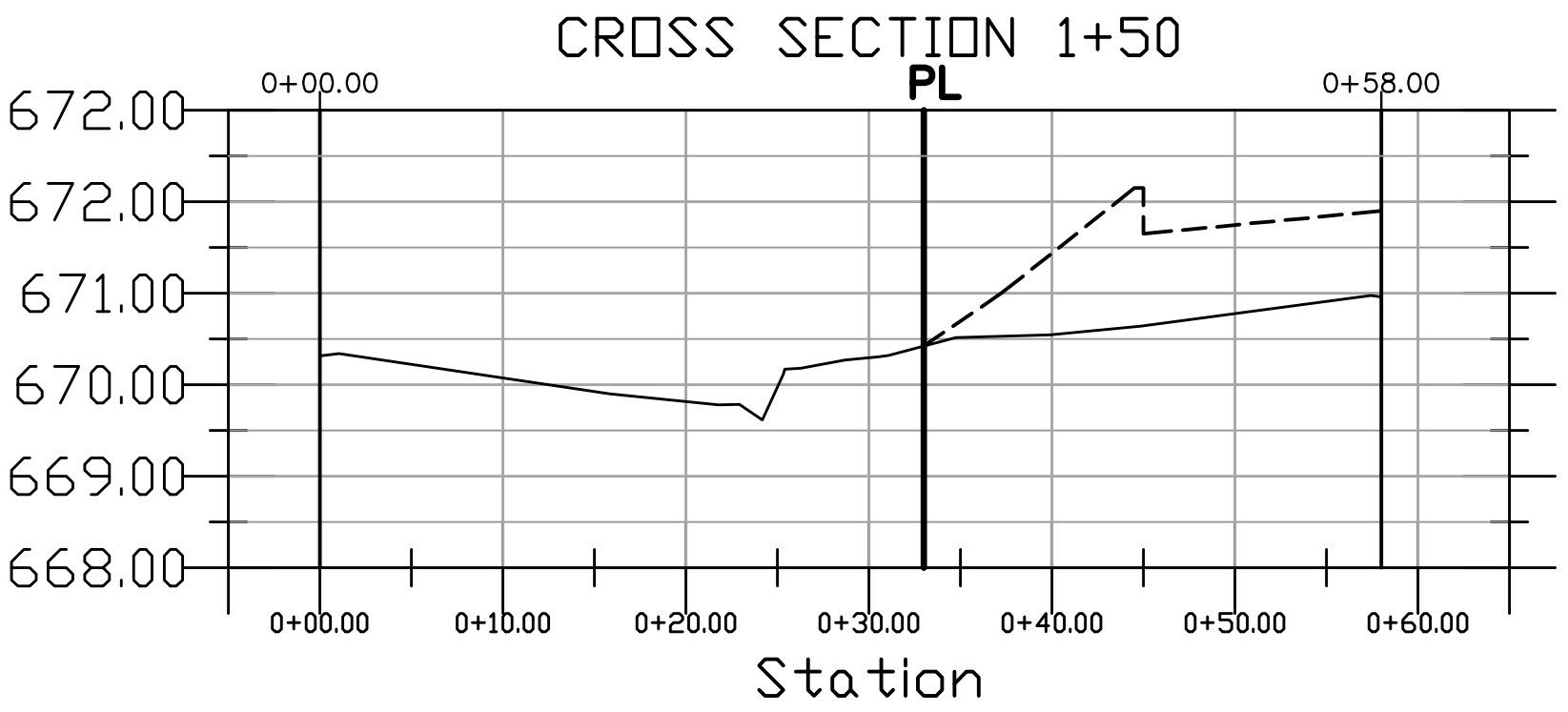
"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS
APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY
REGULATORY DEPARTMENT IS AFFIXED HERETO"

THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS.
THE INFORMATION SHOWN MAY NOT, IN WHOLE OR PART, BE
REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY AND/ LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
MCHEENRY, ILLINOIS, 60050 WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.

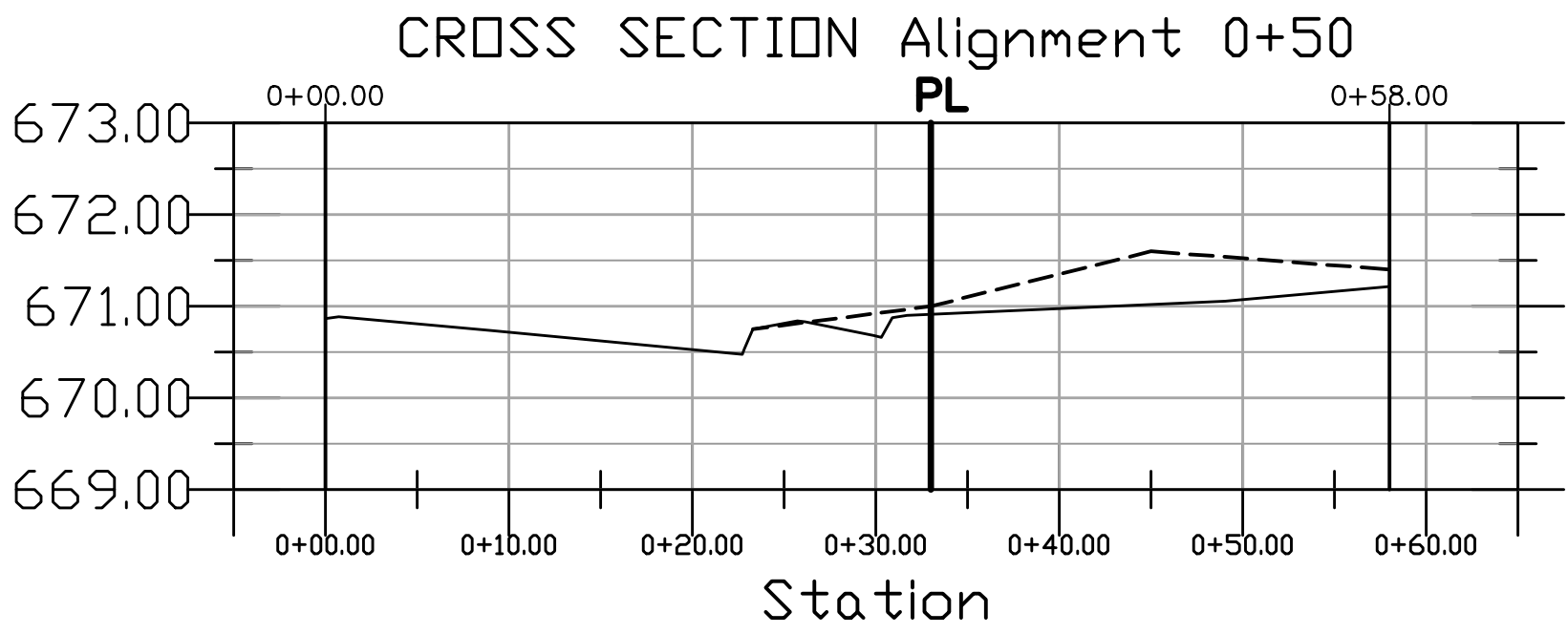
Elevation



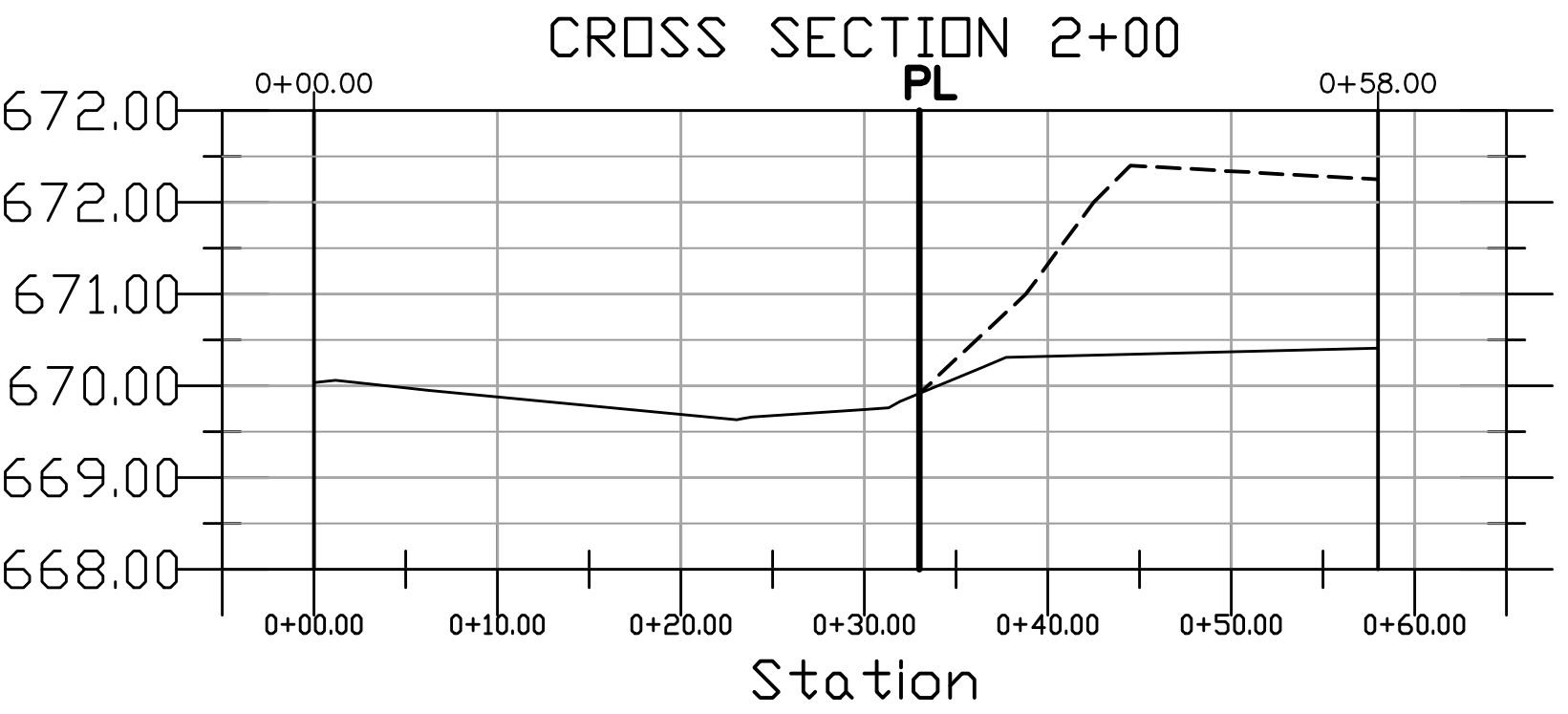
Elevation



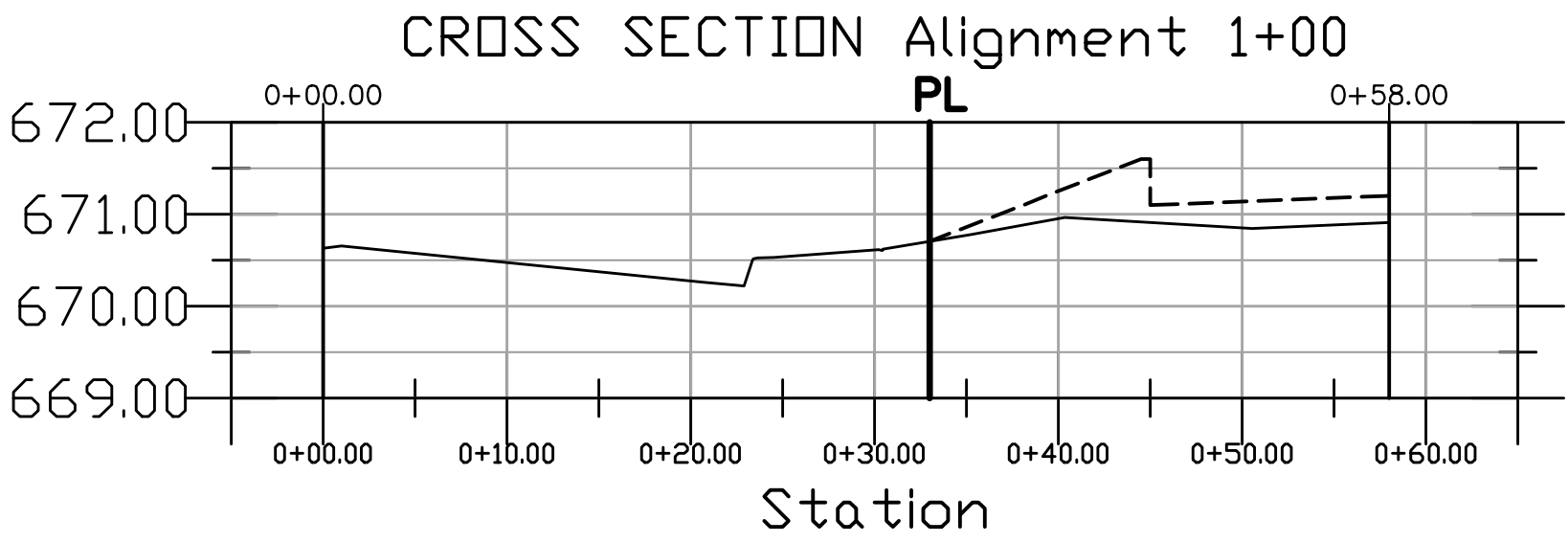
Elevation



Elevation



Elevation



THIS DRAWING IS PROTECTED BY
COPYRIGHT REGULATIONS.
THE INFORMATION SHOWN MAY
NOT, IN WHOLE OR PART, BE
REPRODUCED WITHOUT THE
WRITTEN CONSENT OF:

LAND TECHNOLOGY
3922 W. MAIN STREET
MC HENRY, ILLINOIS, 60050
AND/OR
LAMBERT & ASSOCIATES
935 W. LIBERTY DRIVE
WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.

SCALE:
X: 1"=10'
Y: 1"=2'



LAMBERT &
ASSOCIATES
933 W. LIBERTY DR
WHEATON, IL 60187
P: (630)653-6331
F: (630)653-6396
E: INFO@LAMBERTSURVEY.COM

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

LAND
TECHNOLOGY
3922 W. MAIN STREET
McHENRY, IL. 60050
P: (815)363-9200
F: (815)363-9223
E: LANDTECH@LT-PE.COM

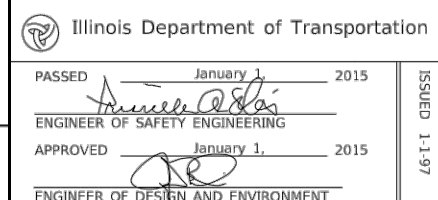
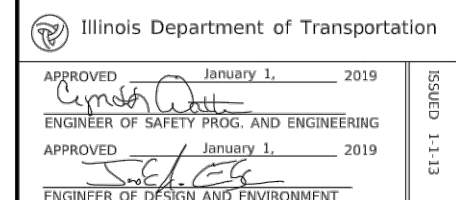
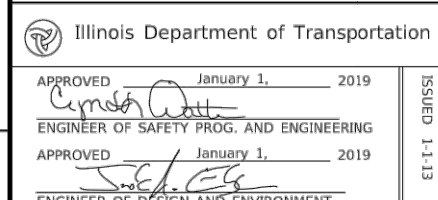
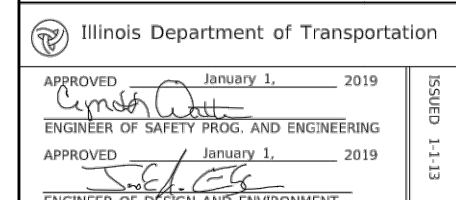
ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

PROPOSED DRAINAGE PLAN:	904 & 910 IRVING PARK RD, BENSENVILLE PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F PINS: 03-14-117-029 & 03-14-117-030 CLIENT: CEM CARWASH	REVISIONS:			

SPECIAL NOTE:
"THIS DESIGN IS NOT FOR CONSTRUCTION UNLESS
APPROVAL STAMP FROM COUNTY, VILLAGE, OR CITY
REGULATORY DEPARTMENT IS AFFIXED HERETO"

THIS DRAWING IS PROTECTED BY COPYRIGHT REGULATIONS.
THE INFORMATION SHOWN MAY NOT, IN WHOLE OR PART, BE
REPRODUCED WITHOUT THE WRITTEN CONSENT OF:
LAND TECHNOLOGY AND/ LAMBERT & ASSOCIATES
3922 W. MAIN STREET OR 933 W. LIBERTY DRIVE
MC HENRY, ILLINOIS, 60050 WHEATON, ILLINOIS, 60187
ALL LEGAL RIGHTS RESERVED.

DRAWN BY: DTM
CHK'D BY: SSP
T:\2020-JOB5\200012\200012ST 3-23-20.dwg
DATE: 3/3/20
PAGE 9 OF 10
DRAWING NUMBER: 200012ST



**Call
Before
You Dig**

JULIE

**ILLINOIS
ONE-CALL SYSTEM**

CIVIL ENGINEERING AND
LAND SURVEYING SERVICES

ILLINOIS PROFESSIONAL DESIGN FIRM
No. 184-007260

904 & 910 IRVING PARK RD, BENSENVILLE
PART OF LOT 5 OWNER'S ASSESSMENT PLAT OF PART 9F
PINS: 03-14-117-029 & 03-14-117-030
CLIENT: GEM CARWASH

REVISIONS:

DRAWN BY: DTM

CHCK'D BY: SSP

JOBS\200012\200012ST 3-23-20.dwg

DATE: 3/3/20

PAGE 10 OF 10

DRAWING NUMBER:
200012ST