# COMMUNITY DEVELOPMENT COMMISSION Village of Bensenville VILLAGE HALL September 4, 2018 6:30 PM

- I. Call Meeting to Order
- II. Roll Call and Quorum
- III. Pledge of Allegiance
- IV. Public Comment
- V. Approval of Minutes

August 7, 2018 Community Development Commission Minutes

- VI. Action Items:
- Consideration of a Variance (fence, corner side yard) for Ion Lucian Faltinski, located at 401 S. Barron St.
- 2. Consideration of a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex for Grand County LLC, located at 1050 S County Line Rd.
- 3. Consideration of a Conditional Use Permit (Service Station) for Lincolnwood Gas & Food, Inc, located at 1301 W Irving Park Rd.
- VII. Report from Community and Economic Development
- VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

TYPE: SUBMITTED BY: DEPARTMENT: DATE:
Minutes Corey Williamsen Village Clerk's Office September 4, 2018

DESCRIPTION:
August 7, 2018 Community Development Commission Minutes

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

**REQUEST:** 

**SUMMARY:** 

**RECOMMENDATION:** 

ATTACHMENTS:

Description Upload Date Type

DRAFT\_180807\_CDC 8/29/2018 Cover Memo

Village of Bensenville Board Room 12 South Center Street DuPage and Cook Counties Bensenville, IL, 60106

## MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION

August 7, 2018

**CALL TO ORDER:** The meeting was called to order by Chairman Rowe at 6:30p.m.

**ROLL CALL:** Upon roll call the following Commissioners were present:

Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Absent: Rodriguez
A quorum was present.

**STAFF PRESENT:** K. Pozsgay, C. Williamsen,

**JOURNAL OF** 

**PROCEEDINGS:** The minutes of the Special Community Development Commission

Meeting of June 23, 2018 were presented.

Motion: Commissioner King made a motion to approve the minutes as

presented. Commissioner Marcotte seconded the motion.

All were in favor. Motion carried.

**PUBLIC** 

**COMMENT:** There was no Public Comment

Continued

**Public Hearing:** CDC Case Number 2018-08

**Petitioner:** Thornton's, Inc. **Location:** 601 N. IL Route 83

**Request:** A Conditional Use Permit Amendment to Ordinance Ord. No. 53A-2012 to

allow for the construction of two additional truck fueling stations, and

Variance, stacking; Municipal Code Section 10 - 11 - 11.

Motion: Commissioner Wasowicz made a motion to re-open CDC Case No.

2018-08. Commissioner Marcotte seconded the motion.

**ROLL CALL:** Upon roll call the following Commissioners were present:

Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Absent: Rodriguez
A quorum was present.

Chairman Rowe re-opened the Public Hearing at 6:32 p.m.

Chairman Rowe swore in Village Planner, Kurtis Pozsgay.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on May 17, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on May 18, 2018. Mr. Pozsgay stated on May 18, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is seeking to amend a previously approved Conditional Use Permit to allow a Gasoline and Diesel Fuel Service Station, Mr. Pozsgav stated the Petitioner wants to add two (2) additional Diesel Fuel service lanes. Mr. Pozsgay stated they also propose to make enhancements to the truck exit by further attempting to restrict left turns onto Foster Avenue, which have been a problem even with the current configuration constructed to limit the movement.

Todd Smutz of Thornton's, Inc. and Eric Tracy of Kimley-Horn & Associates, Inc. were both present and sworn in by Chairman Rowe. Mr. Smutz stated they have worked with the neighborhood and Staff to revise their original plan of wanting to expand to the south to expand to the north. Mr. Smutz stated nothing facing Marshall Road will change on the property, the fence will remain in place.

Chairman Rowe asked what could be done to prevent trucks from making a left turn onto Foster Avenue. Mr. Tracy stated he was working with Staff to find a solution. Mr. Tracy stated higher curbs on site can prevent the issue.

Commissioner Wasowicz raised concern with Mr. Tracy's comments regarding higher curbs indicating truck driver in the Chicagoland area jump curbs all the time.

## **Public Comment:**

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case.

## <u>Diane Burda – 581 Marshall Road</u>

Ms. Burda was present and sworn in by Chairman Rowe. Ms. Burda addressed the Commission with her concern regarding trucks exiting the property through the entrance and making a left turn onto Foster Avenue. Ms. Burda asked the Commission to address the issue with Thornton's.

## Carlos Pinzon - Fas Fuel - 1188 Foster Avenue

Mr. Pinzon was present and sworn in my Chairman Rowe. Mr. Pinzon stated in 2016 Fas Fuel was denied permission to expand their operation to add diesel fueling on site because according to the Village there was no a demand in the area. Mr. Pinzon stated there is clearly a need for diesel fuel in the area since the proposal is for an expansion on diesel tanks. Mr. Pinzon stated Fas Fuel was against any medians being installed on Foster Avenue, as it would affect their operations as well.

Mr. Pozsgay reviewed the approval criteria for the proposed conditional use permit amendment request consisting of:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The project is proposing to restrict exiting left turns from the store to increase safety on Foster Avenue.

2. **Environmental Nuisance**: The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: There will not be any adverse environmental effects.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The character of the neighborhood will not be altered.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The expansion will not affect the use of public services and facilities.

**5. Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The expansion of two diesel fuel canopies will allow Thorntons to better serve the existing corridor.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: No response.

Mr. Pozsgay reviewed the approval criteria for the proposed variance request consisting of:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

Response: Space does not exist on the site to provide additional stacking for the proposed fuel positions. The proposed fuel positions will allow Thorntons to serve customers more efficiently and allow for more customers to be served in less time which will help to alleviate stacking.

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Response: Adhering to the stacking requirements would result in a hardship for Thorntons. Thorntons would not be able to provide the additional dispensers at the store.

3. **Circumstances Relate to Property**: The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Response: The stacking area between the entrance to the fuel dispenser area and the fuel canopy does not have adequate space to allow for the additional stacking requirements.

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Response: The special circumstances have not been created by the applicant and are existing site conditions.

**5. Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Response: Given the unique site constraints, granting of the variance does not provide special privilege to the development.

6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Response: The granting of the variance is necessary for Thorntons to be able to provide additional fueling lanes to serve customers more efficiently.

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Response: The granting of the Variance will not alter the essential character of the area.

8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Response: The granting of the Variance will be consistent with the existing conditional use. The variance will provide Thorntons the ability to serve their customers more effectively.

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Response: The variance requested is the minimum variation needed. Thorntons would not be able to provide the additional dispensers at the store.

Mr. Pozsgay stated Staff recommends the approval of the above Findings of Fact and therefore the approval of the Conditional Use Permit Amendment and Variance with the following condition:

- 1. The property be developed in substantial compliance with the plans submitted Kimley-Horn, Inc. dated 03.01.18 and revised 06.21.18;
- 2. New fueling lanes to be developed on north side of property as proposed in revised plans, away from homes to the south;
- 3. Applicant works with homes to the south to address light from signage;
- 4. Applicant fixes fence along Foster Avenue;
- 5. Applicant works with engineering on final changes to site plan regarding truck movements onto Foster Avenue.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No.

2018-08. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:53 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the

Findings of Fact for CDC Case No. 2018-08 as presented by Staff and to approve the Amendment to Conditional Use Permit and Variance. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

Public Hearing: CDC Case Number 2018-12
Petitioner: Lincolnwood Gas & Food, Inc.
1301 West Irving Park Road

**Request:** Conditional Use Permit (Service Station)

Motion: Commissioner Marcotte made a motion to open CDC Case No.

2018-12. Commissioner Wasowicz seconded the motion.

**ROLL CALL:** Upon roll call the following Commissioners were present:

Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Absent: Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:54 p.m.

Motion: Commissioner Marcotte made a motion to continue CDC Case No.

2018-12 until September 4, 2018. Commissioner King seconded

the motion.

Community Development Commission Meeting Minutes August 7, 2018 Page 8

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

**Public Hearing:** CDC Case Number 2018-17

**Petitioner:** Kamil Matyja

**Location:** 751 South Center Street

**Request:** Variance, Shed Size, Municipal Code Section 10-14-12B-3

Motion: Commissioner Marcotte made a motion to open CDC Case No.

2018-17. Commissioner Wasowicz seconded the motion.

**ROLL CALL:** Upon roll call the following Commissioners were present:

Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Absent: Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:55 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on July 19, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on July 20, 2018. Mr. Pozsgay stated on July 20, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner had a stop work order for building a new shed with attached deck without a permit. Mr. Pozsgay stated he was replacing an old tired shed. Mr. Pozsgay stated the new shed is larger than allowed by code. Mr. Pozsgay stated the shed is 257 square feet and the attached deck with roof is 128 square feet. The maximum allowed shed size by code is 160 square feet.

Mr. Kamil Matyja, property owner was present and sworn in by Chairman Rowe. Mr. Matyja reviewed the proposed plans with the Commission.

Commissioner King asked if there was electricity ran to the shed. Mr. Matyja stated no electricity would be ran to the shed.

Commissioner Wasowicz asked what the flooring of the shed would be. Mr. Matyja stated the floor will be made of plywood and 2x4's.

Commissioner Czarnecki asked if a car would be parked in the shed. Mr. Matyja stated no, just a lawn mower and other yard tools.

## **Public Comment:**

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed variance request consisting of:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

Response: Plans to build a new shed started when my old shed completely gave out. I applied for a variance because it is approximately 100 sq. ft. bigger as determined by the village. I'm hoping to get the permits approved so that I can beautify my little piece of Bensenville.

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Response: If I would have to reconfigure the size of my shed, it will be at great cost to my family and me. Also I would like to get it done as soon as possible because all my yard and gardening tools are covered by a tarp on my yard.

3. **Circumstances Relate to Property**: The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Response: The main reason I'm applying for the variance is because the shed exceeds approximately 100 sq. ft. more then allowed by village ordinance.

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

Response: There has not been any action taken, on our part, to proceed with construction. We now know that a Variance is needed in order to proceed with obtaining the permit, for construction to resume.

5. Preserve Rights Conferred by District: A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Response: Alot of the sheds in my neighborhood that are newer have been built to exceed the village ordinance and I would like to enjoy the same right to improve and enhance my property while living in Bensenville. 6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Response: Without the variance, I will not be able to enjoy the additional space I need to make my yardwork, gardening and honestly my life a little bit easier. In other words I would have to make costly and time consuming changes to the shed.

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Response: The shed, will not in any way impair the environmental quality or welfare of the vicinity in which I live in and it will have little to no effect on the property value because an old shed was on the property when I bought it.

8. Consistent with Title and Plan: The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Response: If this Variance is granted, it will, in no way, interfere with the General Development Plan adopted by the Village of Bensenville.

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Response: If the Variance is approved, we will be able to proceed with our plans to obtain a permit and resume construction without incurring additional costs.

Mr. Pozsgay stated Staff recommends the approval of the findings of fact as they appear above and therefor recommend approval of the request with the following conditions:

- 1. Complete building plans shall be provided.
- 2. Shed must meet all current building code standards.
- 3. Shed must be moved outside of the easement.
- 4. Shed must not impede any exiting drainage or cause any drainage issues to neighboring sites.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No.

2018-17. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 7:03 p.m.

Motion: Commissioner Wasowicz made a combined motion to approve the

Findings of Fact for CDC Case No. 2018-17 as presented by Staff and to approve the Variance. Commissioner Marcotte seconded the

motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

**Report from Community** 

**Development:** Mr. Pozsgay reviewed both recent CDC cases along with

upcoming cases.

**ADJOURNMENT:** There being no further business before the Community

Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner King seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:13 p.m.



TYPE: Public Hearing	SUBMITTED BY: K. Pozsgay	DEPARTMENT: CED	<b>DATE</b> : 09.04.18
		for lon Lucian Faltinski, located	
Financially So	und Village ner Oriented Services	X Enrich the lives of F Major Business/Co Vibrant Major Corri	Residents rporate Center
REQUEST:			

Variance, fence in corner side yard, Municipal Code Section 10 – 14 – 11E – 1.

## **SUMMARY:**

- 1. The Petitioner is applying for a Variance for a fence in their corner side yard.
- 2. They were originally approved for a fence in their back yard between the garage and house.
- 3. They now want to be able to extend that fence toward W. Washington Street.
- 4. Code dictates that they can't go past the building line.

## **RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Ion Lucian Faltinski with the following conditions:

- 1. Fence must be built 5 feet from property line.
- 2. Fence must be no more than 5 feet of solid material, with the remaining made of lattice.
- 3. Applicant needs to apply for permit and pave their gravel parking pad.
- 4. Applicant needs to apply for gazebo permit.

#### ATTACHMENTS:

Description	Upload Date	Type
Aerial & Zoning Maps	8/29/2018	<b>Backup Material</b>
Legal Notice	8/29/2018	<b>Backup Material</b>
Application	8/29/2018	<b>Backup Material</b>
Staff Report	8/29/2018	<b>Executive Summary</b>
Plat of Survey	8/29/2018	<b>Backup Material</b>
Plans	8/29/2018	<b>Backup Material</b>

Variance; Fence in corner side yard



## Village of Bensenville



401 S Barron

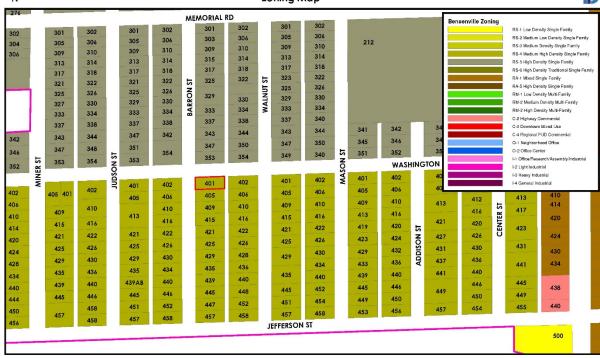


Date: 1/30/2018

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## Village of Bensenville





## LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on Tuesday, September 4, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 16 to consider a request for:

Variance, fence in corner side yard, Municipal Code Section 10 - 14 - 11E - 1.

401 South Barron Street is in a RS -4 Medium High Density Single Family district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOT 161 IN VOLK BROTHER'S EDGEWOOD, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213084, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 401 South Barron Street, Bensenville, Illinois.

Ion Lucian Faltinski of 401 South Barron Street, Bensenville, IL 60106 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through September 4, 2018 until 5:00 P.M.

Office of the Village Clerk Village of Bensenville

> TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT August 16, 2018

Date of Submission 07.25.18 For Office Use Only

MUNIS Account #: 8418 CDC Case #: 2018-16

## COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 401 3 Barron St.	
Property Index Number(s) (PIN): 8/78.	
A. PROPERTY OWNER:  101 LUCIAN Faltin	sKi
HOI & Barron St.	Corporation (if applicable)
Bensenvile	12. 60106.
City	State Zip Code
Contact Person Lucian FaltinsKi	Telephone Number & Email Address (773) 531 8022.
If Owner is a Land Trust, list the names and addresses of the b	Date: 06.11.18
B. APPLICANT: Check box if same as owner	
Name	Corporation (if applicable)
Street	
City	State Zip Code
Contact Person	Telephone Number & Email Address
Relationship of Applicant to subject property	
Applicant Signature:	Date:
C. ACTION REQUESTED (Check applicable):  Annexation Conditional Use Permit Master Sign Plan Planned Unit Development** Plat of Subdivision Rezoning (Map Amendment) Site Plan Review Variance *Item located within this application packet. **See staff for additional information on PUD requests	SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):  Affidavit of Ownership* (signed/notarized)  Application*  Approval Criteria  Legal Description of Property  Plat of Survey  Site Plan  Building Plans & Elevations  Engineering Plans  Landscape Plan  Review Fee (Application Fee + Escrow)  Escrow agreement and deposit*  Digital Submission of all application materials (CD)

## Brief Description of Request(s): (submit separate sheet if necessary) D. PROJECT DATA: residential General description of the site: Building Size (if applicable): 1500 SF Acreage of the site: 3. Is this property within the Village limits? (Check applicable below) \_X\_Yes No, requesting annexation No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements. 4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.) 5. Character of the site and surrounding area: Existing Land Use Zoning Jurisdiction RS-4 residentia Site: Bensenville North: South: East: West: E. DEVELOPER'S STAFF (if applicable): **ARCHITECT** ENGINEER: Name: Name: Telephone: Telephone: Email: Email:

### F. APPROVAL CRITERIA:

**ATTORNEY** 

Telephone:

Name:

Email:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

**OTHER** 

Name:

Email:

Telephone:



## **STAFF REPORT**

**HEARING DATE:** September 4, 2018

**CASE #:** 2018 – 16

**PROPERTY:** 401 S. Barron St. **PROPERTY OWNER:** Ion Lucian Faltinski

**APPLICANT** same **SITE SIZE:** 8,700 SF **BUILDING SIZE:** 1,450 SF

**PIN NUMBERS:** 03-23-209-001

**ZONING:** RS – 4 Medium High Density Single Family District

**REQUEST:** Variance, fence in corner side yard,

Municipal Code Section 10 - 14 - 11E - 1.

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday August 16, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.

2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday August 17, 2018.

3. On Friday August 17, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

## **SUMMARY:**

The Petitioner is applying for a Variance for a fence in their corner side yard. They were originally approved for a fence in their back yard between the garage and house. They now want to be able to extend that fence toward W. Washington Street. Code dictates that they can't go past the building line.

## **SURROUNDING LAND USES:**

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	RS – 4	Residential	Single Family Residential	Village of Bensenville
North	RS-5	Residential	Single Family Residential	Village of Bensenville
South	RS-4	Residential	Single Family Residential	Village of Bensenville
West	RS-4	Residential	Single Family Residential	Village of Bensenville
East	RS-4	Residential	Single Family Residential	Village of Bensenville

## **DEPARTMENT COMMENTS:** SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS: Financially Sound Village **Quality Customer Oriented Services** Safe and Beautiful Village X | Enrich the lives of Residents Major Business/Corporate Center **Vibrant Major Corridors** Finance:

Account up to date.

Police:

No police issues.

**Engineering and Public Works:** 

No comments.

**Community & Economic Development:** 

Economic Development:

No comments.

Fire Safety:

No fire safety issues.

## Building:

- 1) Fence should be held back from the alley so vehicles pulling out of the garage can see any traffic coming from the north end of the alley. (vision triangle)
- 2) If they are looking for privacy, why is there no proposed fence on the south side of garage?
- 3) They installed a gravel parking area without a permit.
- 4) Per their attached letter, it appears they also installed a gazebo without a permit.
- 5) Certificate of Occupancy is ready for pick up at Village Hall.

### Planning:

- 1) The 2015 Comprehensive Plan indicates "Single Family Residential" for this property.
- 2) A fence was originally approved in an appropriate location between the house and garage. The applicant then wished to extend the fence 10 feet toward Washington.
- 3) Even if we approve the fence extension, it is typical to require a 5 foot setback along Village right-of-way.
- 4) There are several examples of fences in corner side yards along Washington Ave. None go right up to the property line as proposed.

(see examples below)

South West Washington and Barron (across the street)



South East Washington and Mason



5) Staff would prefer that no fence is solid over 5' high; lattice for the remainder.

## **APPROVAL CRITERIA FOR VARIANCES:**

The Community Development Commission shall not recommend nor shall the Village Board grant a variance unless it shall make findings based upon the evidence presented to it in each specific case that:

1. Special Circumstances: Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature

as to make it reasonable and practical to provide a general amendment to this Title to cover them.

Response: There have been several homes in the corner lat (sic) in our street and our city all have fences for privacy.

**2. Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

Response: We need this fence around our corner lot and home.

**3.** Circumstances Relate to Property: The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

Response: We just bought this house new construction on June 2018 we work hard for this property.

**4. Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

**Response:** none given

**5. Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

Response: We have our nice garden and new concrete and gazebo we need privacy because is in the comer we don't want to everybody look in our yard.

**6. Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

Response: Without this fences we are not be able to to enjoy the additional space.

**7. Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

Response: We also like to reserve some right to improve and enhance our yard space while residing in Bensenville.

**8.** Consistent with Title and Plan: The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

Response: If this fences (sic) is granted, it will in no way interfere with the General Development Plan.

**9. Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

Response: If the Variance is approved, we will be able to proceed with our plans to obtain a permit and begin to install the fences.

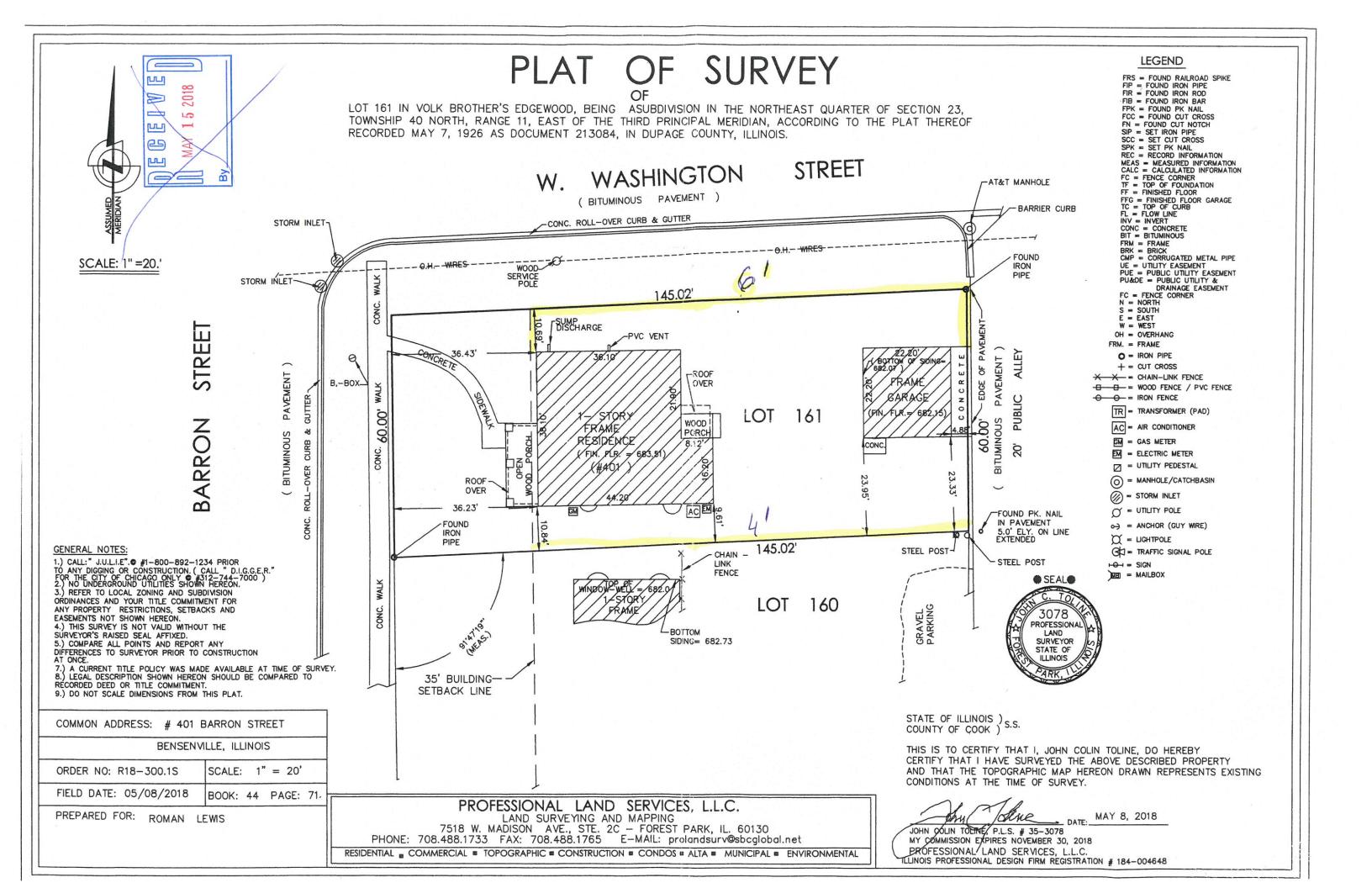
Meets Crit		Criteria
Variances Approval Criteria	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	reserve Rights Conferred By District X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character X		
8. Consistent with Title and Plan X		
9. Minimum Variance Needed	X	

## **RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Ion Lucian Faltinski with the following conditions:

- 1. Fence must be built 5 feet from property line.
- 2. Fence must be no more than 5 feet of solid material, with the remaining made of lattice.
- 3. Applicant needs to apply for permit and pave their gravel parking pad.
- 4. Applicant needs to apply for gazebo permit.

Respectfully Submitted, Department of Community & Economic Development



4" 205% 66 TENCE PHEC 421 GATE HOUSE 10/ GARAGE GATE 7 EHCE

TYPE: SUBMITTED BY: DEPARTMENT: DATE:
Public Hearing K. Pozsgay CED 09.04.18

## **DESCRIPTION:**

Consideration of a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex for Grand County LLC, located at 1050 S County Line Rd.

## **SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

X Financially Sound Village
 Quality Customer Oriented Services
 X Enrich the lives of Residents
 X Major Business/Corporate Center
 X Vibrant Major Corridors

## **REQUEST:**

Preliminary and Final Planned Unit Development,
Conditional Use Permit and Site Plan Review
to construct a sports complex with code deviations to
Parking Lot Construction and Landscaping requirements,
Municipal Code Sections 10 – 11 – 8 – 2 and 10 – 12 – 2.

### SUMMARY:

- The Petitioner is applying for a Planned Unit Development (PUD), Conditional Use Permit and Site Plan Review to operate a Sports Complex at the vacant property north of the hotels at Grand Ave and County Line Rd.
- 2. The plan calls for an enclosed 108,088 square foot sports dome and two turf fields totaling over 180,000 square feet.
- 3. They also propose 344 parking spaces (132 9-foot stalls, 204 10-foot stalls, and 8 accessible).
- 4. They are proposing to reduce the number landscape islands in the parking area and to not include standard curb and gutter.

## **RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the PUD for Grand County LLC with the following conditions:

- 1. Developed in accordance with the plans prepared by SpaceCo dated 06.22.2018 last.
- 2. Site Plan to be revised to include parking lot curb and gutter according to code.
- 3. A full landscaping plan to be submitted and approved by staff to include increased parking lot landscaping and additional perimeter landscaping.
- 4. Phasing / Timing. Final plans must be submitted within 12 months of preliminary approval. A development schedule should be submitted to staff at that time.
- 5. A parking lot and outdoor sport fields lighting plan should be submitted for review, to include no bleeding of light onto neighboring properties.
- 6. Sidewalks will be installed connecting to the sites to the south and east.
- 7. A path connecting the owner's property to the east should include bike considerations that tie into the County Line Road bike path. Bike parking shall be included on site.

#### ATTACHMENTS:

Description	Upload Date	lype
Aerial & Zoning Maps	8/29/2018	<b>Backup Material</b>
Legal Notice	8/29/2018	<b>Backup Material</b>
Application	8/29/2018	<b>Backup Material</b>
Staff Report	8/29/2018	<b>Executive Summary</b>

Site Improvement Plans	8/29/2018	<b>Backup Material</b>
Dome plans	8/29/2018	<b>Backup Material</b>
Plat of Survey	8/29/2018	<b>Backup Material</b>

CDC#2018 - 18

1050 County Line Road Grand County Line LLC

Planned Unit Development, Conditional Use Permit; Recreational institutions, and Site Plan Review

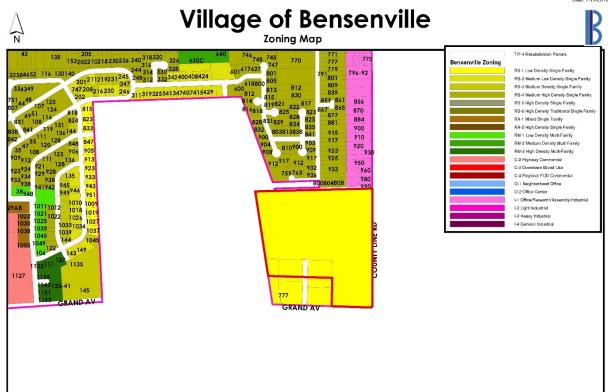


## Village of Bensenville

PIN 03-25-200-008







## LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on Monday, September 4, 2018 at 6:30 P.M the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review case No. 2018 - 18 to consider a request to grant a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex with code deviations to Parking Lot Construction and Landscaping requirements, Municipal Code Sections 10 - 11 - 8 - 2 and 10 - 12 - 2 located at 1050 S County Line Road in an existing RS-1 Low Density Single-Family Residential District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, Illinois.

The Legal Description is as follows:

LOT 2 (EXCEPT THAT PART THEREOF LYING WITHIN THE RIPARIAN CONSERVATION EASEMENT SHOWN ON THE PLAT OF SEXTON PROPERTY REDEVELOPMENT AND ALSO EXCEPT THAT PART THEREOF LYING WEST OF THE RIPARIAN CONSERVATION EASEMENT AND SOUTH OF A LINE DESCRIBED BY BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 2 WHICH IS 943.30 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT, AS MEASURED ALONG THE WEST LINE THEREOF; THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT 2, 899.18 FEET; THENCE NORTH 01 DEGREES 45 MINUTES 44 SECONDS EAST 50.00 FEET; THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST 56.37 FEET TO THE WEST LINE OF THE RIPARIAN CONSERVATION EASEMENT AND THE TERMINATION OF SAID LINE), ALL IN SEXTON PROPERTY REDEVELOPMENT, BEING A SUBDIVISION OF PART or THE NORTH EAST OUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 2002 AS DOCUMENT NUMBER R 2002-198616, IN DUPAGE COUNTY, ILLINOIS.

Commonly referred to as 1050 S. County Line Road.

Grand County LLC of 165 W. Lake St., Northlake, IL 60164 are the owners and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through September 4, 2018 until 5:00 P.M.

# TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT, August 16, 2018



## COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: County Line Rd. Bens	onville, 1	4 60106	
Property Index Number(s) (PIN): 03-25-26			
A. PROPERTY OWNER:	and Coun	til LLP	
165 W Lake Street	Corporation (if ap		
	State	60/64 Zip Code	
GREG RZEDZIAN GVE	gaaaaaaaa	Zip Code isfics. Nef 708- & Email Address	338-0303cm
If Owner is a Land Trust, list the names and addresses of the	e beneficiaries of the	Trust.	
Property Owner Signature:  Arop. Owner Sign. X		Date: 7-6	-18
B. APPLICANT: Check box if same as owner			
Name	Corporation (if app	licable)	
Street			
City	State	Zip Code	
Contact Person	Telephone Number	& Email Address	
Relationship of Applicant to subject property			
Applicant Signature:		Date:	
C. ACTION REQUESTED (Check applicable):  Annexation  Conditional Use Permit  Master Sign Plan  Planned Unit Development**  Plat of Subdivision  Rezoning (Map Amendment)  Site Plan Review  Variance  *Item located within this application packet.  **See staff for additional information on  PUD requests	each):  Affid  Appli  Appropriate of the control of	oval Criteria Description of Property f Survey	otarized) erow)

## Brief Description of Request(s): (Submit separate sheet if necessary)

	ZONING A	ND SUBDIVISION	OF THE SITE
) NO	SITE PLAN	APPROVING FOR	PROPOSED
ENSI	ENVILLE S.	PORTS COMPLEX	
PRO. Gene	JECT DATA: ral description of the site	E FORMER LANDFILL	AND VACATRO C
Acre	age of the site:19	. 98 Building Size (if ap	opticable): <u>108, 345 S.F.</u> \$ 8,014 S.F.
V	Yes No, requesting annexati No, it is under review b  jurisdiction	rage minus: (Check applicable below)	equires review due to 1.5 mile
Char	acter of the site and surro		,
ol.	Zoning R5 - 1	Existing Land Use VACANT	Jurisdiction  BENSENVILLE
HC.		V C / ) / V .	KINIV VEIV VIOCI
	R5-4 & E-1	SINGLE FAMILY	BENSENVILLE
orth:	RS-4 & E-1	SINGLE FAMILY Q PFICE SINGLE FAMILY (HOTELS	BENSENVILLE
orth:	RS-4 & E-1 RS-1	SINGLE FAMILY  SINGLE FAMILY (HOTELS  GENERAL INDUSTRIAL	BENSENVILLE
Vorth:	RS-4 & E-1 RS-1 I-2	SINGLE FAMILY (HOTELS	BENSENVILLE BENSENVILLE FRANKUN PARK
South:  East:  West:  DEVE  AR  No  To	RS-4 & E-1  R5-1  I-2  R-3  LOPER'S STAFF (if approximate the property of the	SINGLE FAMILY (HOTELS  GENERAL INDUSTRIAL  SINGLE FIAMILY (GOLF  COLF  C	BENSENVILLE ) BENSENVILLE FRANKLIN PARK E) COOK COUNTY
North:  South:  East:  West:  DEVE  AR  No  To  En	RS-4 & E-1  RS-1  I-2  R-3  LOPER'S STAFF (if appending the property of the pr	SINGLE FAMILY (HOTELS  GENERAL INDUSTRIAL  SINGLE FIAMILY (GOLF  Dilicable):  SMITH GN STUDIO, LTD.  Telephone:  PETE LTD. LOM  MUELLER  WERE & ASSOC.  OTHER  Name:	BENSENVILLE  BENSENVILLE  FRANKUN PARK  OOK COUNTY  PENA WICTKOWSKI  SPACECO, INC.  847-696-4060

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

STATE OF ILLINOIS	)
	)SS.
COUNTY OF DUPAGE AND COOK	)

## AFFIDAVIT OF OWNERSHIP

The undersigned Affiant, being first duly sworn,

- 1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
- 2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
- 3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
- 4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
- 5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership this day of, July, 2018

Signature

SUBSCRIBED and SWORN to

before me this haday of,

Ktary Public

Official Seal Irene Sierzega Notary Public State of Illinois My Commission Expires 01/18/2022

STATE OF ILLINOIS	)
	)SS.
COUNTY OF DUPAGE AND COOK	)

	AFFID	AVIT	OF	OWN	JER	SHIP
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the undersigned Affiant, being first duly sworn, on oath states:

- 1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
- 2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
- 3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
- 4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
- 5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership this /oh day of, July 20/8

SUBSCRIBED and SWORN to before me this /oh day of, July 20/8

Notary Public

Official Seal Irene Sierzega Notary Public State of Illinois My Commission Expires 01/18/2022

	For Office Use Only								
	DATE:	MUNIS Acct. #	CDC Case #:						
	CROW/REIMBURSI			, ,					
i. Ow	Tomas	e Kzedzian-Ka	esident of Grand Coun	ty Lo					
Name: _	CTYZEGOY.	z Kredzian-	esident of Grand Count	Cou					
			, Northlake, 12 60						
Telepho	ne: 708-338-0	1303cxt.322 Email: 2	gregeogotologistics. H	net					
If Owner	r is a Land Trust, th	ne names and addresses of	the beneficiaries of the Trust						
	The state of the s								
2 APP	LICANT								
Name:	5am	e as above							
				Total a 1 Management and a second					
Address	:			*******					
Telepho	ne:	Email:							
3. LOC	ATION OF PROPE	RTY							
Address	-County Lin	ne Ad Bensonvill	1/e,11 60106						
Acreage	*			M 400 Magazara in Francis					
Property	/ Index Number (s)	03-25-200	-008						
4 LEGAL	. DESCRIPTION.								
(Please a	attach as "Exhibit A	(")							

### REIMBURSEMENT OF FEES

Should the Village, in its sole and exclusive discretion, determine that it is necessary or desirable for the Village to obtain professional services, including, but not limited to, attorneys, engineers, planners, architects, surveyors, court reporters, traffic, appraisers, environmental, drainage or other consultants, including full and/or part time site inspection services during the actual construction of any required improvements, and/or to incur costs related to any required notices or recordations, in connection with any Petition or Application filed by the Petitioner/Applicant, a copy of which is attached hereto and incorporated herein as Exhibit B, then the Petitioner/Applicant and Owner shall be jointly and severally liable for the payment of such professional fees and costs, as shall actually be incurred by the Village, plus an additional ten percent (10%) to cover the Village's administrative expenses.

The President and Board of Trustees and/or Village Administrator are hereby authorized to assign the afore described services to the Village staff or to consultants, as they deem appropriate. When the Village staff render any services contemplated by this Agreement, then in such case the Village shall be reimbursed for its cost incurred in providing said services. Said reimbursement shall be at the rate of fifty dollars (\$50.00) per hour, plus an additional ten percent (10%) to cover the Village's administrative expenses.

At the time the Petitioner/Applicant requests action from the Village, he shall deposit the following amounts with the Village as an initial deposit to collateralize the obligation for payment of such fees and expenses:

Number of	< 5	5 <u>&lt;</u> 15	16 <u>&lt;</u> 75	>75
Review Items	acres	acres	acres	acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 to 3	\$2,000	\$4,000	\$5,000	\$7,000
<u>&gt;</u> 4	\$3,000	\$5,000	\$7,000	\$10,000

The Village shall deduct the incurred expenditures and costs from the funds deposited. If the remaining deposit balance falls below \$500.00, the Petitioner/Applicant, upon notice by the Village, shall be required to replenish the deposit to its original amount. The Village shall send the Petitioner/Applicant regular invoices for the fees and costs incurred. The Petitioner/Applicant shall replenish the deposit amount within fifteen (15) days of receipt of an invoice directing the replenishment of said deposit. Failure to remit payment within fifteen (15) days will cause all reviews to cease.

A Petitioner/Applicant who withdraws his Petition or Application may apply in writing to the Village Clerk for a refund of his initial deposit. The Village Manager may, in his discretion, approve such refund less any actual fees and costs, which the Village has already paid or incurred relative to the Petition or Application.

Upon the failure of the Petitioner/Applicant or Owner to reimburse the Village in accordance with this Agreement, no further action shall be undertaken on any Petition or Application by the Village President and Board of Trustees, or by any other official or quasi-official individual or body

thereunder, including the conduct of any hearings or deliberations, the granting of any relief or approvals, and the execution or recording of any documents, until all such outstanding fees are paid in full and/or the initial deposit is restored to its full amount. Further, the Village may deny any application for a grading, building or other permit if such amounts have not been paid in full. Upon any failure to reimburse the Village in accordance with this Section, the Village may in its discretion, apply any or all of the initial deposit to

the outstanding balance due and/or elect to place a lien against any real property associated with the Petitioner/Applicant's Petition or Application. In the event such amounts are not paid in full within sixty (60) days after the date when the statement of such amounts due is delivered or deposited in the U.S. mail by the Village, such amounts due shall be deemed delinquent and thereafter a delinquency charge of one percent (1%) per month, or portion thereof, with a minimum delinquency charge of \$5.00 per month, shall be added to the amount due until such amount due, including all delinquency charges, is received by the Village. Said lien shall be in an amount equal to the outstanding amount owed to the Village.

The remedies available to the Village as set forth hereinabove are non-exclusive and nothing herein shall be deemed to limit or waive the Village's right to seek relief of such fees against any or all responsible parties in a court of competent jurisdiction.

Any remaining balance of any funds deposited pursuant to this Agreement shall be refunded at such time as the Village accepts all required improvements within the development, pursuant to any improvement agreement executed in connection with the development of the real property associated with Petitioner's/Applicant's Petition or Application. In the event that no improvements are required, any such balance shall be refunded upon the later occurring of the following events: completion of Village deliberation on the petition or application, recordation of all necessary documents associated with the petition or application, or issuance of a building permit upon the real property in question.

BY SIGNING BELOW, THE PETITIONER/APPLICANT AND OWNER ACKNOWLEDGE THAT EACH OF THEM HAS READ THE FOREGOING PARAGRAPHS AND EACH OF THEM FULLY UNDERSTANDS AND AGREES TO COMPLY WITH THE TERMS SET FORTH HEREIN. FURTHER, BY SIGNING BELOW, EACH SIGNATORY WARRANTS THAT HE/SHE/IT POSSESSES FULL AUTHORITY TO SO SIGN.

THE PETITIONER/APPLICANT AND OWNER AGREE THAT PETITIONER/APPLICANT AND OWNER SHALL BE JOINTLY AND SEVERALLY LIABLE FOR PAYMENT OF FEES REFERRED TO IN APPLICABLE SECTIONS OF THE ORDINANCES OF THE VILLAGE OF BENSENVILLE, AND AS SET FORTH HEREIN.

RC		illage of BENSENVILLE
Petitioner/Applicant Grzegorz Rzedzian		Village Administrator
Owner Grzegorz Rzedzian	A	ttest
16/18	_	
bate	D	ate
	12	
Applicant - Tomasz Rzedzian	12	

### OWNER'S CERTIFICATE

STATE OF ILLINOIS )

)SS

COUNTY OF DU PAGE)

This is to certify that the undersigned is the legal owner of the land described on the attached plat, and has caused the same to be surveyed and subdivided as indicated thereon for the uses and purposes therein set forth.

Dated this day of, 20\_.

6th day of July 2018

By:

Owner/Owners

### **NOTARY'S CERTIFICATE**

STATE OF ILLINOIS )

) SS

COUNTY OF DU PAGE )

I hereby certify that the persons whose names are subscribed to the foregoing certificate be known to me as such owners. Given under my hand and Notarial Seal this day of , 20.

By:

Notary Public

My Commission Expires:

Official Seal Irene Sierzega Notary Public State of Illinois My Commission Expires 01/18/2022

### **OWNER'S CERTIFICATE**

STATE OF ILLINOIS )  (SS)  (COUNTY OF DU PAGE)  This is to certify that the undersigned is the legal owner of the land described on the attached plat, and has caused the same to be surveyed and subdivided as indicated thereon for the uses and purposes therein set forth.  (By: Townsz Rzedzian Owner/Owners)
NOTARY'S CERTIFICATE
STATE OF ILLINOIS ) ) SS COUNTY OF DU PAGE )
I hereby certify that the persons whose names are subscribed to the foregoing certificate be known to me as such owners. Given under my hand and Notarial Seal this day of , 20 hour days July 2016.  By:  Notary Public

Official Seal Irene Sierzega Notary Public State of Illinois My Commission Expires 01/18/2022

My Commission Expires:



### STAFF REPORT

**HEARING DATE:** September 4, 2018

**CASE #:** 2018 – 18

**PROPERTY:** 1050 S County Line Rd **PROPERTY OWNERS:** Grand County LLC

**APPLICANT:** Same 18 Acres

**BUILDING SIZE:** 108,088 SF dome **PIN NUMBER:** 03-25-200-008

**ZONING:** RS-1 Low Density Single-Family Residential **REQUEST:** Preliminary and Final Planned Unit Development,

Conditional Use Permit and Site Plan Review

to construct a sports complex with code deviations to Parking Lot Construction and Landscaping requirements, Municipal Code Sections 10 - 11 - 8 - 2 and 10 - 12 - 2.

### **PUBLIC NOTICE:**

- 1. A Legal Notice was published in the Bensenville Independent on Thursday March 30, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
- 2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on March 28, 2017.
- 3. On March 30, 2017 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The Petitioner is applying for a Planned Unit Development (PUD), Conditional Use Permit and Site Plan Review to operate a Sports Complex at the vacant property north of the hotels at Grand Ave and County Line Rd. The plan calls for an enclosed 108,088 square foot sports dome and two turf fields totaling over 180,000 square feet. They also propose 344 parking spaces (132 9-foot stalls, 204 10-foot stalls, and 8 accessible). They are proposing to reduce the number landscape islands in the parking area and to not include standard curb and gutter.

### **SURROUNDING LAND USES:**

	Zoning	Land Use Comprehensive Plan		Jurisdiction
Site	RS – 1	Residential	Single Family Residential	Village of Bensenville
North	RS-4	Residential	Single Family Residential	Village of Bensenville
South	RS – 1	Residential	Regional Commercial	Village of Bensenville
East	RS – 1	Residential	Regional Commercial	Village of Bensenville
West	OSP	Golf Course	n/a	Addison Township

### **DEPARTMENT COMMENTS:**

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

X	Fir	anci	ally	So	und	V	illa	ıge
	_	4.	$\sim$			_		

Quality Customer Oriented Services

X Safe and Beautiful Village

X Enrich the lives of Residents

X Major Business/Corporate Center

X Vibrant Major Corridors

Finance:

All current.

Police:

No police issues.

### **Engineering and Public Works:**

Public Works:

No comments.

### Engineering:

The Engineering Division within Public Works Department received the following material on July 6, 2018.

- 4 copies of Engineering Site Plans (15-sheets) titled "Site Improvements for Bensenville Sports Complex, Bensenville, IL" dated 6-22-18 prepared by Spaceco, Inc of Rosemont, IL
- Stormwater Report, titled "Site Improvements for Bensenville Sports Complex, Bensenville, IL" dated June 2018 prepared by Spaceco, Inc of Rosemont, IL

The following review comments are regarding general civil site improvements. Four revised set of plans, engineer's estimate for entire civil site improvements along with a disposition of comment letter shall be submitted to us for further review and/or approval.

The Stormwater portion of the review for this project is provided by the Village's consultant Christopher B. Burke Engineering LTD (CBBEL) under separate comment letter. Provide a separate disposition of comment letter for their review comments.

### Sheet C1

1. Please provide a permit box for all required permit for this project. The permits required are IEPA NOI, IEPA NOT, DuPage SMC (18-05-0006), IEPA-Water IEPA-San, and Bensenville Building permit.

### Sheet C2

- 1. Please remove the typical HMA pavement and typical sidewalk detail and replace with standard Village details. Both are available on the Village website.
- 2. Please provide a conversion factor from NGVD 29 to NAVD 88 datum.

### Sheet ET

1. It is my understanding; the development to the south has revised its plans that abut the south property line of the Sports complex site. Please incorporate the latest changes into the existing conditions.

### Sheet GM1

- 1. The entire outside perimeter of the parking lot as well as islands within the parking lot shall be equipped with C&G. The drive aisle around the dome shall also be equipped with C&G.
- 2. Proposed depressed curb in front the clubhouse leading to the handicap parking spaces shall be equipped with ADA detectable warning tiles.
- 3. The development to the south is installing sidewalk along the east side to its north property line. This sidewalk shall be extended all the way to the northern parking lot limits along the east side between the parking lot and proposed soccer fields.
- 4. The development to the south is installing sidewalk along the west side to its north property line. This sidewalk shall also be extended to the western parking lot limits along the south perimeter of the parking lot. A crosswalk shall be provided just north of the property line connecting the aforementioned sidewalks.
- 5. The handicap fine shall be \$350. Please update the sign details.
- 6. The Village code (10-12-2C) requires parking lot landscape islands every 15 spaces. Please incorporate islands into the design.
- 7. Please indicate if the parking lot and/or the soccer fields will be have lights. If so, provide the locations of the lights as well as lighting plan and photometric calculations.
- 8. PCC pavement shall be installed in front of the dumpster enclosure. At a minimum, it should span the length and width of a typical garbage truck.

### Sheet UT1

1. Proposed sanitary service coming out of the building into the inspection manhole has invert difference of 23-inches, which is barely under the requirement for a drop manhole connection. I recommend lowering this pipe segment or increasing the slope. The entire run of sanitary on this property will be a private service.

- 2. Due to the previous use of the site, I would recommend using AWWA C-900 PVC pipe for the proposed watermain with two-tracer wires (5 o'clock and 11 o'clock) position. The entire run of watermain on this property will be a private service.
- 3. The plan depicts tying into the existing watermain being installed as part of the adjacent development. For pressure testing reason, a new valve in vault may be required at the south end of the proposed water service for this development.

### Sheet D1

1. Include VOB-Sidewalk detail, available on the website.

### Community & Economic Development:

### Economic Development:

- 1. Supportive of the proposed PUD and Conditional Use Permit.
- 2. The proposed sports complex will continue the development of TIF 4, increasing increment and allowing for future projects.
- 3. The sports complex not only will create jobs for local residents, but also will act as an economic multiplier for other local businesses.
- 4. Complexes such as the one proposed bring in a large number of outside users who in turn will patronize Bensenville restaurants, stores, and hotels.

### Code Compliance:

No comments at this time.

### Building:

No comments at this time.

### Planning:

### Background

- 1) Current zoning is RS 1 Low Density Single Family.
- 2) The subject property is part of the old Legends golf course site. A priority redevelopment for the Village, TIF 4 was created to help incentivize development. To date, two hotels have been built to the south.

### Site Plan

- 1) The site plan is only for the portion of the site west of the creek, north of the hotel properties.
- 2) The site is accessed via a new right of way to be developed by the hotel property owner.
- 3) Final street name shall be determined by the Village.
- 4) The large sports dome will be on western portion of the site.
- 5) Two outdoor turf soccer fields will be on the eastern portion of the site.
- 6) Staff would like to see a detailed lighting plan. Does the applicant intend to light the outdoor sports fields? The parking lot? Every effort should be made to minimize light bleeding onto neighbor properties. Field lights should be turned off when not in use.
- 7) Current site plan indicates a stepped walkway to the bridge across the creek. With plans to develop a bike bath along County Line Road, applicant to find a way to connect to path.
- 8) Deviations from the code include:
  - 1) Parking lot landscape islands. Applicant is proposing to eliminate all landscape islands to maximize parking.

- 2) Parking lot construction. Applicant is proposing to eliminate curb and gutter.
- 9) Staff does feel either of these deviations are completely necessary. Staff would like to see some revised plans to include something closer to what code requires.

### Other:

- 1) Does applicant intend to host major events/tournaments?
  - a. Events shouldn't last later than 10:00pm.
  - b. No tailgating or alcoholic beverages allowed in the parking area.

The review and recommendation of the Planned Unit Development and Conditional Use Permit should be determined by the "Approval Criteria" found in the Village's Zoning Ordinance. The applicant has submitted commentary on these Approval Criteria. The applicant's comments are attached to the application. Staff generally concurs with the applicant's submitted statements and also offers the following Findings of Fact for the Community Development Commission's review.

### APPROVAL PROCESS AND CRITERIA:

The Community Development Commission shall review the Planned Unit Development using the following criteria:

- 1. **Superior Design:** The PUD represents a more creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable regulations, and solely on this basis modifications to such regulations are warranted.
  - Applicant's Response: The PUD represents a more creative approach and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable regulations. The PUD will enhance the character of the site and provide the flexibility for the proposed development.
- 2. **Meet PUD Requirements:** The PUD meets the requirements for planned unit developments set forth in this Title, and no modifications to the use and design standards otherwise applicable are allowed other than those permitted herein.
  - Applicant's Response: The PUD meets the requirements for planned unit developments set forth in this Title.
- 3. **Consistent with Village Plan:** The PUD is generally consistent with the objectives of the Village general development plan as viewed in light of any changed conditions since its adoption.
  - Applicant's Response: The proposed development will be consistent with the Village's plan to convert the site from a vacant golf course to an amenity that will attract people within Bensenville as well as surrounding communities.
- 4. **Public Welfare:** The PUD will not be detrimental to the public health, safety or general welfare.

Applicant's Response: The proposed PUD will not be detrimental to the public health, safety or general welfare.

5. **Compatible with Environs:** Neither the PUD nor any portion thereof will be injurious to the use and enjoyment of other properties in its vicinity, seriously impair property values or environmental quality in the neighborhood, nor impede the orderly development of surrounding property.

Applicant's Response: The PUD will not be injurious to the use and enjoyment of other properties in its vicinity. The PUD compliments the hotel, restaurant and retail developments currently proposed to the South. The PUD will not impair property values or environmental quality in the neighborhood.

6. **Natural Features:** The design of the PUD is as consistent as practical with preservation of any natural features such as flood plains, wooded areas, natural drainage-ways or other areas of sensitive or valuable environmental character.

Applicant's Response: The design is as consistent as practical with preservation of any natural features. Addison Creek follows the North and East sides of the property. Native plantings are proposed around the perimeter of the development as well as in the bottom of the proposed detention basins to provide a naturalized concept and provide stormwater benefits.

7. **Circulation:** Streets, sidewalks, pedestrian-ways, bicycle paths and off-street parking and loading are provided as appropriate to planned land uses. They are adequate in location, size, capacity and design to ensure safe and efficient circulation of automobiles, trucks, bicycles, pedestrians, fire trucks, garbage trucks and snow plows, as appropriate, without blocking traffic, creating unnecessary pedestrian-vehicular conflict, creating unnecessary through traffic within the PUD or unduly interfering with the safety or capacity of adjacent streets.

Applicant's Response: Off-street parking and pedestrian sidewalks are provided for the improvements and will be adequate for the proposed land use.

**8. Open Spaces and Landscaping:** The quality and quantity of common open spaces or landscaping provided are consistent with the higher standards of design and amenity required of a PUD. The size, shape and location of a substantial portion of any common open space provided in residential areas render it usable for recreation purposes.

Applicant's Response: The proposed use is for sports and recreation and a landscape plan will be prepared for the remaining open spaces. The quantity of open space for the proposed PUD is significant.

- 9. **Covenants:** Adequate provision has been made in the form of deed restrictions, homeowners or condominium associations or the like for:
  - a. The presentation and regular maintenance of any open spaces, thoroughfares, utilities, water retention or detention areas and other common elements not to be dedicated to the Village or to another public body.

b. Such control of the use and exterior design of individual structures, if any, as is necessary for continuing conformance to the PUD plan, such provision to be binding on all future ownerships.

Applicant's Response: As applicable, appropriate provisions will be prepared which will cover maintenance of the common elements as well as control of the use and exterior design of individual structures.

10. Public Services: The land uses, intensities and phasing of the PUD are consistent with the anticipated ability of the Village, the school system and other public bodies to provide and economically support police and fire protection, water supply, sewage disposal, schools and other public facilities and services without placing undue burden on existing residents and businesses.

Applicant's Response: It is anticipated that the land use is consistent with the anticipated ability of the Village as well as other public bodies, facilities and services. No undue burden on existing residents and businesses is anticipated.

11. **Phasing**: Each development phase of the PUD can, together with any phases that preceded it, exist as an independent unit that meets all of the foregoing criteria and all other applicable regulations herein even if no subsequent phase should ever be completed.

Applicant's Response: Currently the project is not split into construction phases. If the project is later split into phases, each phase will be able to exist independently.

	Meets	Criteria
Planned Unit Development Approval Criteria	Yes	No
1. Superior Design	X	
2. Meets PUD Requirements	X	
3. Consistent With Village Plans	X	
4. Public Welfare	X	
5. Compatible With Environs	X	
6. Natural Features	X	
7. Circulation	X	
8. Open Space & Landscaping	X	
9. Covenants	X	
10. Public Services	X	
11. Phasing	X	

### **RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the PUD for Grand County LLC with the following conditions:

- 1. Developed in accordance with the plans prepared by SpaceCo dated 06.22.2018 last.
- 2. Site Plan to be revised to include parking lot curb and gutter according to code.
- 3. A full landscaping plan to be submitted and approved by staff to include increased parking lot landscaping and additional perimeter landscaping.

- 4. Phasing / Timing. Final plans must be submitted within 12 months of preliminary approval. A development schedule should be submitted to staff at that time.
- 5. A parking lot and outdoor sport fields lighting plan should be submitted for review, to include no bleeding of light onto neighboring properties.
- 6. Sidewalks will be installed connecting to the sites to the south and east.
- 7. A path connecting the owner's property to the east should include bike considerations that tie into the County Line Road bike path. Bike parking shall be included on site.

Respectfully Submitted, Department of Community & Economic Development

FILENAME: 5472.06TITLE.dg

DATE: 06/22/18

SHEET

SITE IMPROVEMENT PLANS for

**PROJECT NO:5472.06** 

# BENSENVILLE SPORTS COMPLEX

BENSENVILLE, ILLINOIS

**OWNER** 

GO 2 LOGISTICS, INC. 165 W. LAKE STREET NORTHLAKE, ILLINOIS 60164 (708) 338-0303

CALL J.U.L.I.E. 1–800–892–0123 WITH THE FOLLOWING:

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CITY, TOWNSHIP BENSENVILLE

SEC. & 1/4 SEC. NO. S25, T40N, R11E

48 HOURS BEFORE YOU DIG. EXCLUDING SAT., SUN. & HOLIDAYS

		INDEX
SHEET #	SHEET I.D.	SHEET DESCRIPTION
1	C1	COVER SHEET
2	GN	TYPICAL SECTIONS & GENERAL NOTES
3	ET	EXISTING CONDITIONS PLAN
4	DEMO1	GEOMETRIC PLAN
5	GM1	GEOMETRIC PLAN
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8	UT1	UTILITY PLAN
9	PP1	PLAN & PROFILE - SANITARY SEWER
10-12	SE1-SE3	SOIL EROSION AND SEDIMENT CONTROL PLAN
13	SPEC	SPECIFICATIONS
14-15	D1-D2	DETAILS

**BENCHMARK** 

ELEVATION

DESCRIPTION: SEE SHEET GN FOR BENCHMARK INFORMATION

NOTE:

SPACECO, INC. IS TO BE NOTIFIED AT LEAST
THREE (3) DAYS PRIOR TO STARTING CONSTRUCTION
AND SHALL BE INCLUDED IN THE PRECONSTRUCTION MEETINGS

efferson St	Rd	Marion St E Jef	ferson St	Mt:Prospect:Rd	CP-Bensenvill Franklin Ave			
	S York Rd			MtF	Addison Ave			
Golf Club	OJECT CATION	George St		County Line Rd	King Ave	Wolf Rd		
		River Fo	rest Club	Con	111111	Belmo	ont Ave	
rand Ave	S York Rd		Grand Ave	W Grand Av	Behrns Dr	N Wolf Rd	Alta St	Culleron St
	N York Rd	N Howard Ave	Mt Emblem Cemetery	) J		Rd	N Roy Ave	Me rose Ave
			N Parker St	Northwest Ave	Fairvi Memo Par Ceme	orial k tery E Fu	llerton Ave	Ave Mo
	N York St	N Willow Rd	E Romans Rd			Por	E P	almer Ave
te Sp lake s	S <sub>e</sub> 12		Arlington Cemetery	ne Rd	Z.		V political Ave	lage Dr
N.Larch Ave		30	Lawn Mausoleum and Cemetery	N County Line R	N Railroad Ave	Z	N Roy Ave	A
Z Z	E Navth A		13A <i>Lake St</i> Ave 138 64		West Dr	Nor	thiak	Anson Dr
							N.T.S.	

	ORIGINAL PLAN DATE: JUNE 22, 2018						
#	SHEET #	REMARKS	DATE				

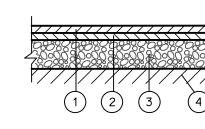
**REVISIONS** 

ENGINEER
IRENA H. WICZKOWSKI, P.E.
ILLINOIS REGISTRATION NO.: 062-053246
EXPIRATION DATE: 11/30/2019

PROFESSIONAL DESIGN FIRM NO.: 184-001157
EXPIRATION DATE: 04/30/2019

THESE PLANS OR ANY PART THEREOF SHALL BE CONSIDERED VOID WITHOUT THE SIGNATURE, SEAL, AND EXPIRATION DATE OF SEAL OF THE ENGINEER

### **GENERAL NOTES** 1. REFERENCED CODES 22. GENERAL EXCAVATION/UNDERGROUND NOTES ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION, SHORE AND BRACE WHERE SLOPING IS NOT POSSIBLE EITHER BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS; ADOPTED APRIL 1, 2016 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THERETO; AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JANUARY 2014, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL GOVERN. AND DISCHARGE LINES AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT. OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK. 2. UTILITY LOCATIONS THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE MUNICIPALITY, FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS. 3. UTILITY COORDINATION 24. UNDERGROUND NOTES OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHOULD REFLECT CONSTRUCTION SEQUENCING WHICH COORDINATES WITH ALL UTILITY RELOCATION WORK. THE SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT. THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. AT&T SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE ANY DEWATERING OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR DEWATERING. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH COMPRESSIVE STRENGTH LESS THAN 0.5 TSF ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL (UPON APPROVAL OF THE OWNER AND/OR ENGINEER) OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS SPECIFICALLY MARKED "FOR CONSTRUCTION". PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS, AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO A 1:1 SLOPE LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE DOING ANY WORK, OTHERWISE THE CONTRACTOR ASSUMES FROM SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING IDOT CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM. FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE. THE CONTRACTOR SHALL INSTALL A 4" X 4" X 8' (NOMINAL) POST AT THE TERMINUS OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VAULTS. THE POST SHALL EXTEND 4' ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED. WATERMAIN - BLUE, STORM - GREEN. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE. OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SUBGRADES. WHENEVER POSSIBLE, HOSES SHALL BE THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO USED TO DIRECT THE WATER INTO LOT AREAS OR THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING. DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST. OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS. FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE OF THE PROJECT. (FINAL GRADES TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND 9. COMMENCING CONSTRUCTION MAY VARY FROM PLAN GRADE.) THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL. OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES. UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY TS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL HE PROJECT SITE TO MONITOR THE QUALITY OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR ACCESS BE DENIED TO ADJACENT PROPERTIES. MUST AT ALL TIMES MAINTAIN A SAFE ACCESS TO THE WORK FOR INSPECTORS. "SAFE": MEANING THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTOR CAN ORDER CESSATION OF THE WORK SO AFFECTED UNTIL SUCH TIME AS CONTRACTOR PROVIDES SAFE ACCESS. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. ANY DAMAGE TO THESE ITEMS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CULVERTS, ETC. SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL. 2.0% MAX. CROSS SLOPE ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD LE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE HMA SURFACE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED. COURSE, MIX ' 6" AGGREGATE BASE -COURSE, TYPE B THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB. ASPHALT PATH DETAIL (TYP. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS 17. WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.



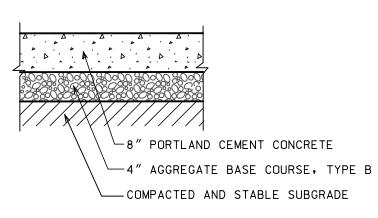
# TYPICAL HMA PAVEMENT SECTION

(1) 2" HMA SURFACE COURSE, MIX "D", N50

(2) 2" HMA LEVELING BINDER (MACHINE METHOD), N50

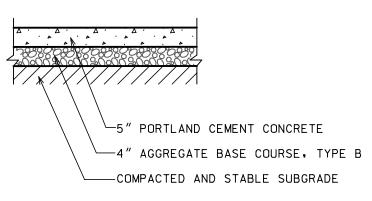
(3) 10" AGGREGATE BASE COURSE, TYPE B

(4) COMPACTED AND STABLE SUBGRADE



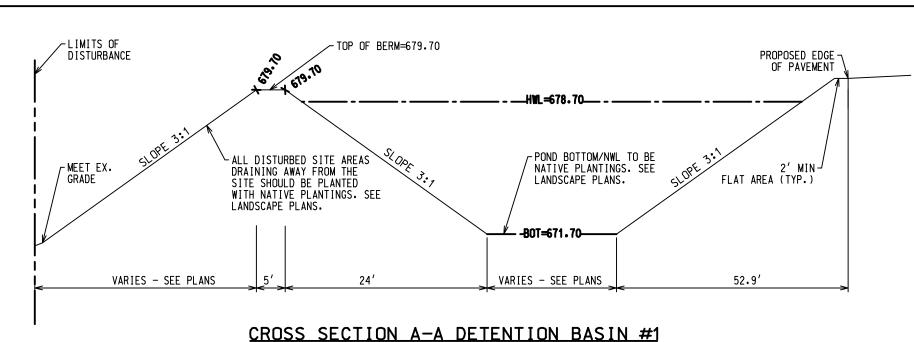
TYPICAL CONCRETE PAVEMENT SECTION

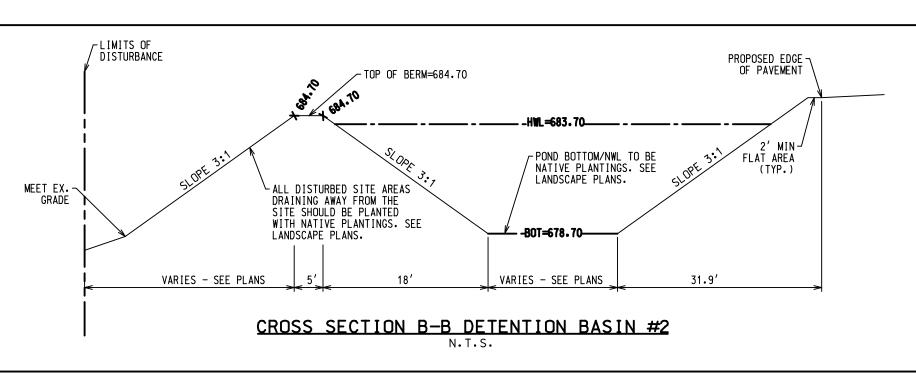
CONTRACTOR TO COORDINATE FINAL SECTION AND INSTALLATION REQUIREMENTS WITH STRUCTURAL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS PRIOR TO INSTALLATION.

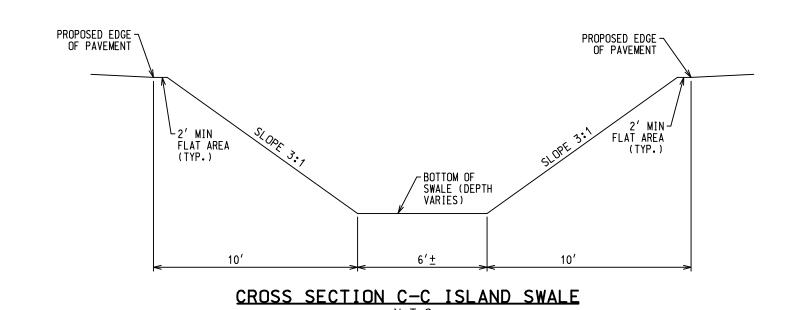


TYPICAL SIDEWALK/PEDESTRIAN PATH SECTION

CONTRACTOR TO COORDINATE FINAL SECTION AND INSTALLATION REQUIREMENTS WITH STRUCTURAL DRAWINGS AND GEOTECHNICAL RECOMMENDATIONS PRIOR TO INSTALLATION.







EXIS.	TING	DESCRIPTION	PROPOSED
<b>→</b>		DRAIN TILE	
-)	<u></u>	STORM SEWER	->>
->	—->-	SANITARY SEWER	->>
<del>-&gt;&gt;-</del>		SANITARY TRUNK SEWER	<del>-&gt;&gt;</del>
-w	8" -	WATER MAIN (WITH SIZE)	-w 8"-
		PIPE TRENCH BACKFILL	
—G——	G_	GAS MAIN	—G———G—
—т——	—т—	TELEPHONE LINES	<b>—</b> т——т—
—Е——	——Е—	ELECTRIC LINE	—Е———Е—
×		FENCE	——×——
		RIGHT-OF-WAY	
		EASEMENT	
		PROPERTY LINE	
		SETBACK LINE	
		CENTERLINE	
68	0	CONTOUR	<del></del> 680
(6	)	SANITARY MANHOLE	0
0	)	STORM MANHOLE	•
Q	)	CATCH BASIN	•
E		INLET	
C	(	FIRE HYDRANT	€
		PRESSURE CONNECTION	•
		PIPE REDUCER	<b>&gt;</b>
$\in$	) W	VALVE AND VAULT, VALVE	•
<	1	FLARED END SECTION	•
X	ί	STREET LIGHT	×
-0	<b>)</b> -	UTILITY POLE	•
Æ	<u> </u>	CONTROL POINT	
c		SIGN	4
XXX	X	SPOT ELEVATION	××ו××
4	<del>)</del>	SOIL BORING	•
	<b>&gt;</b>	OVERLAND FLOW ROUTE	<b>-</b>
		DRAINAGE SLOPE	<b>~~</b> OR <b>→</b>
		GUARDRAIL	
<u> </u>	. ~~	WATER'S EDGE	~~
		CONCRETE	
	<del>_</del>	STANDARD PITCH CURB	111111111111111111111111111111111111111
<u></u>	J# ~	TREE, FIR TREE, BUSH, &	XX
) ( ° )		PROPOSED TREE TO REMOVE	<b>\( \sqrt{2} \sqrt{2} \)</b>

**LEGEND** 

# **ABBREVIATIONS**

I = INVERT OR INLET M = STORM MANHOLE TF = TOP OF FOUNDATION S = SANITARY MANHOLE GF = GARAGE FLOOR

CB = CATCH BASIN LP = LIGHT POLE VV = VALVE VAULT

E = END SECTION

FH = FIRE HYDRANT

**BENCHMARK:** 

TC = TOP OF CURB TD = TOP OF DEPRESSED CURB TW = TOP OF RETAINING WALL

BW = BOTTOM OF RETAINING WALL GR = GRADE RING (HYDRANT) OP = OUTLET OF PIPE

NGS MONUMENT COO64 1A. STATION DESCRIBED AS LOCATED APPROXIMATELY 1.8

SECTION 34, T42N, R12E. TO REACH FROM THE JUNCTION OF IL RT 64 AND US

NORTH OF THE BACK OF CURB ON WESTBOUND RT 64. STATION IS 0.1 MI EAST

OF CURB OF BITUMINOUS PARKING LOT FOR CINEMARK THEATRE, 25 FT

SOUTHWEST OF AN ORANGE FIBERGLASS WITNESS POST.

ELEVATION = 631.30 NGVD 29 DATUM

RT 12/45 PROCEED EAST ON RT 64 FOR 2.1 MI TO THE STATION LOCATED 25 FT

OF GEORGE ST AND 0.1 MI WEST OF 9TH AVE. STATION IS 138.4 FT EAST OF THE

CENTERLINE OF VALUE CITY ENTRANCE, 66 FT NORTHEAST OF THE TRAFFIC SIGNAL POLE, 33.7 FT SOUTHWEST OF PK NAIL IN POWER POLE, 25 FT SOUTH OF BACK

NORTHEAST OF A VALVE VAULT, 15 FT SOUTHEAST OF A MANHOLE, AND 33.7 FT

MI SOUTHWEST OF ELMWOOD PARK IN THE CITY LIMITS OF MELROSE PARK IN

T/P = TOP OF PIPE B/P = BOTTOM OF PIPE WM = WATERMAIN SAN = SANITARY SEWER

STM = STORM SEWER LO = LOOK OUT

PLO = PARTIAL LOOK OUT



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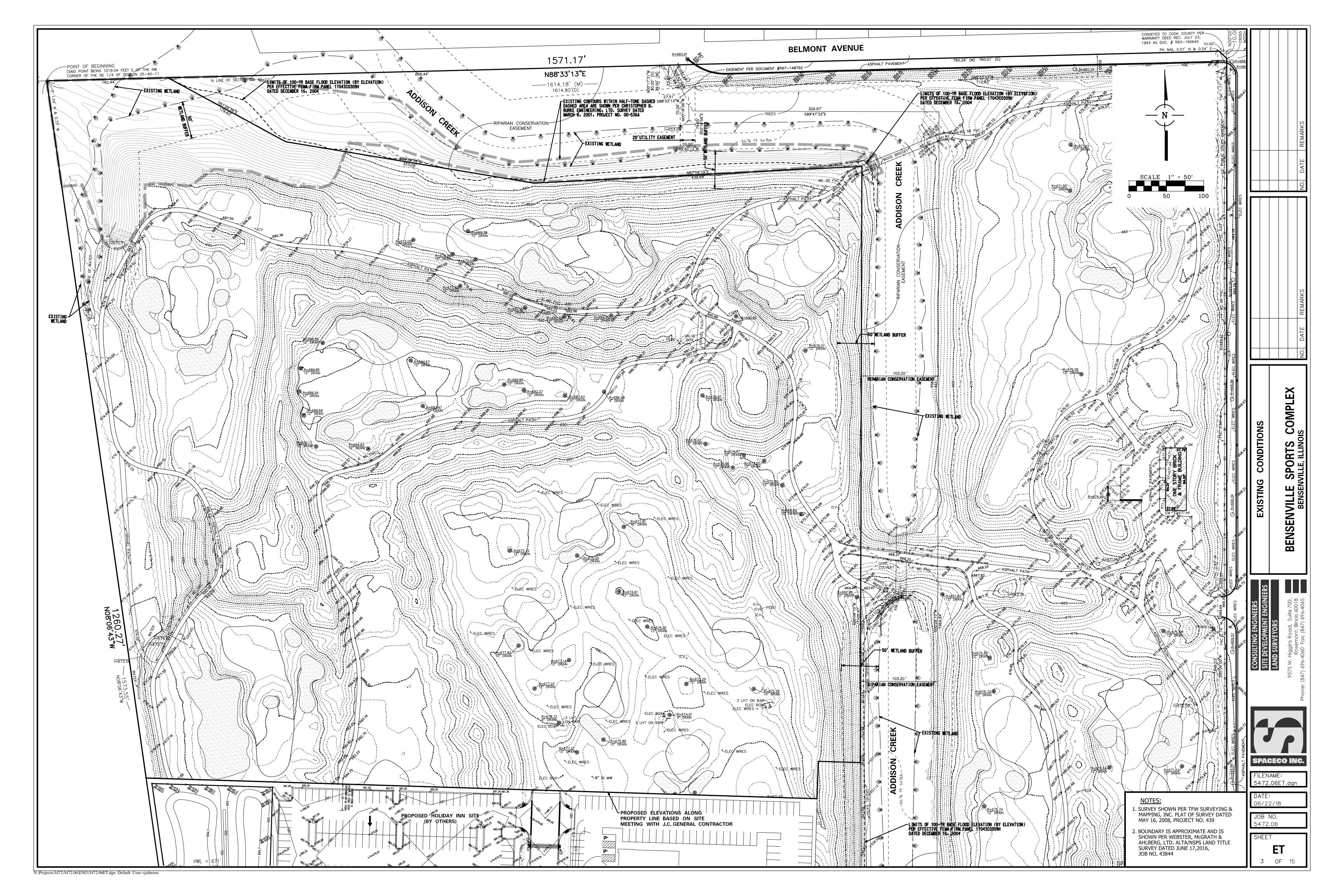
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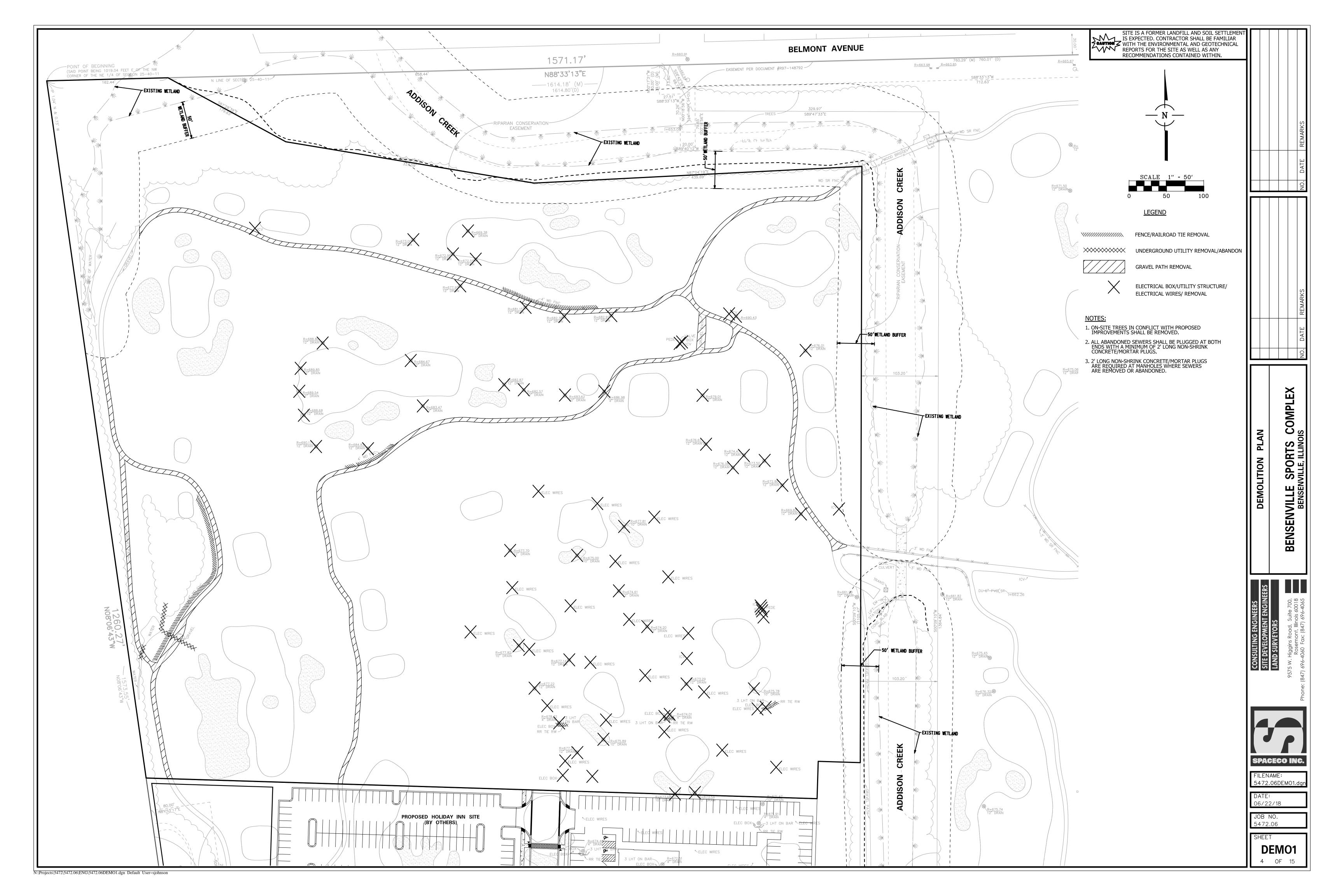
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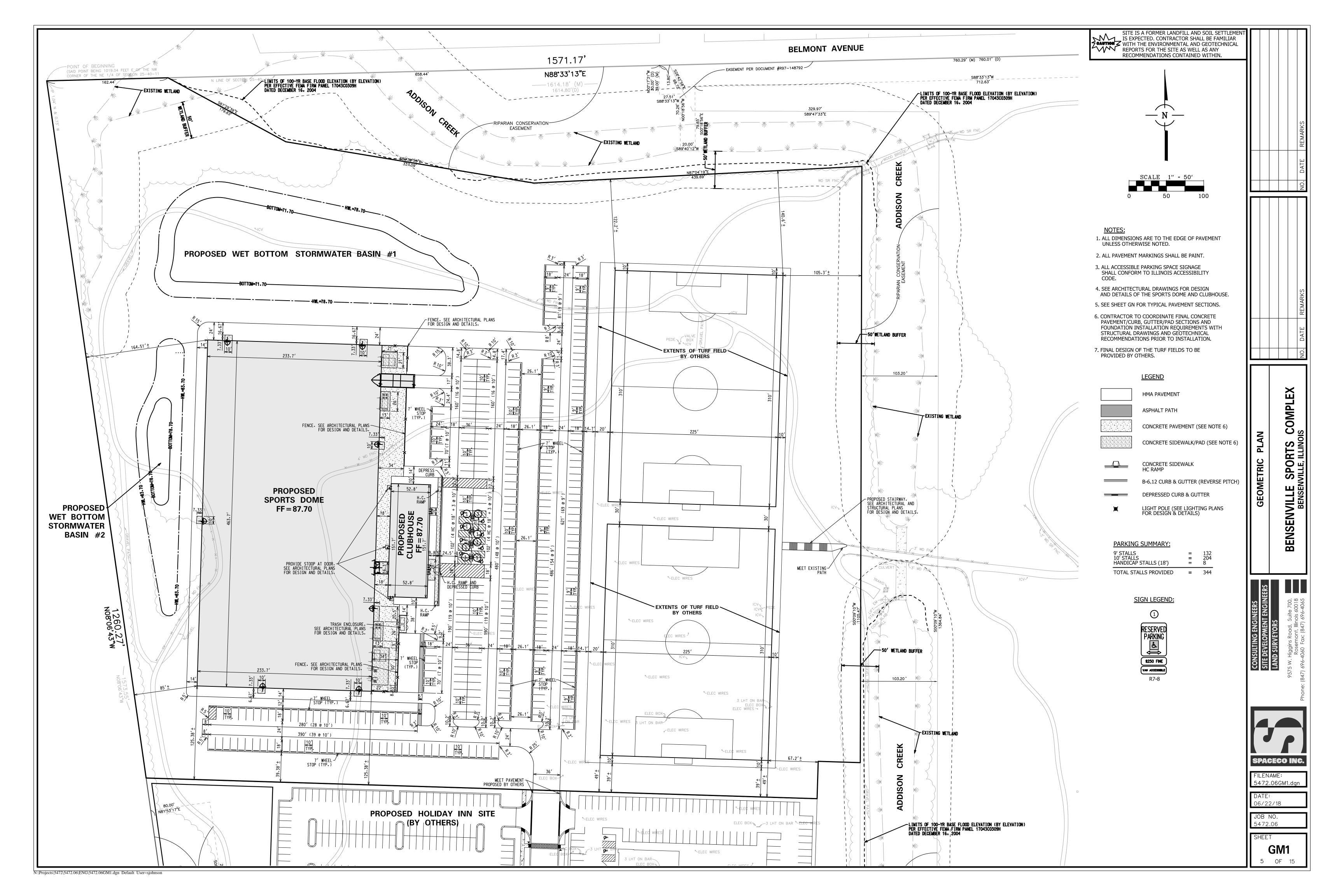
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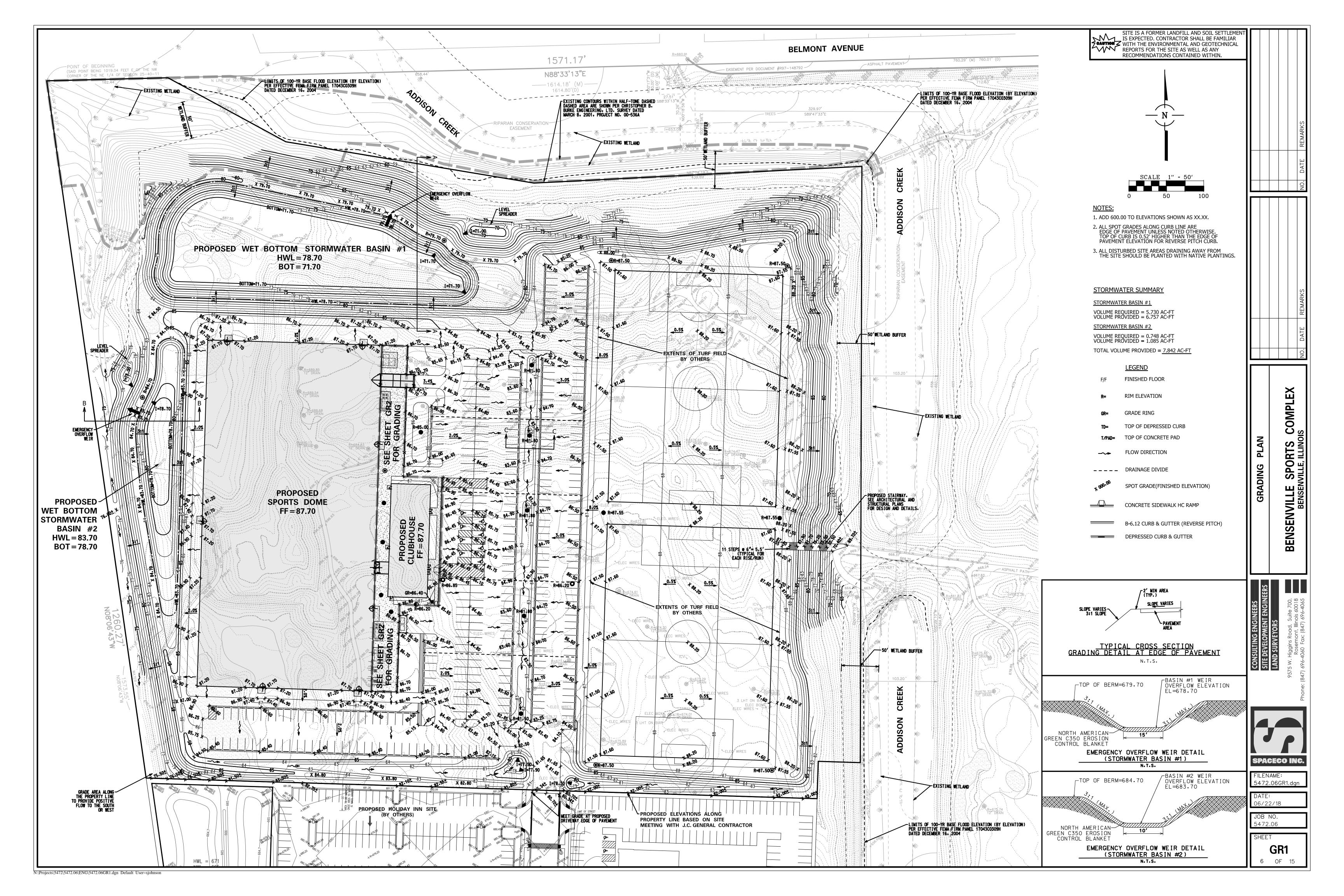
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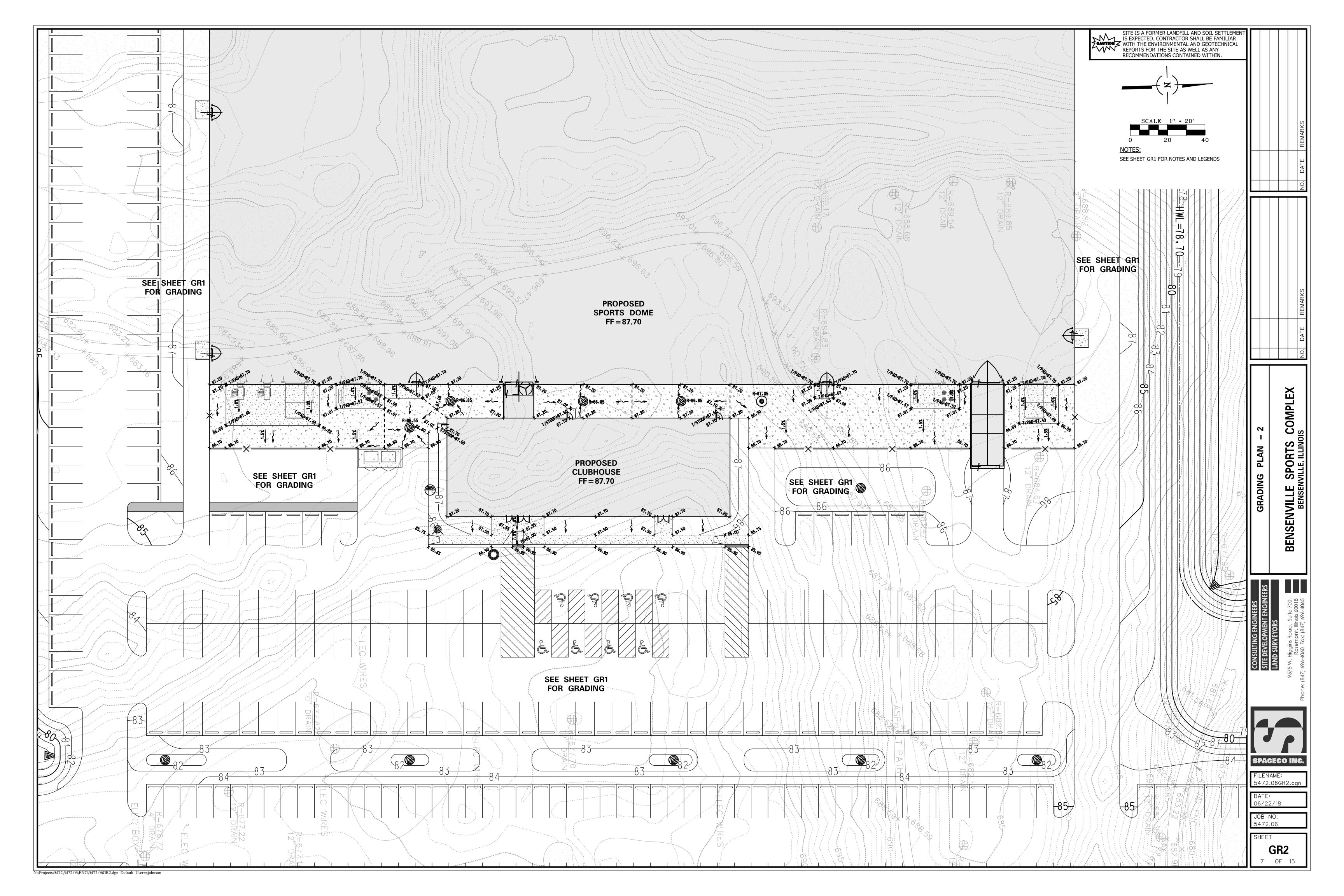
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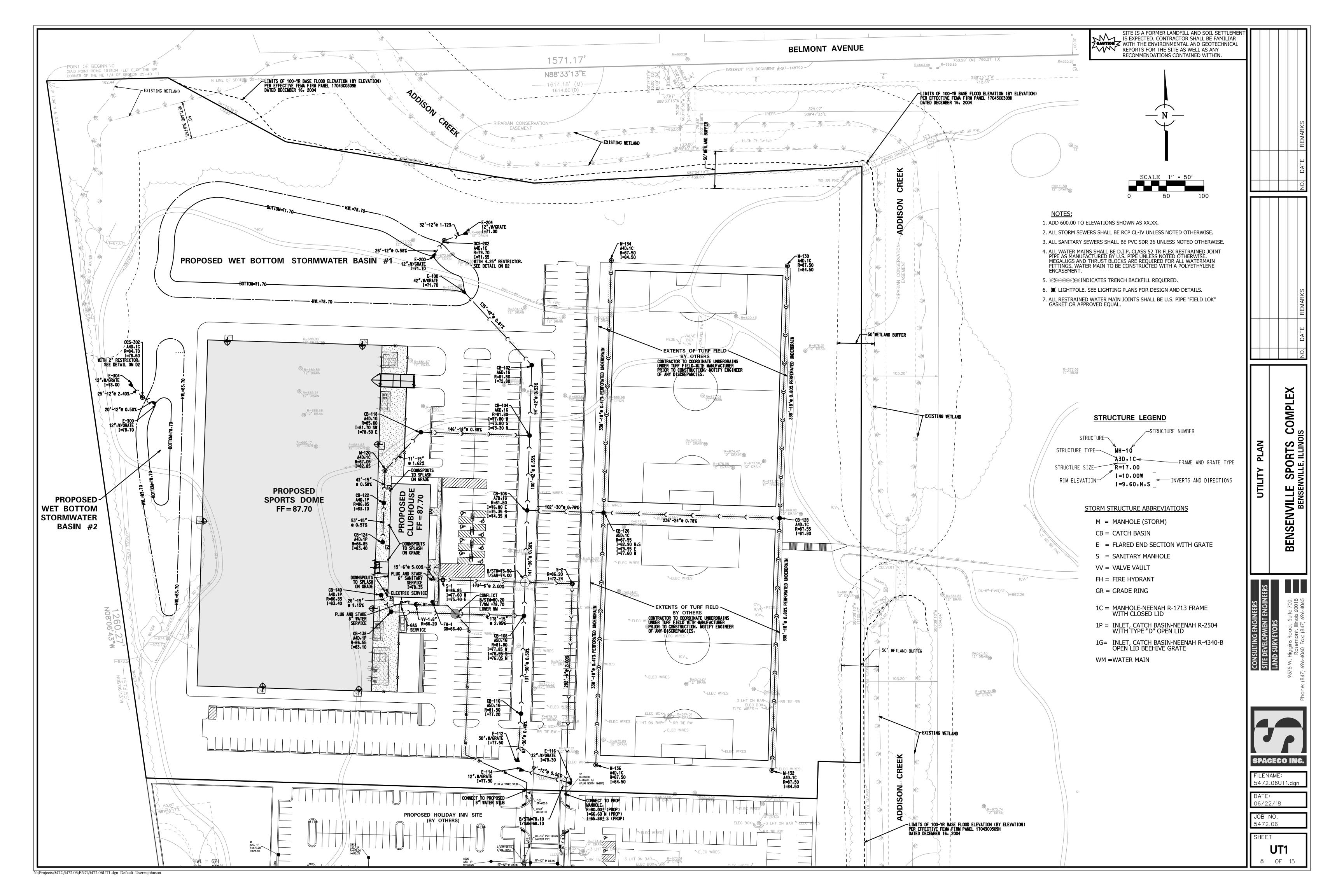


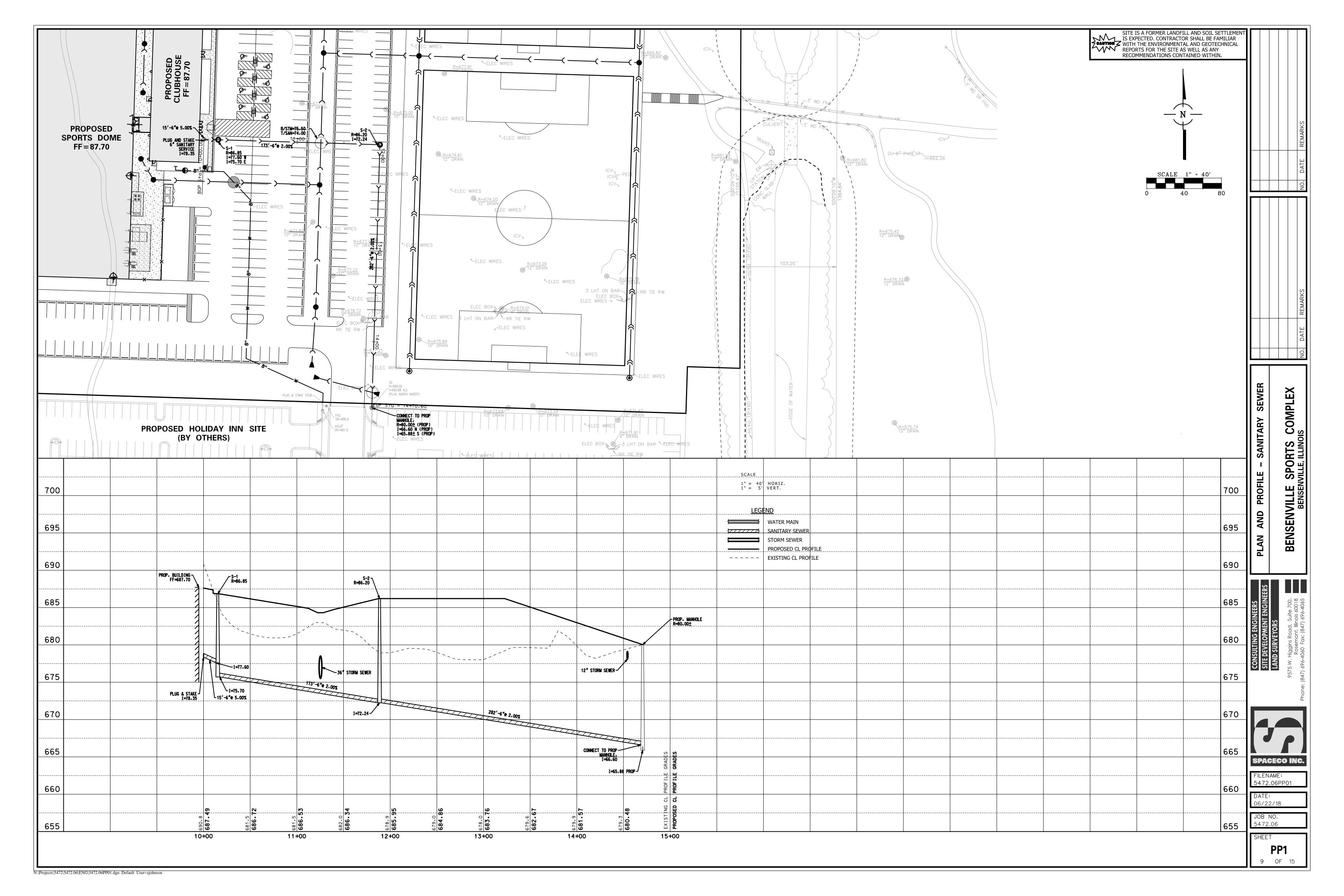












This Soil Erosion & Sediment Control (SESC) Plan has been prepared to fulfill one of the requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit No. ILR10 \_\_\_\_\_\_ SESC Plan should be maintained on site as an integral component of the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, including the SESC Plan, should be amended whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on the potential for the discharge of pollutants to the Waters of the State and which has not otherwise been addressed in the SWPPP. The SWPPI shall also be amanded if it proves to be ineffective in eliminating or significantly minimizing pollutants, or in otherwise achieving the general objectives of controlling pollutants in storm water discharges associated with construction site activity. In addition, the SWPPP shall be amended to identify any new contractor and/or subcontractor that will implement a measure of the SWPPP.

- A. The following is a description of the nature of the construction activity: <u>Construction of a sports dome. club house</u> and sports fields with associated parking lot, utilities and grading improvements.
- 3. The following is a description of the intended sequence of construction activities which will disturb soils for major portions of the construction site:

### Describe proposed construction sequence, sample follows:

1) Install perimeter sediment control measures
a) Selective vegetation removal for silt fence installation
b) Silt fence installation

c) Construction fencing around areas not to be disturbed d) Stabilized construction entrance

2) Clear and grub (as necessary)
3) Construct sediment trapping devices (sediment traps, sediment basins, etc.)
4) Construct detention facilities and outlet control structure with restrictor & temporary

perforded riser

5) Strip topsoil, stockpile topsoil and grade site

6) Temporarily stabilize topsoil stockpiles (seed and silt fence around toe of slope)

7) Install storm sewer, sanitary sewer, watermain and associated inlet & outlet protection

8) Permanently stabilize detention basins with seed and erosion control blanket

9) Temporarily stabilize all areas including lots that have reached mass grade

10) Install roadways

11) Install roadways

11) Permanently stabilize all outlot areas 12) Install buildings and grade individual lots 13) Permanently stabilize lots

14) Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation

C. The site has a total acreage of approximately 19.98 acres. Construction activity will disturb approximately <u>17.30</u> acres of the site.

D. 1) An estimated runoff coefficient of the site after construction activities are completed is calculated per catchment area
 2) Existing data describing the soil or quality of any discharge from the site is included in preliminary soils exploration prepared by Testing Service Corporation, dated May 11, 2007.

Refer to Sheets <u>GR1.GR2. SE3</u> for a site plan indicating:
 1) drainage patterns;

- ) approximate slopes anticipated before and after major grading activities; locations where vehicles enter or exit the site and controls to minimize off-site sediment tracking;
- 4) areas of soil disturbance; 5) the location of major structural and nonstructural controls;
  6) the location of areas where stabilization practices are expected to occur;
- ') surface waters (including wetlands); and,
- 8) locations where storm water is discharged to a surface water.
- F. 1) The name of the receiving water(s) is(are):

  Addison Creek.

  Des Plaines River.

  The extent of wetland acreage at the site is

  1.78 acres.
- G. Potential sources of pollution associated with this construction activity may include:

### sediment from disturbed soils - portable sanitary stations

- fuel tanks – staging areas waste containers

chemical storage areas oil or other petroleum products

– raw materials (e.g., bagged portland cement)

- construction debris landscape waste concrete and concrete trucks

This section of the SESC Plan addresses the various controls that should be implemented for each of the major construction activities described in the "Site Description" section. For each measure identified in the SWPPP, the contractor(s) or subcontractor(s) that will implement the measure should be identified. All contractors and subcontractors that are identified should be required to sign a copy of the certification statement from Part IV.F. of the ILR10 Permit (in accordance with Part VI.G. - Signatory Requirements, of the ILR10 Permit). All signed certification statements should be maintained in the SWPPP.

The management practices, controls and other provisions contained in the SWPPP should be at least as protective as the requirements contained in the Illinois Environmental Protection Agency's (IEPA) and the United States Department of Agriculture's Natural Resource Conservation Service Illinois Urban Manual, 2012. Requirements permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of a Notice of Intent (NOI) to be authorized to discharge under the ILR10 permit, incorporated by reference and are enforceable under the ILR10 permit even if they are not specifically included in a SWPPP required under the ILR10 permit. This provision does not apply to provisions of master plans, comprehensive plans, non-enforceable guidelines or technical guidance documents that are not identified in a specific plan or permit that is issued for the

The soil erosion and sediment control measures for this site should meet the requirements of the following agencies:

B. Control Implementation Schedule

Rest Management Practices will be implemented on an as-needed basis to protect water quality. Perimeter controls of the site should be installed prior to soil disturbance (excluding soil disturbance necessary to install the controls). including demolition activities. Perimeter controls, including the silt fence, should be actively maintained until final stabilization of those portions of the site upward of the perimeter control. Stabilized construction entrance(s) and sediment traps should be installed as described in the intended sequence of construction activities. The contractor is responsible for the adequate protection (including sediment control) of existing sewers and sewer structures during construction operations. As necessary, the appropriate sediment control measure should be installed prior to land disturbing activities.

Stabilization measures should be initiated where construction activities have temporarily or permanently ceased, in accordance with Local and State requirements, as described below. Once construction activity in an area has permanently ceased, that area should be permanently stabilized. Temporary perimeter controls should be removed after final stabilization of those portions of the site upward of the perimeter control.

C. Erosion and Sediment Controls

The appropriate soil erosion and sediment controls should be implemented on site and should be modified to reflect the current phase of construction. All temporary sediment and erosion control measures should be repaired or replaced as soon as practicable to maintain NPDES compliance. Permittee or an authorized agent is responsible for inspecting all sediment and erosion control measures at a minimum of every 7 calendar days and within 24 hours, or one working day, of the end of a 0.5-inch (or greater) rain events

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices should be installed to the Standard Practice. The contractor is responsible for the installation of any additional erosion and sediment control measures necessary to minimize erosion and sedimentation as determined by the Engineer or Primary Contact.

1) Stabilization Practices - Areas that will not be paved or covered with non-erosive material should be stabilized using procedures in substantial conformance with the Illinois Urban Manual. This SESC Plan includes site-specific soil erosion and sediment control measures. Additional erosion controls should be implemented as necessary, as determined by the Engineer or Primary Contact.

The following temporary and permanent stabilization practices, at a minimum, are proposed:

The installation of the following devices may be subject to Section 404 of the Clean Water Act:

### - permanent seedir temporary seedingerosion control

Site-specific scheduling of the implementation of these practices is included in the Soil Protection Chart. A record of the dates when major grading activities occur, when construction activities cease on a portion of the site, and when stabilization measures are initiated should be included in the SWPPP.

Stabilization of disturbed areas must be initiated within 1 working day of permanent or temporary cessation of earth activities and shall be completed as soon as possible but not later than 14 days from the initialization of stabilization work in an area. Exceptions to these time frames are specified below.

a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.

b. On areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method can be used. Temporary stabilization techniques and materials shall conform to the SWPPP. ) Structural Practices - Provided below is a description of structural practices that should be implemented, to the degree attainable to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Structural practices should be placed on upland soils to the degree practicable.

# - stabilized construction entrance

- storm sewers

Provided below is a description of measures that will be installed during the construction process to control the pollutants in storm water discharges that will occur after the construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

1) The practices selected for implementation were determined on the basis of technical guidance contained in IEPA's Illinois Urban Manual, Federal, State, and/or Local Requirements. The storm water management

## detention basins (native plantings)

2) Velocity dissipation devices, such as rip-rap aprons at flared end sections or level spreaders, shall be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erosive velocity flow from the structure to a watercourse so that the natural, physical, and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydroperiod and hydrodynamics present prior to the initiation of construction activities).

Solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed of off site by the contractor. The contractor is responsible to acquire the permit required for such disposal. Burning on site will not be permitted. No solid materials, including building materials, shall be discharged to Waters of the State, except as authorized by a Section 404 permit. All waste materials should be collected and stored in approved receptacles. No wastes should be placed in any location other than in the approved containers appropriate for the materials being discarded. There should be no liquid wastes deposited into dumpsters or other containers which may leak. Receptacles with deficiencies should be replaced as soon as possible and the appropriate clean-up procedure should take place, if necessary. Construction waste material is not to be buried on site. Waste disposal should comply with all Local, State, and Federal regulations.

On-site hazardous material storage should be minimized and stored in labeled, separate receptacles from non-hazardous waste. All hazardous waste should be disposed of in the manner specified by Local or State regulation or by the manufacturer.

### F. Concrete Waste Management

Concrete waste or washout should not be allowed in the street or allowed to reach a storm water drainage system or watercourse. When practicable, a sign should be posted at each location to identify the washout. To the extent practicable, concrete washout areas should be located a reasonable distance from a storm water drainage inlet or watercourse, and should be located at least 10 feet behind the curb, if the washout area is adjacent to a paved road. A stabilized entrance that meets Illinois Urban Manual standards should be installed at each washout area.

The containment facilities should be of sufficient volume to completely contain all liquid and concrete waste materials including enough capacity for anticipated levels of rainwater. The dried concrete waste material should be picked up and disposed of properly when 66% capacity is reached. Hardened concrete can be properly recycled and used again on site (as approved by the Engineer) or hauled off site to an appropriate landfill

Concrete waste management should be implemented to contain and dispose of saw-cutting slurries. Concrete cutting should not take place during or immediately after a rainfall event. Waste generated from concrete cutting should be cleaned—up and disposed into the concrete washout facility as described above.

regulatory floodplain, away from any natural or created watercourse, pond, drainage-way or storm drain. Controls should be installed to minimize the potential of runoff from the storage area(s) from reaching storm drains or water courses. Vehicle maintenance (including both routine maintenance as well as on-site repairs) should be made within a designated area(s) to prevent the migration of mechanical fluids (oil, antifreeze, etc.) into watercourses, wetlands or storm drains. Drip pans or absorbent pads should be used for all vehicle and equipment maintenance activities that involve grease, oil, solvents, or other vehicle fluids. Construction ehicles should be inspected frequently to identify any leaks; leaks should be repaired immediately or the vehicle should be removed from site. Dispose of all used oil, antifreeze, solvents and other vehicle-related chemicals in accordance with United States Environmental Protection Agency (USEPA) and IEPA regulations and per Material Safety Data Sheet (MSDS) and/or manufacturer instructions. Contractors should immediately report spills to the Primary Contact.

Materials and/or contaminants should be stored in a manner that minimizes the potential to discharge into storm drains or watercourses. An on-site area should be designated for material delivery and storage. All materials kept on site should be stored in their original containers with legible labels, and if possible, under a roof or other enclosure. Labels should be replaced if damaged or difficult to read. Bermed-off storage areas are an acceptable control measure to prevent contamination of storm water. MSDS should be available for referencing clean-up procedures. Any release of chemicals/contaminants should be immediately cleaned up and disposed of properly. Contractors should immediately report all spills to the Primary Contact, who should notify the appropriate agencies if procedure.

kept in original containers unless they are not re-sealable. The original labels and MSDS should be retained on site at all times. Hazardous materials and all other material on site should be stored in accordance with manufacturer or MSDS specifications. When disposing of hazardous materials, follow manufacturer or Local and State recommended methods.

The following good housekeeping practices should be followed on site during the construction

- An effort should be made to store only enough product required to do the job.
- All materials stored on site should be stored in a neat, orderly manner in their appropriate containers and adequately protected from the environment.
- Products should be kept in their original containers with the original manufacturer's label.
- $\cdot$  Substances should not be mixed with one another unless recommended by the manufacturer.
- · Operations should be observed as necessary to ensure proper use and disposal of materials
- Whenever possible, all of a product should be used up before disposing of the container.
- Manufacturer's recommendations for proper use and disposal should be followed. J. Management of Portable Sanitary Stations

To the extent practicable, portable sanitary stations should be located in an area that does not drain to any protected natural areas, Waters of the State, or storm water structures and should be anchored to the ground to prevent from tipping over. Portable sanitary stations located on impervious surfaces should be placed on top of a secondary containment device, or be surrounded by a control device (e.g., gravel-bag berm). The contractor should not create or allow unsanitary conditions. Sanitary waste should be disposed of in accordance with applicable State and/or Local regulations.

K. Spill Prevention and Clean-Up Procedures

Manufacturer's recommended methods for spill clean-up should be available and site personnel should be made aware of the procedures and the location of the information and clean-up supplies. Materials and equipment necessary for spill clean—up should be kept in the material storage area on site. Equipment and materials should include, but are not limited to, brooms, dust pans, mops, rags, gloves goggles, kitty litter, sand, sawdust and plastic and/or metal trash containers specifically for this purpose.

Discharges of a hazardous substance or oil caused by a spill (e.g., a spill of oil into a separate storm sewer or Waters of the State) are not authorized by the ILR10 permit. If a spill occurs, notify the Primary Contact immediately. The construction site should have the capacity to control, contain, and remove spills, if they occur. Spills should be cleaned up immediately (after discovery) in accordance with MSDS and should not be buried on site or washed into storm sewer drainage inlets, drainage-ways, or Waters of the State.

Spills in excess of Federal Reportable Quantities (as established under 40 CFR Parts 110, 117, or 302), should

be reported to the National Response Center by calling (800) 424-8802. MSDS often include information on Federal Reportable Quantities for materials. Spills of toxic or hazardous materials should be reported to the appropriate State or Local government agency, as required. When cleaning up a spill, the area should be kept well ventilated and appropriat personal protective equipment should be used to minimize injury from contact with a hazardous substance.

In addition to the good housekeeping and other management practices discussed in the previous sections of these Notes, the following minimum practices should be followed to reduce the risk of spills: - On-site vehicles should be monitored for leaks and should receive regular preventative maintenance to reduce the

Petroleum products should be stored in tightly sealed and clearly labeled containers.

Contractors should follow the manufacturer's recommendations for proper use, storage, and disposal of materials. Excess materials should be disposed of according to the manufacturer's instructions or State and Local regulations, and should not be discharged to the storm sewer or waterbody.

# L. De-Watering Operations

During de-watering/pumping operations, only uncontaminated water should be allowed to discharge to protected natural areas, Waters of the State, or to a storm sewer system (in accordance with Local permits). Inlet hoses should be placed in a stabilized sump pit or floated at the surface of the water in order to limit the amount of sediment intake. Pumping operations may be discharged to a stabilized area that consists of an energy dissipating device (e.g., stone), sediment filter bag, or both. Adequate erosion controls should be used during de-watering operations as necessary. Stabilized conveyance channels should be installed to direct water to the desired location as applicable Additional control measures may be installed at the outlet area at the discretion of the Primary Contact or Engineer.

M. Off-Site Vehicle Tracking The site should have one or more stabilized construction entrances in conformance with the Plan details. Stabilized construction entrance(s) should be installed to help reduce vehicle tracking of sediments. Streets should be swept as needed to reduce excess sediment, dirt, or stone tracked from the site. Maintenance may include

### needed. Vehicles hauling erodible material to and from the construction site should be covered with a tarp. N. Topsoil Stockpile Management

If topsoil is to be stockpiled at the site, select a location so that it will not erode, block drainage, or interfere with work on site. Topsoil stockpiles should not be located in the 100-year floodplain or designated buffer protecting Waters of the State. During construction of the project, soil stockpiles should be stabilized or protected with sediment trapping measures. Perimeter controls, such as silt fence, should be placed around the stockpile immediately. Stabilization of the stockpile should be completed if the stockpile is to remain undisturbed for longer than fourteen days.

top dressing the stabilized entrance with additional stone and removing top layers of stone and sediment, as

Oust control should be implemented on site as necessary. Repetitive treatment should be applied as needed to accomplish control when temporary dust control measures are used. A water truck should be present on site (or available) for sprinkling/irrigation to limit the amount of dust leaving the site. Watering should be applied daily (or more frequently) to be effective. Caution should be used not to overwater, as that may cause

f field observations indicate that additional protection from wind erosion (in addition to, or in place of watering) is necessary, alternative dust suppressant controls should be implemented at the discretion and approval of the Engineer and/or Primary Contact.

Street cleaning should also be used as necessary to control dust. Paved areas that have soil on them from the construction site should be cleaned as needed, utilizing a street sweeper or bucket-type endloader or scraper at the direction of the Engineer and/or Primary Contact.

aintenance of the controls incorporated into this project should be performed as needed to assure their continued ffectiveness. This includes prompt and effective repair and/or replacement of deficient control measures. The following is a description of procedures that should be used to maintain, in good and effective operating condition, erosion and sediment control measures and other protective measures identified in the SESC Plan and Standard

Dust control: When temporary dust control measures are used, repetitive treatment should be applied as needed to

ediment filter bags: Sediment filter bags should be installed on pump outlet hoses that discharge off site or to sensitive on-site areas, and should be placed in an area that allows for the bag to be removed without producing a sediment discharge. The bags should be inspected frequently and repaired or replaced as needed.

Silt fence: Silt fences should be inspected regularly for undercutting where the fence meets the ground, overtopping and tears along the length of the fence. Deficiencies should be repaired immediately. Remove accumulated sediments from the fence base when the sediment reaches one-half the fence height. During final stabilization, properly dispose of any sediment that has accumulated on the silt fence. Alternative sediment control measures should be considered

Stabilized construction entrance: The stabilized construction entrances should be maintained to prevent tracking of sediment onto public streets. Maintenance includes top dressing with additional stone and removing top layers of stone and sediment. The sediment tracked onto the public right-of-way should be removed immediately. emporary sediment traps: Temporary sediment traps should be inspected after each period of significant rainfall

Remove sediment and restore the trap to its original dimensions when the sediment has accumulated to one-half the design depth of the permanent pool. Place the sediment that is removed in a designated disposal area. Check the structure for damage from erosion or piping. After all sediment-producing areas have been permanently stabilized, remove the structure and all unstable sediment. Grade the area to blend with the adjoining areas and stabilize properly.

e Permittee (or their authorized representative) will be responsible for conducting site inspections n compliance with the ILR10 NPDES Permit. After each inspection, a report should be prepared by the qualified personnel who performed the inspection. The inspection report should be maintained on site

nspections should be conducted at least once every seven calendar days and within 24 hours or by the end of the following work day, of the end of a storm event that is 0.5 inches or greater, or equivalent snowfall. nspections may be reduced to once per month when construction activities have ceased due to frozen conditions. Weekly inspections will recommence when construction activites are conducted, or if there is 0.5" or greater rain

Each inspection should include the following components:

event, or a discharge due to snowmelt occurs.

 Disturbed areas and areas used for the storage of materials that are exposed to precipitation should be inspected for evidence of, or the potential for, pollutants entering the drainage system. The erosion and sediment control measures identified in the SWPPP should be observed to ensure that they have been installed and are operating correctly. Where discharge points are accessible, they should be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to the receiving waters. Locations where vehicles enter or exit the site should be inspected for off-site sediment tracking. All pumping operations and other potential non-storm water discharge sources should also be inspected.

Based on the results of the inspection, the description of potential pollutant sources identified, and the pollution prevention measures described in the SWPPP should be revised, as appropriate, as soon as practicable after the inspection. The modifications, if any, shall provide for timely implementation of any changes to the SWPPP within 7 calendar days following the inspection.

C. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the SWPPP, and actions taken in accordance with paragraph B. above should be made and retained as part of the SWPPP for at least three years from the date that permit coverage expires or is terminated The report shall be signed in accordance with Part VI.G. (Signatory Requirements) of the ILR10 NPDES Permit.

The Permittee shall notify the appropriate agency field operations section office by e-mail at: passwnoncomp@illinois.gov , telephone or fax within 24 hours of any incidence of noncompliance for any iolation of the storm water pollution prevention plan observed during any inspection conducted or for iolation of any condition of this permit. The Permittee should complete and submit within 5 days an Incidence of Non-Compliance" (ION) report for any violation of the SWPPP observed during an inspection conducted, including those not required by the SWPPP. Submission should be on forms provided by IEPA ınd include specific information on the cause of non-compliance, actions which were taken to prevent any further causes of non-compliance, and a statement detailing any environmental impact, which may have resulted

. All reports of non-compliance shall be signed by a responsible authority as defined in Part VI.G.

After the initial contact has been made within the appropriate agency field operations section office, ll reports of non-compliance shall be mailed to IEPA at the following address: Ilinois Environmental Protection Agency

compliance Assurance Section 021 North Grand Avenue East

NON-STORM WATER DISCHARGES

ost Office Box 19276 Springfield, Illinois 62794-9276

ivision of Water Pollution Control

Except for flows from fire fighting activities, possible sources of non-storm water that may be combined with storm water discharges associated with the proposed activity, are described below:

- Water used to wash vehicles where detergents are not used
- Water used to control dust Potable water sources including uncontaminated waterline flushings
- Landscape irrigation drainages Routine external building washdown which does not use detergents Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred (unless spilled materials have been removed) and where detergents have not been used.
- Uncontaminated air conditioning condensate
- Uncontaminated ground water Foundation or footing drains where flows are not contaminated with process materials such as solvents
- PROHIBITED NON-STORMWATER DISCHARGES
- Concrete and wastewater from washout of concrete (unless managed by an appropriate control)
- Wastewater from washout and cleanout of stucco, paint Form release oils Curing compounds and other construction materials
- Fuels, oils, or other pollutants used in vehicle or equipment operation and maintenance Soaps, solvents, or detergents Toxic or hazardous substances from a spill or other release
- Any other pollutant that could cause or tend to cause water pollution ollution prevention measures should be implemented for non—storm water components of the discharge.
- WIDTH OF | WIDTH OF INLET PIPE | LENGTH OF RIPRAP APRON APRON NAME OR SIZE APRON GRADATION RIPRAP NUMBER U/S FACE | D/S FACE L (FT) d (IN) (IN) 3d (FT) | 3d+L (FT) 28 E100 RR-5 10.5 36.5 E200 RR-312 13 15 E204 12 RR-313 15 E300 RR-312 13 15 E304 12 RR-313 15 10

STABILIZATION TYPE	JAN.	FEB.	MAR.	APR.	MAY	JUNE	JULY	AUG.	SEPT.	OCT.	NOV.	DEC
PERMANENT SEED ING			+ <u>A</u>			*	*					
DORMANT SEED ING	В		-								+ <u>B</u>	
TEMPORARY SEED ING			+ <u>c</u>			_	D		_			
SODDING			+E**									
MULCHING -	F											
MOLCHING												

A KENTUCKY BLUEGRASS 90 LBS/ACRI MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE.

B KENTUCKY BLUEGRASS 135 LBS/ACRE

C SPRING DATS 100 LBS/ACRE D WHEAT OR CEREAL RYE 150 LBS/ACRE.

E SOD MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + STRAW MULCH 2 TONS/ACRE. F STRAW MULCH 2 TONS/ACRE.

\* IRRIGATION NEEDED DURING JUNE AND JULY.

\*\* IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

SOIL PROTECTION CHART

# RIGID PERFORATED PVC STAND PIPE— WRAPPED WITH NON-WOVEN FILTER FABRIC WRAPPED WITH MESH (CHICKEN WIRE OR HARDWARE CLOTH) STAND PIPE ONE SIZE SMALLER THAN OUTLET PIPE TRASH RACK PROVIDE STONE RIP-RAP -PROPOSED OUTLET STORM SEWER--CONCRETE BLOCK MORTAR IN PLACE-

I. THE PERFORATED RISER SHALL BE PROVIDED AS PART OF THE SEDIMENT AND

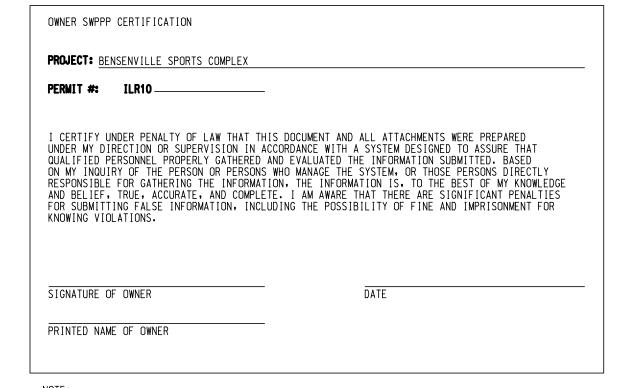
EROSION CONTROL MEASURES DURING CONSTRUCTION AND IN CONJUCTION WITH THE

PLAN CODE:

CONSTRUCTION OF THE DETENTION BASIN. 2. WHEN THE DETENTION BASIN AND UPSTREAM TRIBUTARY DRAINAGE AREAS ARE REVEGETATED, AND WHEN DIRECTED BY THE ENGINEER, THE PERFORATED RISER SHALL BE REMOVED AND THE BASIN OUTFALL STRUCTURES SHALL BE CONSTRUCTED AND THE GRADING RESTORED IN



ALL CONTRACTORS PERFORMING WORK ON THIS SITE ARE REQUIRED TO SIGN A CONTRACTOR CERTIFICATION STATEMENT AS ILLUSTRATED ABOVE. THE SIGNED STATEMENTS WILL BE MAINTAINED ON THE SITE WITH THE



THE CERTIFICATION ILLUSTRATED ABOVE SHALL BE SIGNED BY THE OWNER LISTED ON THE NOTICE OF INTENT IN ACCORDANCE WITH PART VI.G. OF THE ILR10 NPDES PERMIT. THE SIGNED STATEMENT SHALL BE MAINTAINED ON THE SITE WITH THE SWPPP.

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AND

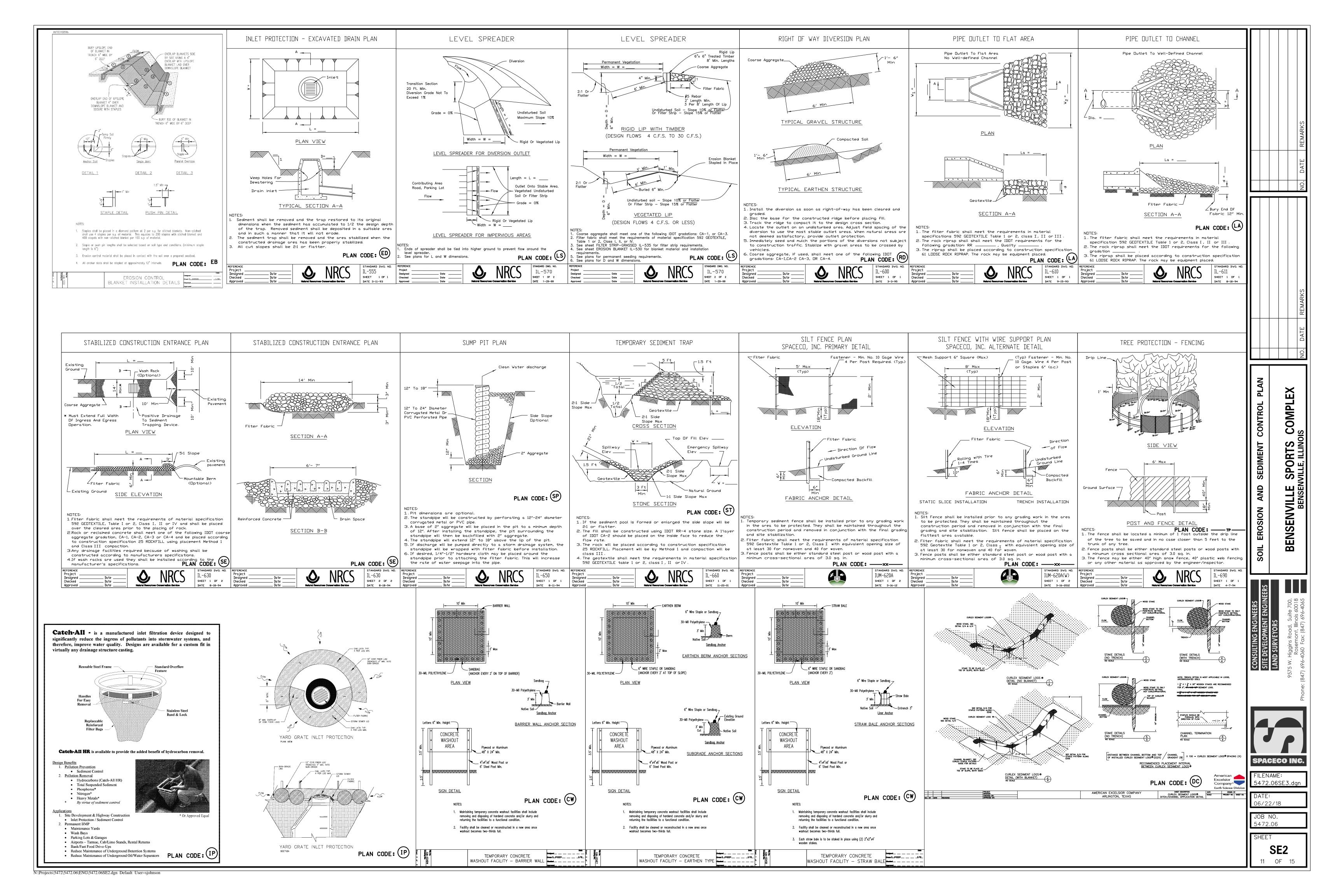
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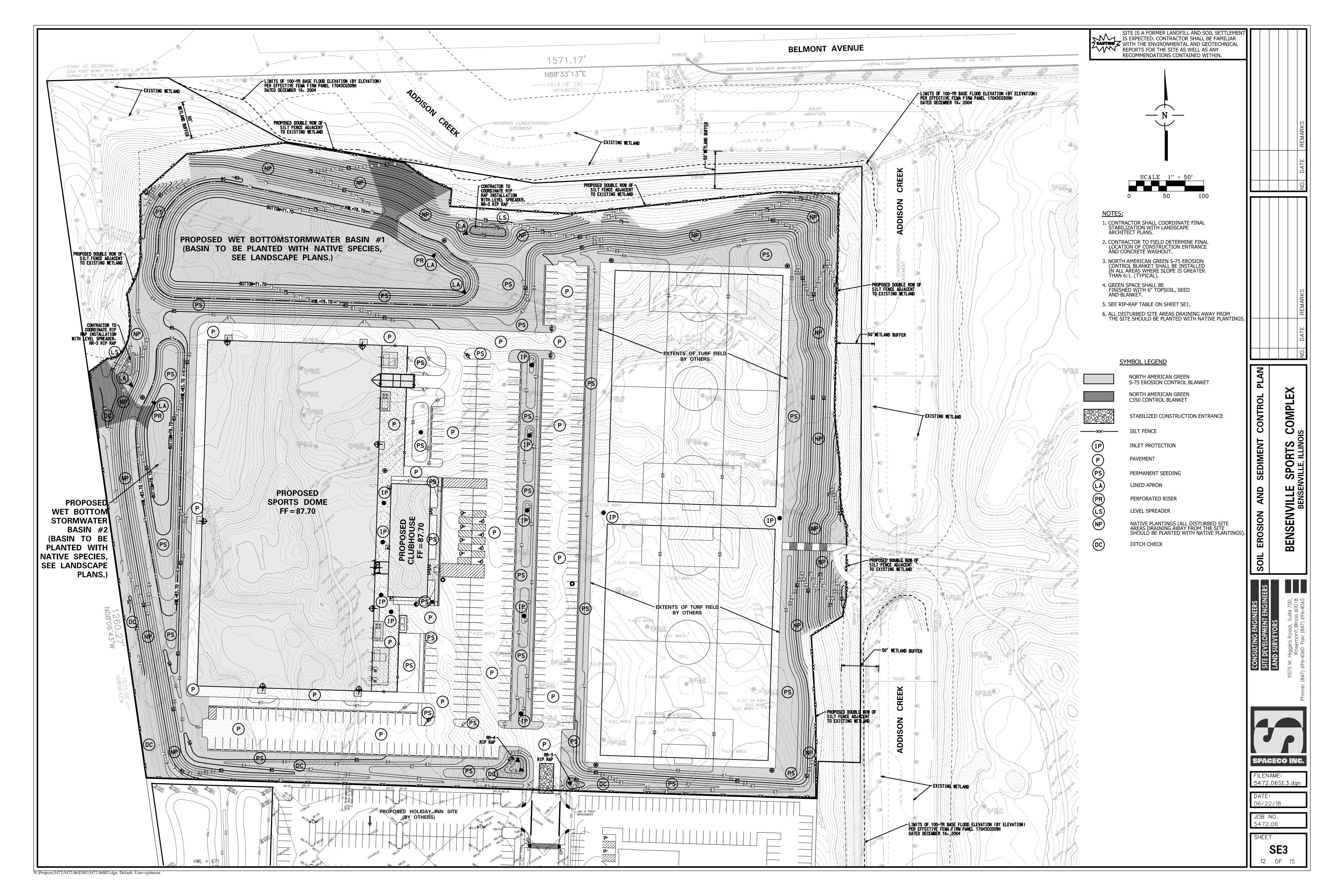
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SANITARY SEWER NOTES

SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 26 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3212 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 21 CONFORMING TO ASTM D-2241 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.

SANITARY SEWER PIPE 18" AND LARGER, WHERE NOTED ON THE PLANS, OR WHERE THE IEPA MINIMUM SEPARATION CANNOT BE MAINTAINED. SHALL BE ONE OF THE FOLLOWING:

PIP: DUCTILE IRON WATERMAIN QUALITY PIPE, CLASS 52, (ANSI A-21.51) WITH MECHANICAL OR O-RING

PVC: PRESSURE RATED PVC PIPE MEETING ASTM D-2241 WITH ASTM D-3139 GASKETED JOINT, SDR 26 "BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS.
"BAND-SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON ANY SEWER MAIN.

ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER.

CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY.

WATERMAINS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAIN" SECTION.

NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES:

a) PERMISSION SHALL BE OBTAINED FROM THE MUNICIPAL ENGINEERING DEPARTMENT IN WRITING PRIOR TO

b) THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18" ABOVE THE TOP OF THE SEWER AND 18" HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.

BEDDING SHALL CONSIST OF A MINIMUM OF FOUR (4") INCHES OF COMPACTED CRUSHED GRAVEL OR STONE,

1/4 " -3/4 " IN SIZE. THE SEWER SHALL HAVE MECHANICALLY TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP

OF THE PIPE TO A MINIMUM OF TWELVE (12") INCHES FOR PVC PIPE AND TO THE SPRING LINE FOR DIP. THE BEDDING AND

COVER MATERIAL SHALL BE ASTM D-2321 CLASS II FOR PVC PIPE AND ASTM D-448 SIZE 67 FOR DIP PIPE. THE COST OF

ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CA-6 CRUSHED GRAVEL OR STONE.

ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF FIVE (5') FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6) AND THOROUGHLY MECHANICALLY COMPACTED IN 9" THICK (LOOSE MEASUREMENT) LAYERS, JETTING WITH WATER IS NOT PERMITTED. REFER TO THE TRENCH BACKFILL LIMITS DETAIL.

SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D. PRECAST CONCRETE SECTIONS CONFORMING TO ASTM D-478 WITH PREFORMED BITUMINOUS OR "O" RING JOINTS, IN ACCORDANCE WITH MUNICIPAL REGULATIONS, AND HAVE AN ECCENTRIC CONE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE AT 16" O.C. SIMILAR TO NEENAH R-1980.

ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.

FRAMES AND LIDS:

ALL SANITARY SEWER MANHOLE FRAMES AND LIDS SHALL BE NEENAH R-1712 UNLESS OTHERWISE
NOTED ON THE PLANS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH AN "O"
RING GASKET. THE LIDS SHALL HAVE THE WORDS "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.

B. A MAXIMUM OF EIGHT (8) INCHES OF CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.

5. DROP MANHOLE ASSEMBLIES:

DROP MANHOLE ASSEMBLIES: DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2'), OR AS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL SECTION.

6. CLEANING:

ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.

A. DEFLECTION AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE AS SPECIFIED IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", OR MUNICIPAL CODES. IN THE EVENT OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE MUNICIPAL CODE THE MUNICIPAL CODE SHALL GOVERN. THE FULL LENGTH OF THE SANITARY SEWER IS REQUIRED TO BE BOTH AIR TESTED AND

B. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH MUNICIPAL CODE.

C. TESTING OF MANHOLES TO BE IN ACCORDANCE WITH ASTM C-969.

TELEVISING:

ALL SANITARY SEWERS SHALL BE TELEVISED AND A COPY OF THE TAPE /DVD AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE OWNER OR MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERBALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEO TAPES/DVDS.

9. TEST RESULTS:

IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.

10. CERTIFICATION:

CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES OF PLASTIC PIPE BY PARALLEL PLATE LOADING", ASTM STANDARDS D-2412 OR D-2241 AS APPROPRIATE FOR THE PIPE TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.

11. RECORD DRAWINGS:

THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) INCLUDING SERVICE STUB LOCATIONS, TO SPACECO. SPACECO SHALL PREPARE RECORD DRAWINGS AND SUBMIT TO APPROPRIATE PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES.

# STORM SEWER NOTES

1. GENERAL:

ALSO ACCEPTABLE

IN PIPE MATERIAL SHALL BE MADE AT A STRUCTURE.

A. ALL STORM SEWER PIPE SHALL BE RCP, UNLESS OTHERWISE NOTED ON THE PLANS, IN ACCORDANCE WITH THE FOLLOWING:

RCP: REINFORCED CONCRETE PIPE (ASTM C-76) WITH O-RING GASKETED JOINTS, (ASTM C-443); TYPE 1, CLASS IV, PER SSRBC SECTION 603, ELLIPTICAL RCCP PIPE SHALL BE TYPE 1, HE-III PER SSRBC SECTION 511, PRECAST FLARED END SECTIONS MAY HAVE MASTIC JOINTS. PAYMENTS SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAR FOOT OF STORM SEWER COMPLETE IN PLACE. DIP: DUCTILE IRON WATERMAIN QUALITY PIPE CLASS 52 (ANSI 21.51) WITH MECHANICAL OR PUSH-ON JOINTS (ANSI 21.11).

PVC: POLYVINYL CHLORIDE SEWER PIPE, SDR 26, CONFORMING TO ASTM D-3034 WITH ASTM D-3212 PUSH-ON GASKETED JOINTS. HDPE: HIGH DENSITY POLYETHYLENE CORRUGATED PIPE WITH SMOOTH INTERIOR MEETING AASHTO M-294 SUCH AS ADS N-12 BY ADVANCED DRAINAGE SYSTEM, COLUMBUS, OH: OR HI-Q BY HANCOR, FINDLEY, OH. JOINTS SHALL BE SPLIT CORRUGATED BANDS BY THE PIPE MANUFACTURER. UD: RIGID, PERFORATED PVC UNDERDRAIN PIPE (ASTM D-2729), SDR 35, OR SCHEDULE 40, WITH

"BAND SEAL" OR SIMILAR COUPLINGS SHALL BE USED WHEN JOINING SEWER PIPES OF DISSIMILAR MATERIALS.
"BAND SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON SEWER MAINS. CHANGES

C. ALL STORM SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.

SOLVENT WELD JOINTS AND FILTER FABRIC WRAPPING OR SOCK. PERFORATED HDPE PIPE

ALL FOOTING DRAIN AND SUMP PUMP DISCHARGE PIPES SHALL BE CONNECTED TO THE STORM SEWER SYSTEM. DOWNSPOUTS SHALL DISCHARGE TO THE GROUND.

THE CONTRACTOR SHALL MAINTAIN AT LEAST THREE (3') FEET OF COVER OVER THE TOP OF SHALLOW PIPES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL MOUND OVER ANY PIPES WHICH HAVE LESS THAN THREE (3') FEET OF COVER DURING CONSTRUCTION UNTIL THE AREA IS FINAL GRADED OR PAVED.

ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING, 1/4" TO 3/4"
IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT
LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE
COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP
AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HOPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE, NO SEPERATE PAYMENT SHALL BE MADE FOR THIS.

STORM SEWER NOTES

3. STRUCTURES:

MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE, MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4' IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS, STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8") INCHES OF ADJUSTING RINGS SHALL BE USED.

B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.

C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS,

FRENCH DRAIN:

ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. E HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTI THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.

CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.

A. THE STORM SEWER SYSTEM SHALL BE TELEVISED IF REQUIRED BY MUNICIPALITY.

AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.

### WATERMAIN NOTES

WATERMAINS OR SERVICES 3" OR LARGER IN DIAMETER SHALL BE CONSTRUCTED OF BITUMINOUS COATED, CEMENT LINED DUCTILE IRON PIPE, CLASS 52, CONFORMING TO ANSI A-21.50 (AWWA C150) AND ANSI A-21.51 (AWWA C151). CEMENT MORTAR LINING SHALL CONFORM TO ANSI A-21.4 (AWWA C-104). THE JOINTS SHALL BE O-RING GASKETED PUSH-ON OR MECHANICAL JOINTS CONFORMING TO ANSI A-21.11 (AWWA C-111).

ALL FITTINGS SHALL BE CAST-IRON, WITH MECHANICAL JOINTS AND "MEGALUG" RETAINER GLANDS, AND CEMENT LINED PER ANSI A21.4. COST OF FITTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE PIPE.

ALL DUCTILE IRON WATERMAIN AND FITTINGS SHALL BE WRAPPED IN 8-MIL POLYETHYLENE WRAP. ALL MECHANICAL JOINT FITTINGS SHALL USE STAINLESS STEEL NUTS AND BOLTS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF WATERMAIN COMPLETE IN PLACE.

WATER SERVICE PIPE, 2" IN DIAMETER OR SMALLER, SHALL BE TYPE K COPPER WATER TUBING, CONFORMING TO ASTM B-88 AND B-251, WITH COMPRESSION OR FLARED JOINTS.

4. VALVES:

GATE VALVES SHALL BE USED ON ALL WATERMAIN 3" AND LARGER. ALL VALVES SHALL TURN COUNTER-CLOCKWISE TO OPEN. VALVES SHALL BE IRON BODY RESILIENT WEDGE GATE VALVES WITH BRONZE MOUNTED SEATS AND NON-RISING STEMS CONFORMING TO AWWA C-509. THE VALVES SHALL HAVE MECHANICAL JOINTS.

B. THE MECHANICAL JOINTS AND ALL FASTENERS ON THE VALVE BODY SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

VALVE VAULTS SHALL BE PRECAST CONCRETE STRUCTURES AS NOTED ON THE PLANS. THE FRAME AND LID SHALL BE NEENAH R-1712, OR EQUAL, WITH "WATER" EMBOSSED ON THE LID.

FIRE HYDRANTS SHALL CONFORM TO AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARD NO. C-502, LATEST REVISION, AND SHALL BE A MODEL SHOWN ON THE PLANS AND APPROVED BY THE MUNICIPALITY. FIRE HYDRANTS SHALL BE INSTALLED WITH AN AUXILIARY VALVE AND CAST IRON VALVE BOX. THE PUMPER CONNECTION SHALL FACE ROADWAY.

PROVIDE THE RODS FROM THE MAINLINE TEE TO THE AUXILIARY VALVE, AND BETWEEN THE AUXILIARY VALVE AND HYDRANT BARREL WHERE NOT BOLTED TOGETHER.

C. THE BREAK FLANGE AND ALL BELOW GRADE FITTINGS SHALL HAVE STAINLESS STEEL NUTS AND BOLTS.

7. CORPORATION STOPS:

CORPORATION STOPS SHALL BE BRONZE BODY KEY STOPS CONFORMING TO AWWA C-800, AND SHALL INCLUDE "J" BEND, TAIL PIECE, AND COMPRESSION FITTINGS. SIZE AND LOCATION AS SHOWN ON PLANS.

TAPPING SADDLES SPECIFICALLY DESIGNED FOR USE WITH PVC PIPE SHALL BE IN CONJUCTION WITH THE CORPORATION STOP.

8. SERVICE BOX:

PROVIDE CURB VALVE AND CURB BOX AS INDICATED ON THE PLANS. BOX SHALL BE EXTENSION TYPE WITH FOOT PIECE AND STATIONARY RODS FOR SIX (6') FEET OF BURY.

MAXIMUM DEFLECTION AT PIPE JOINTS SHALL BE IN ACCORDANCE WITH PIPE MANUFACTURER'S CURRENT

9. BEDDING:

ALL DUCTILE IRON WATERMAIN SHALL HAVE COARSE SAND BEDDING EXTENDED TO AT LEAST SIX INCHES (6")
ABOVE THE TOP OF THE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THIS PIPE. NO

GRANULAR BEDDING MATERIAL OR GRANULAR BACKFILL MATERIAL SHALL BE CAREFULLY PLACED TO 12" OVER THE TOP OF THE PIPE BEFORE FINAL BACKFILLING AND COMPACTION.

C. A MINIMUM DEPTH OF COVER OF 5'-6" SHALL BE MAINTAINED OVER THE WATER LINES. THE MAXIMUM COVER SHALL BE EIGHT (8') FEET EXCEPT AT SPECIAL CROSSINGS.

D. CONCRETE THRUST BLOCKING SHALL BE INSTALLED ON WATERMAIN AT ALL BENDS, TEE, ELBOWS, ETC.

10. IEPA WATERMAIN PROTECTION:

A. HORIZONTAL SEPARATION

a) WATERMAINS SHALL BE LAID AT LEAST TEN FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED DRAIN, STORM SEWER, SANITARY SEWER OR SEWER SERVICES CONNECTION. b) WATERMAINS MAY BE LAID CLOSER THAN TEN FEET TO A SEWER LINE WHEN LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF TEN FEET;

THE WATERMAIN INVERT IS AT LEAST 18 INCHES ABOVE THE CROWN OF THE SEWER; AND THE WATERMAIN IS EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON AN UNDISTURBED

EARTH SHELF LOCATED TO ONE SIDE OF THE SEWER.

c) BOTH THE WATERMAIN AND DRAIN OR SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN STANDARDS OF CONSTRUCTION WHEN IT IS IMPOSSIBLE TO MEET (a) OR (b) ABOVE. THE DRAIN OR SEWER SHALL BE PRESSURE TESTED TO THE MAXIMUM EXPECTED SURCHARGE HEAD BEFORE BACKFILLING.

B. VERTICAL SEPARATION

a) A WATERMAIN SHALL BE LAID SO THAT ITS INVERT IS 18 INCHES ABOVE THE CROWN OF THE DRAIN OR SEWER WHENEVER WATERMAINS CROSS STORM SEWERS. SANITARY SEWERS OR SEWER SERVICE CONNECTIONS. THE VERTICAL SEPARATION SHALL BE MAINTAINED FOR THAT PORTION OF THE WATERMAIN LOCATED WITHIN TEN FEET HORIZONTALLY OF ANY SEWER OR DRAIN CROSSED. A LENGTH OF WATERMAIN PIPE SHALL BE CENTERED OVER THE SEWER TO BE CROSSED WITH JOINTS EQUIDISTANCE FROM THE SEWER OR DRAIN. BOTH THE WATERMAINS AND SEWER SHALL BE CONSTRUCTED WITH PIPE EQUIVALENT TO WATERMAIN

IS IMPOSSIBLE TO OBTAIN THE PROPER VERTICAL SEPARATION AS DESCRIBED IN (a) ABOVE; OR

2) THE WATERMAIN PASSES UNDER A SEWER OR DRAIN.
c) A VERTICAL SEPARATION OF 18 INCHES BETWEEN THE INVERT OF THE SEWER OR DRAIN AND THE CROWN OF THE WATERMAIN SHALL BE MAINTAINED WHERE A WATERMAIN CROSSES UNDER SEWER. SUPPORT THE SEWER OR DRAIN LINES TO PREVENT SETTLING AND BREAKING THE WATER MAIN. CONSTRUCTION SHALL EXTEND ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FORM THE

WATERMAIN TO THE SEWER OR DRAIN LINE IS AT LEAST TEN FEET.

11. TESTING:

ALL WATERMAINS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA AND MUNICIPAL SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

B. CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AGAINST EXISTING WATER VALVES.

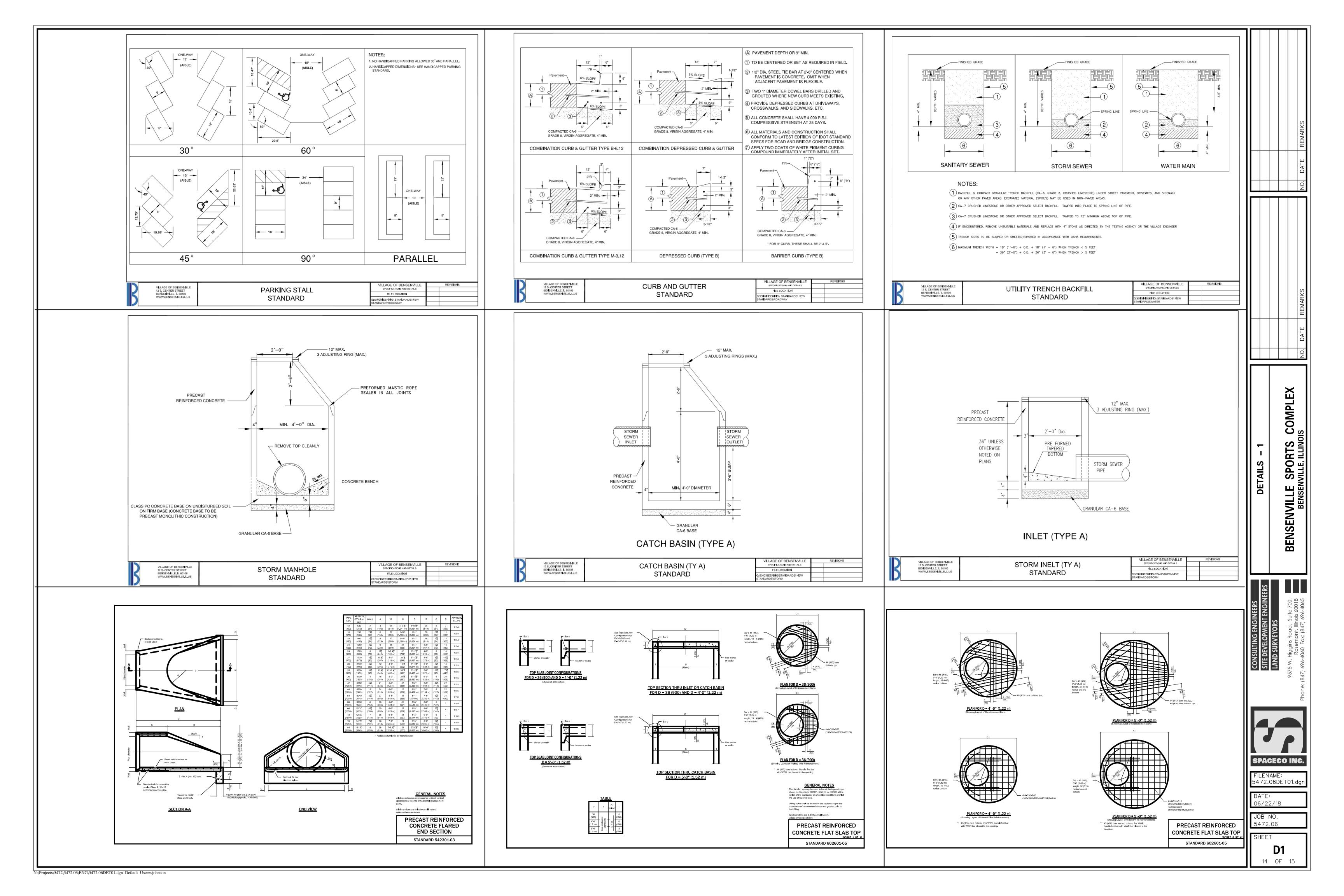
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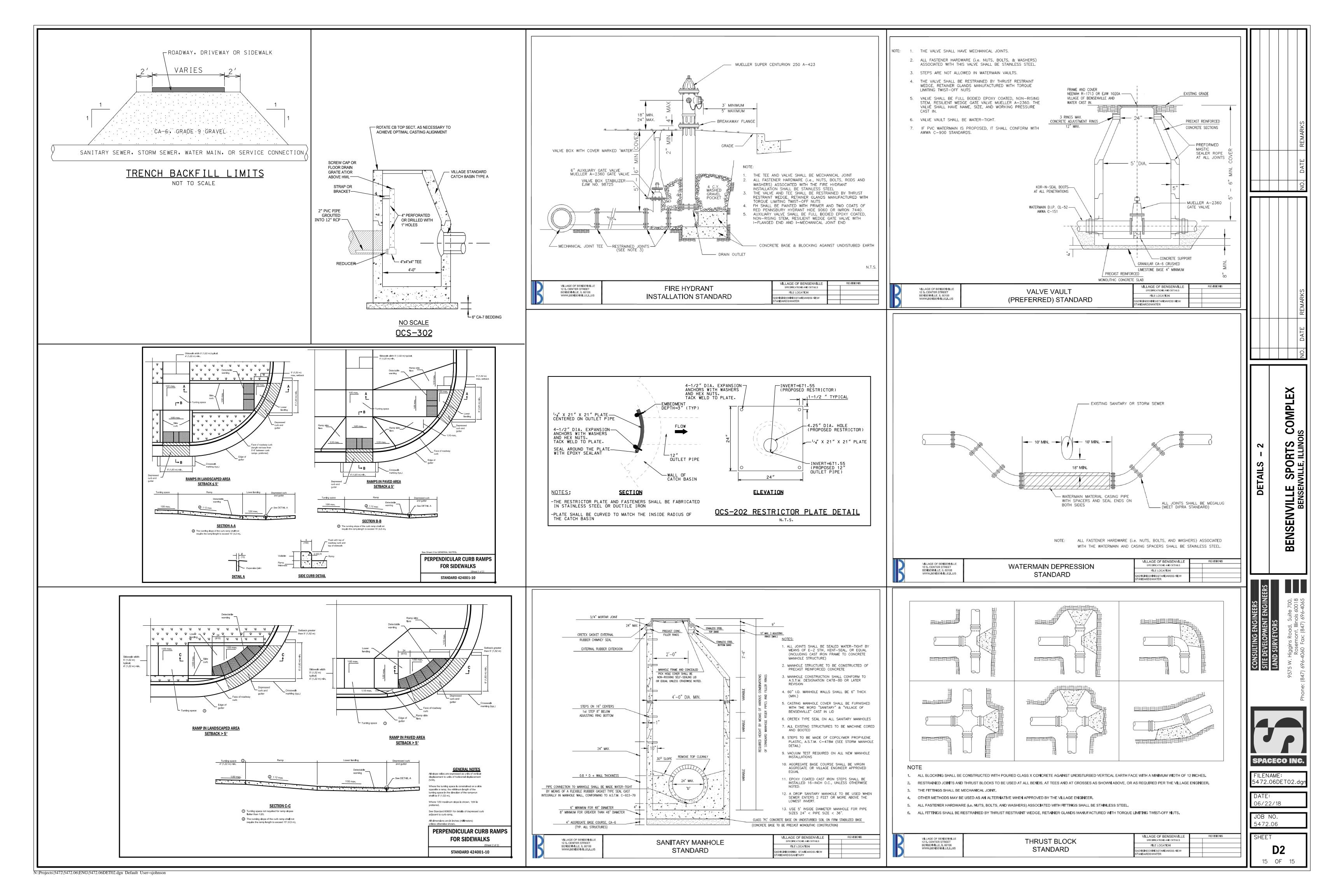


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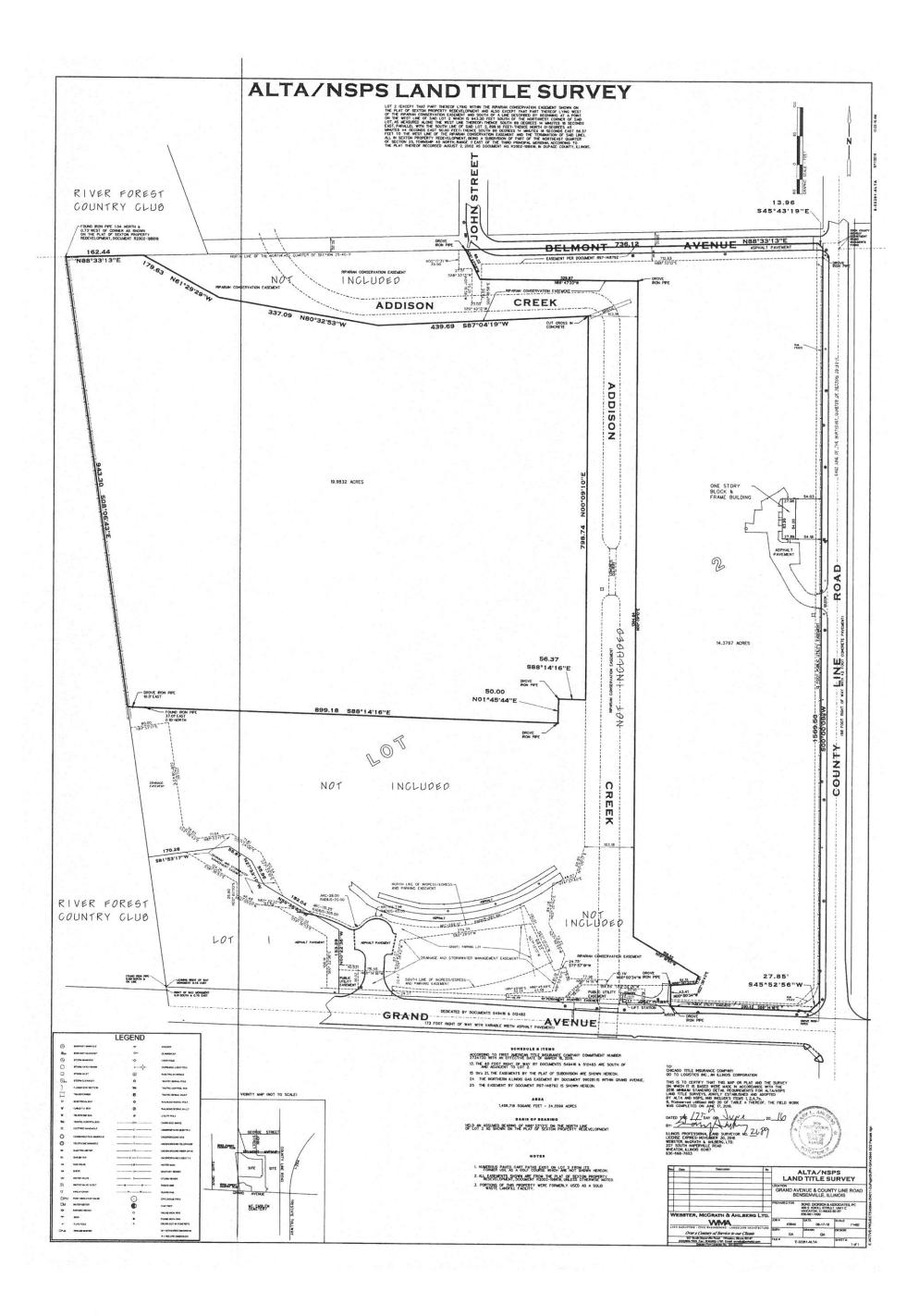
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13 OF 15









TYPE: Public Hearing	SUBMITTED BY: K. Pozsgay	DEP CED	ARTMENT:	<b>DATE:</b> 09.04.18			
DESCRIPTION:							
Consideration of a Conditional Use Permit (Service Station) for Lincolnwood Gas & Food, Inc, located at							
1301 W Irving Park Rd.							
-							
SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:							
Financially Sou	ınd Village		Enrich the lives of Res	sidents			
	er Oriented Services		Major Business/Corpo	orate Center			
Safe and Beaut		Χ	Vibrant Major Corridor				
REQUEST:							

Conditional Use Permit, Service Station, Municipal Code Section 10 – 7B – 3.

### SUMMARY:

- 1. The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue.
- 2. The station will be rebranded as an Exxon with Quick Mart.
- 3. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump.
- 4. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed.
- Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.
- 6. Staff also has concerns about lack of full traffic study and lack of convincing market analysis/need.

### **RECOMMENDATION:**

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

- 1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
- 2. New building permits are required to deal with 5 outstanding permits and all future permits;
- 3. All work will have to meet current Code requirements;
- 4. The sidewalk must be completed on the Spruce Avenue frontage;
- 5. Monument sign must include 3 feet of landscaping around the base;
- 6. No liquor license;
- 7. No video gaming;
- 8. Site must be redesigned to eliminate the need for the stacking variation;
- 9. Building and column/canopy upgrades required.

ATTA	CHN	/EN	$TS \cdot$

Description Upload Date Type

Aerial & Zoning Maps	8/1/2018	<b>Backup Material</b>
Legal Notice	8/1/2018	<b>Backup Material</b>
Application	8/1/2018	<b>Backup Material</b>
Project Narrative	8/1/2018	<b>Backup Material</b>
Staff Report	8/1/2018	<b>Executive Summary</b>
Building Plans	8/1/2018	<b>Backup Material</b>
Signage	8/1/2018	<b>Backup Material</b>
Stacking Exhibit	8/1/2018	<b>Backup Material</b>
Plat of Survey	8/1/2018	<b>Backup Material</b>



# Village of Bensenville

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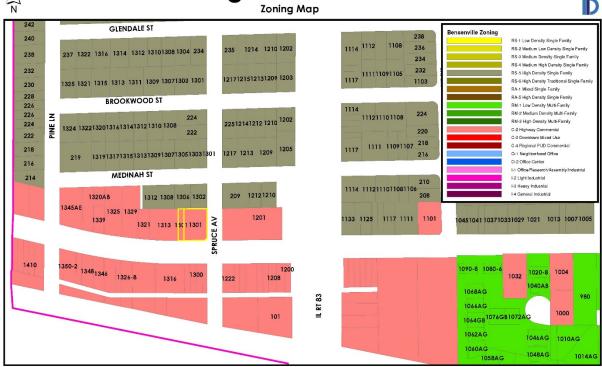
1301 W Irving Park Rd





# Village of Bensenville





# LEGAL NOTICE/PUBLIC NOTICE NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that on Tuesday, August 7, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 18 to consider a request for:

Conditional Use Permit, Service Station, Municipal Code Section 10 – 7B – 3.

1301 West Irving Park Road is in a C-2 Highway Commercial district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 W IRVING PARK ROAD, BENSENVILLE, ILLINOIS.

Leonidas Bairaktaris of 6N068 Acacia Ln., Medinah 60157 and Kyriakos Giannoudakos of 420 Sunnyside Ave, Itasca, IL 60143 are the owners and Lincolnwood Gas & Food, Inc of 6559 N. Lincoln Ave, Lincolnwood, IL 60712 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 7, 2018 until 5:00 P.M.

Office of the Village Clerk Village of Bensenville

For Office Ute 19 CDCCw:#:2.0/8-1 MUNIS&#: COMMUNITY DEVELOPMENT COMMISSION APPLICATION Property Index Number(s) (PIN):  $\underline{Oo \cdot \cdot \cdot 6 \cdot 2:2."2 \cdot 6 t B} = 0..3 \cdot 15, Z.'2-2. \cdot O1$ A. PROPERTY OWNER: f(1)t::Y121.At;.qS 4tA-NNot./L2A-;:;a\$ 10£0N1D.t:. Corporation (if applicable) Ac.lt+t.iA.. @4zo\$u<.1.N v\$/b6Aut!!i...:z U) OG.e )1N&,cL,;7 Street Zip Code City State x **Contact Person** Telephone Number & Email Address If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust. Date: X Property Owner Signature: B. APPLICANT: Check box if same as owner Corporation (if applicable) Name t.o551 State 773 . 754 . 7230 /4SE /J1.i06f:uJ Telephone Number & Email Address **Contact Person** TENANT Relationship of Applicant to subject property Date: 1 08-01-17 Applicant Signature: X C. ACTION REQUESTED (Check applicable): SUBMITTAL REQUIREMENTS (1 original & 1 copy of □ Annexation each): ) ( Conditional Use Permit ☐ Affidavit of Ownership\* (signed/notarized) ☐ Master Sign Plan □ Application• ☐ Planned Unit Development\*\* □ Approval Criteria □Legal Description of Property ☐ Plat of Subdivision ☐ Rezoning (Map Amendment) ☐ Plat of Survey ☐ Site Plan Review ☐Site Plan ☐ Building Plans & Elevations ☐ Variance \*Item located within this application packet. □Engineering Plans \*\*See staff for additional information on □Landscape Plan □ Review Fee (Application Fee + Escrow) **PUD** requests

☐ Escrow agreement and deposit\* ☐ Digital Submission of all application

materials (CD)

### Brief Description of Request(s): (submit separatt shttt if nmssary)

as a Ga	as Station (#03-15-22	2-013 & 03-15-222-019	))			
	ECT DATA: al description of the	site:Existing corner ga	as station located	in C-2 district		
. Acrea	Acreage of the site: 39Acres Building Size (if applicable): 1421 SF Gross					
. Is this X_ 	Yes No, requesting annex No, it is under review			quires review due to 1.5 mile		
None			ments, Village Ord	linances, site plans, etc.)		
	Zoning		Land Use	Jurisdiction		
Site:	C-2	Gas Station C-S		Village of Bensenville		
North:	RS-5	SFH		Village of Bensenville		
I VOI U I.		Auto Body/ Repai	ir Shop	Village of Bensenville		
South:	C-2					
	C-2 C-2	Car Wash		Village of Bensenville		
South:				Village of Bensenville  Village of Bensenville		
South:  East  West:  DEVEL  ARG	C-2	Car Wash Retail	ENGINEER: Name: Telephone:			
South:  East  West:  DEVEL  ARC  Na	C-2 C-2 OPER'S STAFF (if CHITECT me: N/A	Car Wash Retail	Name:	Village of Bensenville		
South:  East  West:  DEVEL  ARC  Na  Tel  Enr	C-2  C-2  OPER'S STAFF (if CHITECT me: N/A ephone:	Car Wash Retail	Name: Telephone: Email: OTHER Wood	Village of Bensenville		

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The COC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

WOODS DRESIGN GROUP, as Construction Managers for

Client: (Tenant/Lessee) Lincolnwood Gas & Food, Inc

Municipal Code section 10-3-4:C Approval Criteria for Conditional Use Permit

Project Address: 1301 W. Irving Pk. Rd., Bensenville Illinois

- 1) Traffic Impact: the area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.
- 2) Environmental Nuisance: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.
- 3) Neighborhood Character: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.
- 4) Use of Public seNices and facilities: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.
- S) Public Necessity: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.
- 6) Other Factors: h closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center, I would contend that it fits in well with its neighbors.
- 7) History/Comment: If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

STATE OF ILLINOIS COUNTY OF DUPAGE AND COOK	) )SS. )
AFFIDAVI	T OF OWNERSHIP
I_l£:06J1PJl't-\$ •'B>AtZAKTAi:!'\S_ on oath states:	the undersigned Affiant, being first duly sworn,
	the representations and statements made herein, and

- d statements made herein, and xamined all necessary documents, records of ownership and such other information as is rq uired to confirm the statements and representations herein;
- 2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
- 3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
- 4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
- Affiant is aware of and has been advised that any false statement set forth in this Affidavit of

Ownership may subject Affiant to criminal sanctions the statutes of the State of Illinois in relation to the cri	for perjury, punishable as provided by
IN WIT SS WHEREO the undersigned has execute this day o f, "f; J'd: '2-ul /	ed this Affidavit of Ownership
	$\frac{CW}{\text{ignature}}$ $\frac{OU}{OU}$ $\frac{cl}{cl} + i \frac{JU/2}{cl}$
SUBSCRIBED and SWORN to	
before me this 3 day of, Thomas , 2011	
Notary Public	

OFFICIAL SEAL KATHY GLINKOWSKI NOTARY PUBLIC - STATE OF ILLINOIS MY COMMISSION EXPIRES 08119/17

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# Village of Bensenville Conditional Use Permit

### **EXHIBIT "A"**

1301 W. Irving Pk. Rd., Bensenville Illinois

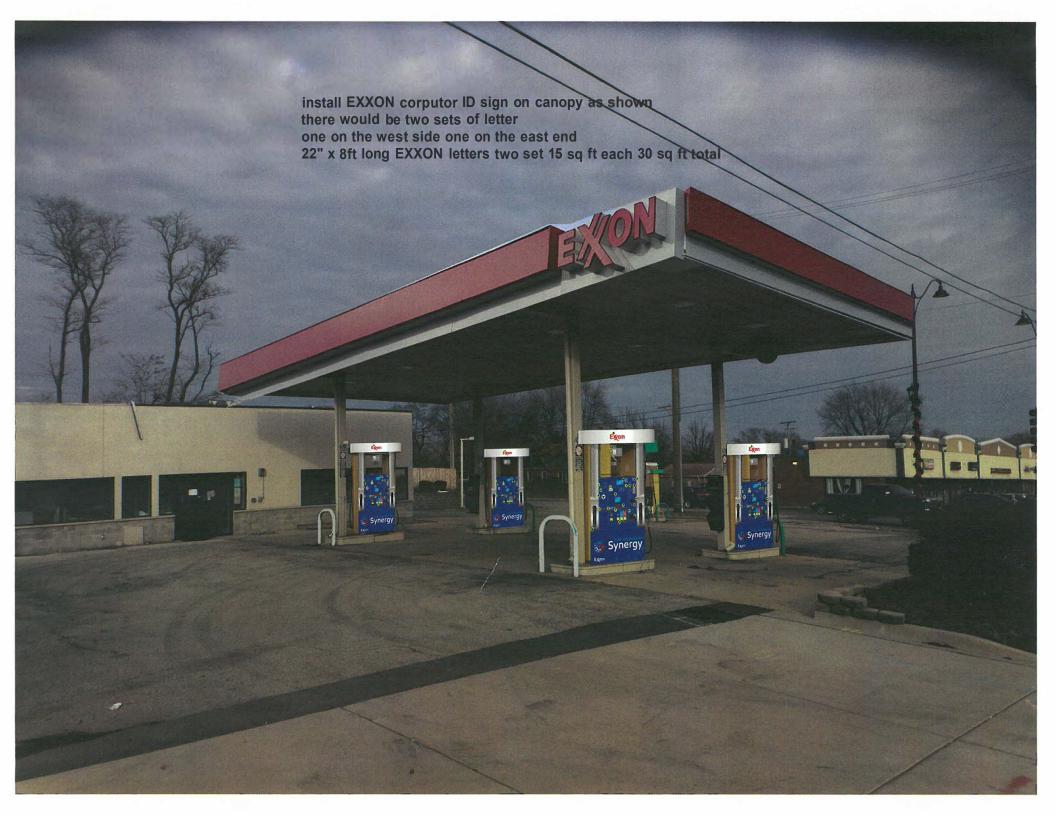
Legal Description

Lots 3, 4, 5, 6 and 7 in Block 40 in the first addition to Percy Wilson's Irving Park Manor, being a subdivision in Sections I 0, 11, 14, al ld 15, Township 40 North, Range 11, East of the Third Principal Meridian, according to tl 1e plat thereof recorded May 7, 1926 as Documel lt 213044, except that part of Lot 3 takel 1 for Roadway purposes by Document R85- 1 8882, in DuPage County, Illil lois

PIN: 03·15-222-0 13 & 03-15-222-0 19

Address: 1301 W. Irving Park Rd. Bensenville, IL

60106



### Project Narrative 1301 W. Irving Park Road

### INTRODUCTION

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave.in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

### **MARKET OVERVIEW**

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.

### **PROJECT OVERVIEW**

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

### **MARKET ANALYSIS**

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	TOTAL
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000



### **STAFF REPORT**

**HEARING DATE:** August 7, 2018 **CASE #:** 2018 – 12

**PROPERTY:** 1301 W Irving Park Rd

**PROPERTY OWNER:** Leonidas Bairaktaris and Kyriakos Giannoudakos

**APPLICANT** Lincolnwood Gas & Food, Inc

SITE SIZE: 16,918 SF BUILDING SIZE: 1,435 SF

**PIN NUMBERS:** 03-15-222-013; -019

**ZONING:** C – 2 Highway Commercial District **REQUEST:** Conditional Use Permit, Service Station,

Municipal Code Section 10 - 7B - 3.

### **PUBLIC NOTICE:**

- 1. A Legal Notice was published in the Bensenville Independent on Thursday July 19, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
- 2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday July 20, 2018.
- 3. On Friday July 20, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.

### **SURROUNDING LAND USES:**

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C-2	Vacant Commercial	Local Commercial	Village of Bensenville
North	RS-5	Residential	Single Family Residential	Village of Bensenville
South	C-2	Commercial	Local Commercial	Village of Bensenville
West	C-2	Commercial	Local Commercial	Village of Bensenville
East	C-2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:
SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:
Financially Sound Village Quality Customer Oriented Services Safe and Beautiful Village Enrich the lives of Residents Major Business/Corporate Center X Vibrant Major Corridors
Finance: Account is paid up to date. Police:
No police issues.

## Engineering and Public Works:

No comments.

### **Community & Economic Development:**

**Economic Development:** 

- 1) Supportive of this conditional use permit for a fueling station use.
- 2) The site is already built out as a gas station, and as such will require minimal construction or rehabilitation.
- 3) The fueling station will create a number of jobs for community residents, as well as generate sales tax for the Village.

### Fire Safety:

No comments at this time.

### Building:

- 1) The site has five issued permits, dating back to 2014, that have not been completed.
  - a. #4009 Interior demolition applied for 1/2014
  - b. #4313 Building alteration applied for 6/2014
  - c. #4842 Exterior improvements applied for 1/2015
  - d. #4928 Signage applied for 3/2015
  - e. #7884 Tank removal applied for 2/2018
- 2) New building permits would be required and since none of the old permitted work was finaled, all work will have to meet current code requirements.

3) An Office of the State Fire Marshal (OSFM) permit will be required for the installation of the new tanks.

### Planning:

- 1) The 2015 Comprehensive Plan indicates "Local Commercial" for this property.
- 2) There was a prior gas station on the property. It closed in 2014.
- 3) Since this station closed, there have been 5 fueling stations approved by Village Board:
- 4) There are 13 fueling stations in the Village currently, with one more approved recently.

ADDRESS	BUS NAME
1285 NORTH ELLIS STREET	ROAD READY
1156 SOUTH YORK ROAD	7- ELEVEN/ EXXON
550 NORTH IL RT 83 ROAD	B P CONNECT (BP PRODUCTS NORTH AMERICA)
600 NORTH IL RT 83 ROAD	BENSENVILLE SHELL
1225 WEST DEVON AVENUE	CITGO
600 WEST IRVING PARK ROAD	BP
647 SOUTH YORK ROAD	SUNNY PETROLEUM, INC. ( MARATHON)
550 ILLINOIS ROUTE 83	BP/SUBWAY
601 NORTH IL RT 83 ROAD	THORNTONS INC, #314
1120 WEST IRVING PARK ROAD	SPEEDWAY #7412
101 WEST IRVING PARK ROAD	AMOCO
801 NORTH IL RT 83 ROAD	BRYN MAWR CITGO
1050 NORTH IL RT 83 ROAD	PILOT TRAVEL CENTER LLC
720 EAST GREEN STREET	AMERIFREIGHT*

- 5) Applicant is proposing 10 auto-fueling positions: eight regular fuel and two diesel.
- 6) Applicant submitted a stacking exhibit, which doesn't show the required two stacking spots per fueling station. A variance for stacking requirements was not applied for.
- 7) The applicant is interested in installing electric vehicle charging stations.
- 8) From Village Code: The Village Board may require a traffic study to verify that the placement and spacing of curb cuts will not result in traffic conflicts with pedestrians and other motorists.
- 9) A full traffic study was not submitted.
- 10) Staff may want to close a curbcut.
- 11) The Spruce Avenue frontage does not have a sidewalk. Where the Site Plan has striping we should seek the removal of the pavement and have green space reintroduced to the Site.
- 12) The applicant submitted a project narrative with market overview.
  - a. They anticipate 960,000 gallons sold a year.
  - b. They anticipate the convenience store selling a total of \$744,000 a year.
- 13) The monument sign must include landscaping around the base.
- 14) The building and canopy are not built to the same standards as other recent approvals, including masonry on building and canopy columns.
- 15) Changes to the columns to include masonry and upgrades to the building should be considered.
- 16) Without the tanks in ground, is it possible to relocate/redesign pump islands to mitigate stacking variation?
- 17) Staff does not recommend a liquor license or video gaming to be allowed.

### APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

**1. Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.

**2. Environmental Nuisance**: The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.

**3. Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.

**4. Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.

**5. Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.

**6. Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

### **Additional History/Comment from Applicant:**

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

### Staff Response to Approval Criteria:

It is stated repeatetly, and incorrectly, that the exisiting use will remian. The site is curently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

	Meets (	Criteria
Conditional Use Approval Criteria	Yes	No
1. Traffic		X
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity		X
6. Other Factors	X	

### **RECOMMENDATIONS:**

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

- 1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
- 2. New building permits are required to deal with 5 outstanding permits and all future permits;
- 3. All work will have to meet current Code requirements;
- 4. The sidewalk must be completed on the Spruce Avenue frontage;

- 5. Monument sign must include 3 feet of landscaping around the base;
- 6. No liquor license;
- 7. No video gaming;
- 8. Site must be redesigned to eliminate the need for the stacking variation;
- 9. Building and column/canopy upgrades required.

Respectfully Submitted, Department of Community & Economic Development

### **BUILDING RENOVATION FOR:** LINCOLNWOOD GAS AND FOOD, INC

1301 W. IRVING PARK ROAD, BENSENVILLE, IL. 60106

GENERAL NOTES

1. ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN CONSTRUCTION OF THE PROJECT INCLUDING ALL APPLICABLE STATE, CITY AND COUNTY BUILDING, ZONING, ELECTRICAL MECHANICAL, PLUMBING AND FIRE CODES, CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CODES, CONTRACTOR SHALL EXTRACTOR COLUMENTS AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND THE CONTRACTOR COLUMENTS SHALL BE THE LATEST EDITION.
3. DETAILS AND SELECTION OF THE DRAWINGS ARE SHOWN AT THE SPECIFIC LOCATIONS AND ARE INTENDED SHOW GENERAL REQUIREMENTS THROUGHOUT, DETAIL NOTED TYPICAL "IMPITY ALL CONDITIONS TERESTED PARTY MODIFICATIONS TO BE MADE BY CORDINATED TO ENGINE MINOR VARIATIONS.
4. ALL DRAWINGS SHALL BE FULLY COORDINATED BY CONTRACTOR TO VERIFY ALL DIMENSIONS, LOCATE DRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, REGLETS, BOLT SETTINGS, SLEEVES ETC.
5. CONTRACTOR SHALL VERIFY AND PROTECT ALL SERVICE ONES AND EXISTING SITE AREA FROM TIEGARTION OR DAMAGE.
6. THE ARCHITECTIENINGERS HAALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE BUILDER TO CARRY OUT THE WORK IN A COORDINGS WHICH MAY OCCUR IN CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACTOR SHALL BRING ERRORS AND OMISSIONS WHICH MAY OCCUR IN CONTRACTOR CHALLED TO NOTIFY THE ARCHITECT IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED BEFORE PROCECING WITH THE WORK. THE CONTRACTOR FULL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FULL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS. DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OF WHICH THE CONTRACTOR FULL BE SUFFICIENTLY IN ADVANCE OF WORK TO BE

AND/ OR FABRICATIONS OF THE WORK.

9. THE CONTRACTOR AND SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND JOB CONDITIONS AT THE JOB SITE SUFFICIENTLY IN ADVANCE OF WORK TO BE PERFORMED. TO ASSURE THE ORDERLY PROGRESS OF THE WORK.

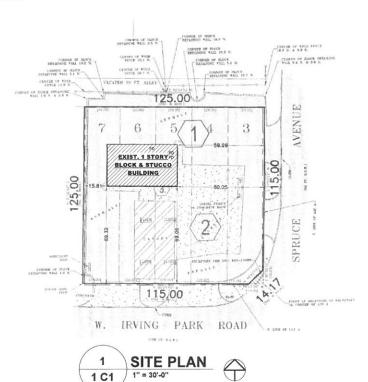
10. CONTRACTOR SHALL MAINTAIN THE PREMISES CLEAN AND FREE OF ALL TRASH, DEBRIS AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOLING, PAINT, OVERSPRAY, ETC. ALL FIXTURES, EQUIPMENT, GLAZING FLOORS, ETC. SHALL BE LEFT CLEAN AND READY FOR OCCUPANCY UPON COMPLETION OF THE

T. ALL MANUFACTURERS' PRINTED WARNINGS FOR HANDLING OF PRODUCTS MUST BE STRICTLY OBSERVED. THE WORDS 'OR EQUAL' ARE TO BE ASSUMED. WHENEVER A SPECIFIC MANUFACTURER IS NOTED. HOWEVER, ALL SUBSTITUTIONS MUST BE APPROVED BY THE CONSTRUCTION MANAGER 12. THE CONTRACTOR SHALL MAKE NO STRUCTURAL CHANGES WITHOUT WRITTEN APPROVAL OF THE ARCHITECT/ENGINEER.

SPECIAL NOTES
THE ARCHITECT IS NOT SUPERVISING CONSTRUCTION OF THIS BUILDING, THEREFORE, THE USE OF THESE DRAWINGS BY THE OWNER OR ANY CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN SHALL CONSTITUTE A HOLD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO THE CONSTRUCTION MEANS, METHODS,

LECHNIQUES. SECLIFACE OR PROCEDURES AND FOR ANY SAFETY PRECALITION OR PROGRAMS IN CONNECTION WITH THE WORK SECUENCE OF PROCEEDURES AND FOR ANY SAFELY PRECASION OF PROSIDENTS IN CONCEDURE WHITH THE WORK FURTHER. THE ARCHITECT SHALL BE HELD HARMLESS FOR ANY RESPONSIBILITY IN REGARD TO ANY COSTS OR PROBLEMS ARKING FOR THE REGLIGENCE OF THE CONTRACTOR, SUB-CONTRACTOR, BUILDER, TRADESMAN OR WORKMAN, OR FOR THEIR FALUER TO COMPLY WITH THESE PLANS AND SPECIFICATIONS.

SPECIAL SAFETY NOTE
ALL CONTRACTORS, SUB-CONTRACTORS AND THEIR REPRESENTATIVES WORKING ON THIS PROJECT SHALL AT ALL
TIMES PRIOR AND DURING THE COURSE OF THEIR ACTIVITY BE RESPONSIBLE FOR THE SAFETY OF THEIR EMPLOYEES
AS WELL AS OTHER AND IN CARE OF THEIR PROPERTY, EACH AS REPRESENTATIVES OF THEIR EMPLOYEES SHALL
ASCERTIAN THAT THE CONDITIONS UNDER WHICH THEY WILL BE REQUIRED TO ACCOMPUISH THEIR WORK AS SAFE
AND MEET ALL REGULATIONS OF THE OCCUPATIONAL, SAFETY AND HAZARD ACT OR INDICATE SATISFACTION
CONCERNING SAFETY AND PULL RESPONSIBILITY FOR ACCIDENTS ANDORD PAMAGE, IF NECESSARY TO RENDER THE
JOB-SITE SAFE, IF THE WORK OF THE OTHER PARTIES IS UPON INSPECTION, FOUND AT ANY TIME TO BE UNSAFE, THE
CONTRACTOR OR SUB-CONTRACTOR SHALL IMMEDIATELY STOP ALL WORK AND NOTIFY THE GENERAL CONTRACTOR,
ARCHITECT AND OWNER, THE BEGINNING OF WORK SHALL INDICATE ACKNOWLEDGEMENT AND ACCEPTANCE OF THESE
REQUIREMENTS.



# SCOPE OF SITE WORK DEMO ALL EXISTING CONCRETE PAYING TO RE-PAVE (8" @ APPROVICE AREA OF DRIVE ENTRANCES OVER 8" \$7 CRUSHED STONE, AND 6" GALL OTHER AREA OVER 4" \$7 CRUSHED STONE, AND 6" GALL OTHER AREA OVER 4" \$7 CRUSHED STONE - ALL TO BE USED WIRE-MEST) 3) INSTALL NEW 3' WIDE SIDE WALK - 4" THK CONCRETE OVER 4" 37 CRUSHED STONE W/MRE MESH IN THE MIDDLE - BRUSH FINISH.

(LANDSCAPING)
PLANT NEW SOO ON ALL LANDSCAPING AREA AND
NEW TREES AROUND THE SITES TO REPLACE ALL
INAPPROPRIATE EX TREES AT THE SITE.

# CHRIS WINOGRADZKI ARCHITECTS, LTD.

115 OAKWOOD AVE., DES PLAINES, IL 60016 PH. # 847.698.4114 e-mail: christopher@cw-architects.com

ARCHITECTS & BUILDERS

### BUILDING CODES:

International Residential Code (2012)

International Fire Code (2012)

International Energy Conservation Code (2012) and State of Illinois Energy Code

National Electric Code (2011)

Illinois State Plumbing Code (2004) International Mechanical Code (2012)

Sheet Number	Sheet Name	Sheet Issue Date
1 C1	TITLE SHEET & SITE PLAN	10-11-2017
2 C2	MATERIAL SPECIFICATIONS	10-11-2017
3 A1	FIRST FLOOR PLAN & ELEVATIONS	10-11-2017
4 E-M1	ELECTRICAL & MECHANICAL PLANS	10-11-2017
Grand tot	al: 4	

	BUILDING DA	TA	
BUILDING CODE			OCCUPANCY
BUILDING CODE:	INTERNATIONAL BUILDING COD	E, 2015 EDITION W/ AMENDMENTS	OCCUPANCY CLASS
PLUMBING CODE:	ILLINOIS PLUMBING CODE, 2014	EDITION	
HVAC CODE:	INTERNATIONAL MECHANICAL O	CODE, 2015 EDITION	CONSTRUCTIO
ELECTRICAL CODE:	CTRICAL CODE: NATIONAL ELECTRIC CODE, 2014 EDITION W/ AMENDMENTS		CONSTRUCTION TY
FUEL GAS CODE:	INTERNATIONAL FUEL GAS COD AMENDMENTS	E, 2015 EDITION W/	
ENERGY CODE:	ILLINOIS ENERGY CONSERVATION	ON CODE, 2015 EDITION	
FIRE CODE:	INTERNATIONAL FIRE CODE, 2015 EDITION W/ AMENDMENTS		
VILLAGE/ CITY:	VILLAGE OF BENSENVILLE COD	E OF ORDINANCES	
BUILDING CODE IN	FORMATION		
	ORDINANCE	PROPOSED	
CONSTRUCTION TYPE:	TYPE II B	TYPE II B	

	A STATE OF THE STA		11	
CODE:	INTERNATIONAL MECHANICAL C	ODE, 2015 EDITION	CONSTRUCTION C	LASSIFICATION
TRICAL CODE:	NATIONAL ELECTRIC CODE 2014	EDITION W/ AMENDMENTS	CONSTRUCTION TYPE:	FIRE RESISTANCE TYPE II B
TRICAL CODE:	RICAL CODE: NATIONAL ELECTRIC CODE, 2014 EDITION W/ AMENDMENTS		-	STRUCTURAL FRAME
GAS CODE:	INTERNATIONAL FUEL GAS CODE AMENDMENTS	E. 2015 EDITION W/		BEARING WALLS
RGY CODE:	ILLINOIS ENERGY CONSERVATION	N CODE, 2015 EDITION		NON-BEARING (EXTERIOR)
2002	INTERNATIONAL FIRE CODE, 201	5 EDITION W/	1	NON-BEARING (INTERIOR)
CODE:	AMENDMENTS			FLOOR CONSTRUCTION
GE/ CITY:	VILLAGE OF BENSENVILLE CODE	OF ORDINANCES		ROOF CONSTRUCTION
DING CODE IN	FORMATION			COMMON WALLS (BEARING)
	ORDINANCE	PROPOSED	7)	WALLS BETWEEN RESIDENCE AND GARAGE
STRUCTION TYPE:	TYPE II B	TYPE II B	1	CEILING BETWEEN RESIDENCE AND GARA
			<b>-</b> 1	

### FIRE-RESISTIVE REQUIREMENTS

LALL WALL, FLOOR AND CEILING FINISHES FLAME SPREAD RATINGS SHALL COMPLY WITH THE LOCAL FIRE PROTECTION CODES AND/OR LOCAL BUILDING CODES.

A ALL WALL, FLOOR AND CELINES FILME STRANG SYREAD AT ININGS SHALL COMPLY WITH
THE LOCAL FIRE PROTECTION CODES AND/OR LOCAL BUILDING CODES.

B. ALL MATERIALS USED FOR INTERIOR WALL AND CELING FINISHES AND FOR INTERIOR
TRIMS SHALL BEC. LASS IN W A FLAME SPREAD RATING OF 10 70 25 AND SMOKED
DEVELOPED RATING OF 200 & LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84.
C. ALL MATERIALS USED FOR INTERIOR FLOOR FINISHES SHALL BE. CLASS A W.A. CRITICAL
RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER.
D. ALL ROOF COVERINGS SHEAD SHIP OF THE COMPLETE OR HIGHER.
CLASS A ROOF COVERINGS SEFECTIVE AGAINST SEVER FIRE EXPOSURE;
CLASS B. ROOF COVERINGS SEFECTIVE AGAINST SEVER FIRE EXPOSURE;
CLASS CROOF COVERINGS SEFECTIVE AGAINST MODERATE FIRE EXPOSURE;
INCLUDING (1) BUILDINGS ON ONE-FAMILY OR TWO-FAMILY RESIDENTIAL USE
(2) BUILDING OF ROOF FRAME CONSTRUCTION; (3) BUILDING LOCATED OUTSIDE OF
THE FIRE LIMITS WHICH ON THE BASIS OF HEIGHT AND AREA COULD BE OF WOOD
FRAME CONSTRUCTION UNDER THIS CODE.
D. PROVIDE MATERIALS AS SCHEDULED OR APPROVED SUBSTITUTE. (ABBREVIATIONS
WITHIN THE SCHEDULE DESIGNATE MATERIAL & COLOR. REFER TO FINISH LEGEND
WITHIN & FINISH SPECIFICATIONS)

	CEILING BETWEEN RESIDENCE AND GARAGE
	DOOR BETWEEN RESIDENCE AND GARAGE
CERTI	AKAGE, COMPONENT FICATION AND VAPOR RDER REQUIREMENTS

CODE COMPLIANCE

CONTRACTOR TO CHECK/PROVIDE THE FOLLOWING ITEMS:

1. ALL JOINTS AND PENETRATIONS ARE CAULKED, GASKETED OR COVERED WITH A
MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL, MUST BE INSTALLED

1. ALL JOINTS AND PENETRATIONS ARE CAULKED, GASKETED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL, MUST BE INSTALLED IN ACCORDANCE TO MANUFACTURES SPECIFICATIONS.

2. WINDOWS AND DOORS CERTIFIED AS MEETING LEAKAGE REQUIREMENTS

3. COMPONENT R-VALUES AND U-FACTORS LABELED AS CERTIFIED

4. OTHER COMPONENTS HAVE SUPPORTIND DECUMENTATION FOR PROPOSED U-FACTORS S. INSULATION INSTALLED ACCORDING TO MANUFACTURES INSTRUCTIONS. IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED. AND IN AMAINER THAT ACHIEVES THE RATEO R-VALUE WITHOUT COMPROMISING THE INSULATION

8. BUILDING ENTRANCE DOOS EQUIPPED WITH CLOSING DEVICES

7. VAPOR RETARDED ROOS EQUIPPED WITH CLOSING DEVICES

### ENERGY CONSERVATION CODE COMPLIANCE STATEMENT

HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF THAT THE WORK TO BE PERFORMED SHOWN IN THESE DRAWINGS COMPLY WITH THE REQUIREMENTS OF INTERNATIONAL EMERGY CONSERVATION CODE (IECC) 2015

LICENCE No. 001 014465

EXPIRATION DATE: 11/30/2018

DATE: 10.11.

### CERTIFICATION STATEMENT

CUPANCY CLASS:

HERERY CERTIFY THAT THESE PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE THEY CONFORM TO THE ALL LOCAL BUILDING AND ZONING ORDINANCES

LICENCE NO: 001.014465

EXPIRATION DATE:11/30/2018

SIGNED

DATE: 10-11-17



Revision Schedule Revision

# S 5

**LINCOLNWOOD** 

RENOVATION

BUILDING

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- 0 HRS

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N/A N/A

N/A

FOOD,

CHRIS WINOGRADZKI
ARCHITECTS, LTD

115 Oakwood Ave., Dee Plaines, IL 60016
mind Completing Convention and Control Con

Date: 10-11-2017 Scale As indicated Drawn: AGNES Check: C.W. 217030 Job:

1 C1 4

### GENERAL NOTES:

1. THESE DRAWINGS AND SPECIFICATIONS INCLUDING DESIGNS AND IDEAS REPRESENTED REPRESENTED
THEREON ARE AND SHALL REMAIN THE
PROPERTY OF THE ARCHITECT: AND NO
PART
THEREOF SHALL SE COPIED. DISCLOSED TO
OTHERS OR USED IN CONNECTION WITH

WORK OR PROJECT EXCEPT THOSE FOR

WHICH THAY HAVE BEEN DEVELOPED AND PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

2. THE LATEST EDITION OF THE AMERICAN COODINONS OF THE CONTRACT FOR CONSTRUCTION\* ARE HERESY MADE II PART OF THESE DRAWINGS AND SPECIFFICATIONS,

WELL AS THE CONTRACT FOR REFERENCE AND THEY SHALL LEGALY
ENFORCEABLE TO THE SAME DEGREE AND
EXTEND AS IF THEY WERE REPRODUCED
HEREON.

3. GENERAL CONTRACTOR/CONSTRUCTION MANAGER AND EACH SUBCONTRACTOR

A. VISIT THE SITE, TO VERIFY ALL EXISTING COND ITIONS AND DIMENSIONS BEFORE COND TITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS/PRICING AND REPORT TO THE ARCHITECTT ANY DISCREPANCIES OR CONDITIONS WHICH MAY INTERFERE WITH THE EXECUTION OF THE DEPICTED WORK. EXTRAS WILL NOT ALLOWED FOR

C. COMPLY WITH ALL RULES AN.O REGULATIONS OF THE OWINER AND/OR BULLDING MANAGEMENT REGARDING SITE ACCESS, DISPOSAL CONTAINER LOCATION, SECURITY, ELEVATOR USE, ETC. AND PAY ASSOCIATES FEES.

D. PROVIDE All MATERIALS AND LABOR WHEATHER STATED OR IMPLIED TO COMPLETE
THE WORK AS DESCRIBED ON THESE DRAWINGS AND SPECIFICATIONS

TO DAMAGE OR WEAKEN BUILDING SYSTEM

F, IMMEDIATELY REPAIR AII DAMAGE TO BUILDJNG SYSTEMS OR COMPONETS BEING MAINTAINED AT NO COST TO THE OWNER.

G. GUARANTEE ALL WORK FOR ONE (1) TEAK
AFTER SUBSTANTIAL COMPLETION OF ALL

### FINISH NOTES

1. ALL WALL AND CEILING MATERIALS SHALL BE NO LESS RESISTANT TO FLAME SPREAD THAN CLASS T~: FLAME SPREAD RATING OF 26 TO 75 AND SMOKE DEVELOPED 450.

2. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR APPLICATION OF NEW FINISHES, EXCLUDING

S. FLOOR COVERING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW BASE AND FLOOR COVERING.

4. ALL WALL AND COLUMN SURFACES EXCEPT AS NOTED OTHERWISE SHALL BE PAINTED WITH A SUITABLE PRIMER AND TWO COATS FLAT LATEX PAINT. REFER TO FINISH SCHEDULE FOR EXACT COLOR(S).

5. ALL WALL AND COLUMN SURFACES SCHEDULED TO RECEIVE WALL COVERINGS SHALL FIRST BE PAINTED WITH ONE COAT OF AN APPROPRIATE PRIMER, ALL SURFACES SHALL BE DRY, CLEAN AND FREE OF BUMPS AND DEPRESSIONS PRIOR TO INSTALLATION.

6. ALL CLOSET SHELVING AND MISCELLANEOUS ITEMS AS DETERMINED SHALL BE PAINTED TO MATCH COLOR SELECTED FOR FINISH OF ADJACENT WALLS.

7. All WALLS AND COLUMNS SHALL RECEIVE 7. AIR VALLS AND COLUMNS SHALL RECEIVE BASEBOARD - SEE FINISH FLOOR PLANS FOR FURTHER SPECIFICATION, VINYL BASE SHALL BE STRAIGHT IN AREAS TO BE CARPETED AND COVED IN AREAS TO BE TILED.

8. CARPET CONTRACTOR SHALL INSTALL CARPET AS INDICATED ON THE CONSTRUCTION PLAN.
DIRECT GLUE DOWN INSTALLATION SHALL BE
USED UNLESS NOTED OTHERWISE. REFER TO
FINISH SCHEDULE FOR EXACT SPECIFICATION.

OF EMPIRION.

9. VINYL COMPOSITE TILE (VCT) SHALL BE INSTALLED AS INDICATED ON THE CONSTRUCTION PLAN. CONSTRUCTION MANAGER TO CONTACT OWNER FOLLOWING INSTALLATION SO ARRANGEMENTS CAN BE MADE TO SEAL AND WAXIT. APPROPRIATE TRANSITION STRIPS SHALL BE INSTALLED AT CHANGE OF FLOOR FINISH LOCATIONS. REFER TO FINISH SCHEDULE FOR EXACT SPECIFICATIONS. SPECIFICATIONS

### MILLWORK NOTES:

1. ALL MILLWORK SHALL COMPLY WITH THE APPROPRIATE SPECIFICATIONS OF THE "ARCHITECTURAL QUALITY STANDARDS ILLUSTRATED" OF THE ARCH ITECTURAL WOODWORK INSTITUTE (AWI) FOR "CUSTOM" GRADE MILLWORK.

2. MILLWORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AFFECTING HIS WORK IN THE FIELD PRIOR TO FABRICATION.

3. MILLWORK CONTRACTOR SHALL FURNISH AND INSTALL ALL INDICATED CABINETRY. COUNTERTOPS, HARDWARE AND REQUIRED IN WALL BLOCKING WHERE REQUIRED.

4. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE RETARDANT TREATED.

5. ALL COUNTER AND VANITY TOPS SHALL BE 3/4" THICK WITH 1-1/2" THICK FASCIA, HIGH DENSITY PARTICLE BOARD SHIMMED AND SECURED TO UNDERCOUNTER CABINETRY AND/OR CLEATED TO WALLS AND SEALED TO SAME WITH CLEAR SILICON CAULK.

6. ALL CABINETRY SHALL HAVE 3/4" THICK FLUSH OVERHANG TYPE DOORS.

7. CABINET WALLS AND ALL FACE, FILLER AND BACKUP PANELS SHALL BE 3/4" THICK.

8 CARINET HARDWARE SHALL INCLUDE 8. CABINET HARDWARE SHALL INCLUDE ACCURIDE FULL EXTENSION DRAWER SUDES, STANLEY SELF CLOSING CONCEALED DOOR HINGES. AND STANLEY "UP SUFFICIAL SWITH FINISH TO MATCH THAT OF THE DOOR HARDWARE FOLLOWING INSTALLATION, ALL DOORS SHALL BE PROPERLY ADJUSTED AND ALL HARDWARE CHECKED FOR PROPER OPERATION.

9. ALL CABINET SHELVES SHALL BE ADJUSTABLE ON RECESSED PILASTER STANDARDS AND CLIPS.

10. CLOSET SHELVES SHALL BE 3/4" THICK HIGH DENSITY PAINT GRADE PARTICLE BOARD WITH A 1/4" HARDWOOO EDGE HUNG ON CO-TINUOUS WALL CLEATS AND PAINTED TO HATCH ADJACENT WALL SURFACE.

#### REFLECTED CEILING NOTES:

 MECHANICAL AND ELECTRICAL CONTRACTORS SHALL VERIFY CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY SCREPANCIES FROM WHAT IS REPRESENTED.

2. MECHANICAL CONTRACTOR SHALL LOCATE

AND SIZE ALL OUTLETS AND RETURNS. DETERMINE DUCT-PAK LAYOUT. THERMOSTAT LOCATIONS AND OTHERMOS DESIGN THE HVAC SYSTEM AND PREPARE ANY REOURED DOCUMENTS. THE ENTIRE HVAC SYSTEM SHALL CONFORM TO ALL APPLICABLE CODES.

3. ACOUSTICAL CEILING SHALL BE BUILDING 3. ACOUSTICAL CELLING SHALL BE BUILDING STANDARD AMSTRONG OR EQUAL 2' x 4' LAYIN CEILING TILE WITH STANDARD EXPOSED GRID SUSPENSION SYSTEM. TILES SHALL BE KERFED AT ALL INTERIOR PARTITION AS DETAILED.

4. LIGHT FIXTURES SHALL BE AS SPECIFIED ON THE LIGHT FIXTURE SCHEDULE. REFER TO REFLECTED CEILING PLAN FOR TYPE OF MOUNTING (I.E. DRYWALL CEILING, LAYIN, ETC.).

5. EXIT SIGNS SHALL BE LOCATED AS SHOWN ON EMERGENCY EXIT PLAN - SEE SCHEDULE FOR EXACT SPECIFICATIONS.

6 ALL EXIT SIGNS DOWNLIGHTS SPEAKERS LOCATED IN THE CEILING SHALL BE INSTALLED IN THE CENTER OF THE CEILING TILE INDICATED UNLESS DIMENSIONED

7. ALL SUPPLY OR EXHAUST DIFFUSERS SHOWN ON THE REFLECTED CEILING PLAN ARE FOR LOCATION ONLY. MECHANICAL CONTRACTOR SHALL MAKE FINAL DETERMINATIONS.

8. ALL SWITCHES SHALL BE MOUNTED VERTICALLY AT THE BUILDING STANDARD

#### POWER AND TELEPHONE NOTES:

- 3. DIMENSIONS LOCATING OUTLETS ARE TO

CENTERLINES OF THE DEVICES.

5. All FLOOR OUTLETS SHALL BE PIPED THROUGH THE CEILING OF THE SPACE BELOW TO THE DETERMINED LOCATION UNLESS CHANNELING OF THE FLOOR IS DETERMINED TO BE A BETTER AND LESS EXPENSIVE ON, ELECTRICAL CONTRACTOR TO

A CONDUIT STUB (SIZE TO BE DETERMINED) FROM THE CEILING AT THE LOCATION OF THE TELEPHONE PANEL.

ELECTRICAL CONTRACTOR SHALL VERIFY CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS INDICATED.

2. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES.

4. WHERE FLOOR OUTLETS ARE GRAPHICALLY SHOWN ADJACENT TO A WALL, THEY SHALL BE WITHIN SIX INCHES OF THE WALL.

INCLUDE IN HIS PRICE WHATEVER
CHANNELING OR SCAFFOLDING IS NECESSARY
TO DO THE WORK.

6. ALL WALL OUTLETS SHALL BE MOUNTED HORIZONTALLY TWELVE INCHES ABOVE THE FINISHED FLOOR UNLESS OTHERWISE NOTED.

8. ALL REQUIREMENTS FOR SPECIAL POYER AND/OR DEVICES AS INDICATED IN DRAWINGS OR OTHERWISE NOTED SHALL BE VERIFIED BY THE ELECTRICAL CONTRACTOR PRIOR TO SUBMITTING PRICE.

9. ALL WALL ELECTRICAL AND TELEPHONE OUTLET COVERPLATES SHALL BE LEVITON OR EQUAL, WITH WHITE FINISH.



# The above drawings and specifications, and ideas, Design and arrangements represented thereby as an exhalter ment the property of the Architect and no part three of shall be copied, decleded to others or used in the connection with any work to project other three three project of the train the specification opposited twich they have been paragraded and developed without the written consent of the Architect. Vistal contract with these developed without the written consent of the Architect. Without contract with these developed shall have pre-ordering constitution confluence of these respicions. If the properties of the Architect different ordering the architect of acceptance of these respicions. Any other properties of the properties of the architecture of the architecture of the properties of the project of the architecture of the project of the architecture of the project of the architecture of the project of the project of the architecture of the architecture of the project of the architecture of the architecture of the project of the architecture S $\triangleleft$ 5 000/ COLNW Z Ď. FOOI ZI

ADZKI LTD

CHRIS WINOGRA
ARCHITECTS, I
115 Oakwood Ave., Des Plaines, II 500
entill dimopher@overchinets on
phone 647-698-4114

FOR

RENOVATION

BUILDING

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V ~ TE Revision Schedule Revision

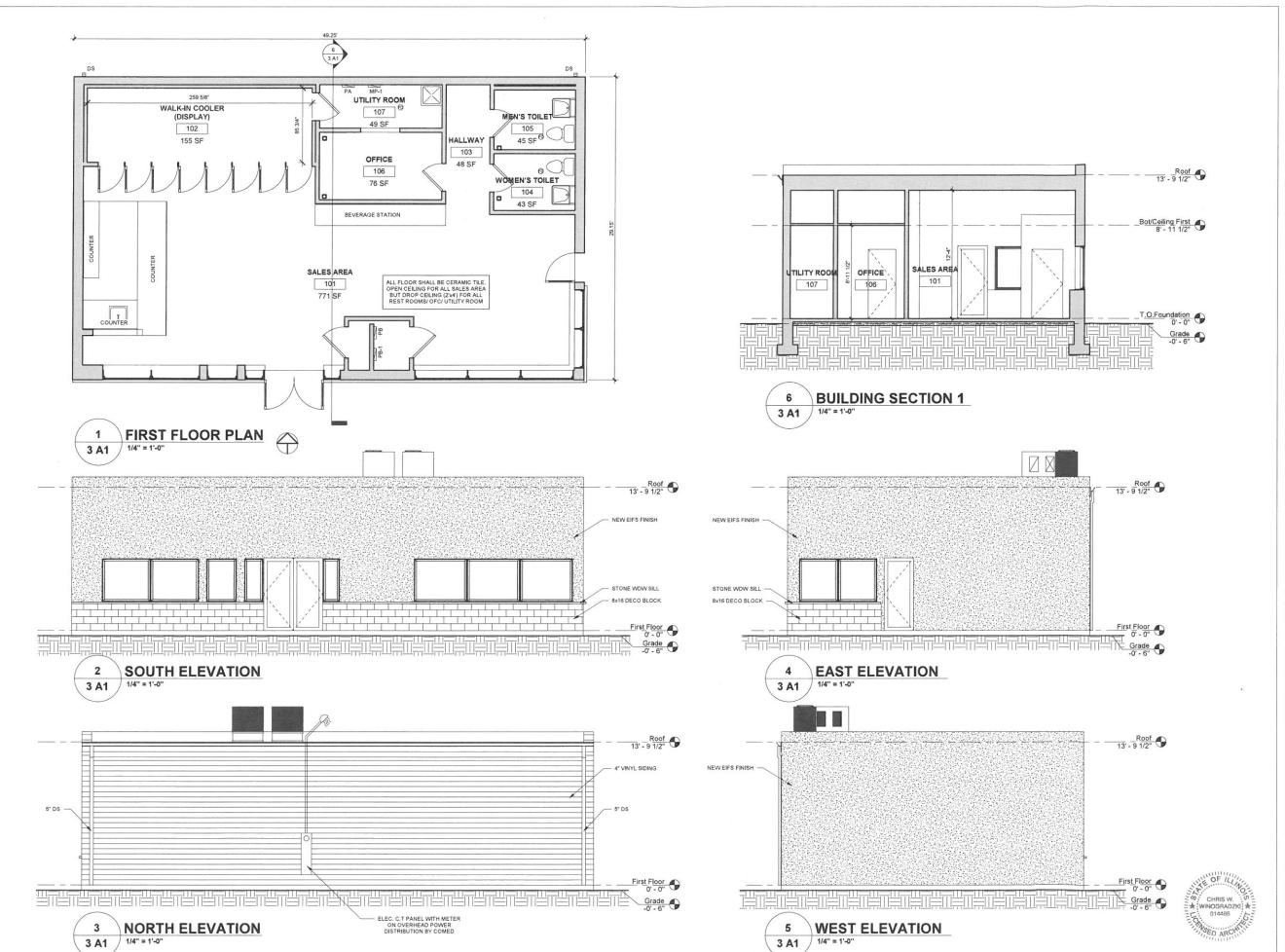
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MA. Date: 10-11-2017 Scale Drawn: AGNES C.W. Check: 217030 Job: Sheet: 2 C2

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Revision Schedule Date AND S GA LINCOLNWOOD BUILDING RENOVATION FOR: FOOD, INC. CHRIS WINOGRADZKI
ARCHITECTS, LTD FIRST FLOOR PLAN ELEVATIONS 10-11-2017 Date: Scale: Drawn: AGNES C.W.

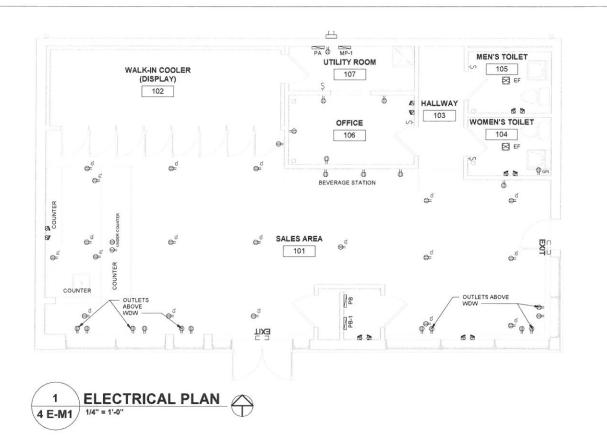
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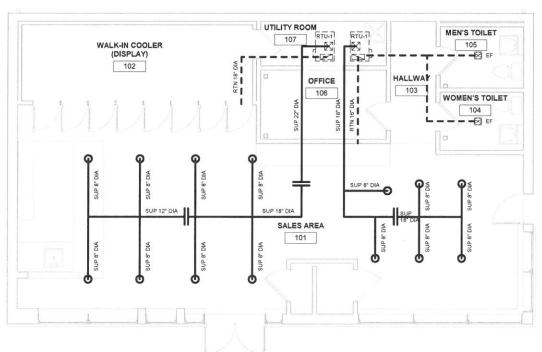
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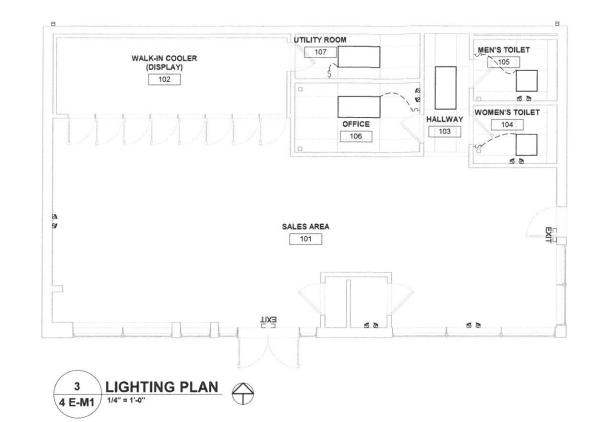
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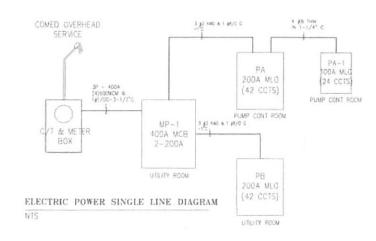
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(₽) F	ROOF TOP	PACKAGED	UNIT SCHEDU	LE													
UNIT	LOCATION	MANUFACTURER	CAT. NO.	HTG. INPUT (MBH)	HTG. OUTPUT (MBH)	COOLING (MBH)	сғы	SLOWER MOTOR	BLOWER	E.S.P. (IN W.C.)	FLUE SIZE (INCH)	W'T (LB)	(AMPS) MCA/MOCP	NO. OF COMP	REFRIGERANT	WT. HEFROGERANT (LB-0Z)	REMARKS
RTU-1 (EXST)	ROOF	PHEEM	RKKA-A060CK13E	135	116	60	1600	208/230-3	1075	0.59*	N/A	573	27.3 / 35	1	R-22	5-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.
RTU-2 (EXST)	ROOF	RHEEM	RKKA-AQ36CK13E	109	98	36	1200	208/230-3	1075	0.59*	N/A	436	20.8 / 30	1	R-22	6-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.



MECHANICAL PLANS	BUILDING RENOVATION FOR:
CHRIS WINOGRADZKI	LINCOLNWOOD GAS AND
AKCHILIECIS, LID  115 Caloud Ave. De 2 lines. IL 6016 6-mail: christopher@cev-architects.com phone. 647-698-1114 hzv. 647-215-393	FOOD, INC. 1301 W. RVING PARK ROAD, BENSENVILE, IL. 60106

Revision Schedule

Revision Date Issued by

$\Xi$	
Date:	10-11-2017
Scale:	1/4" = 1'-0"
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LECTRICAL &

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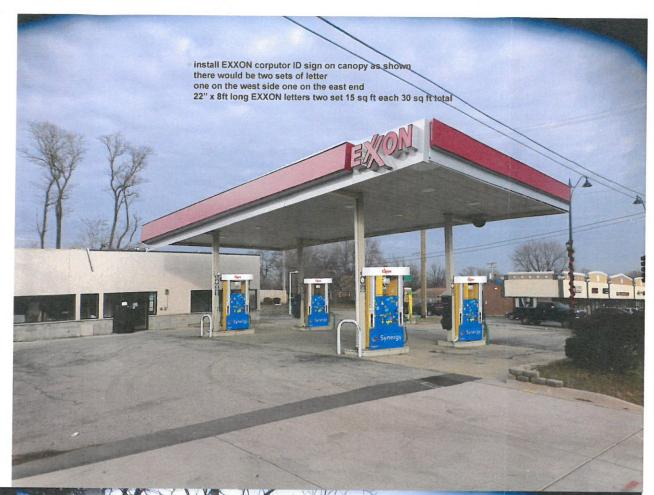
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email ahernsigns@att.net
www.ahernsigns.com

### PROJECT:

1301 W. Irving Park (gas station)

### **CUSTOMER APPROVAL:**

12.21.2017

**AUTHORIZED SIGNATURE** 

REPRESENTATIVE

DRAWN BY

DATE

SCALE

SHEET NO.

1 of 1

WORK ORDER

FILE NAME

### **REVISIONS:**

4.08.13

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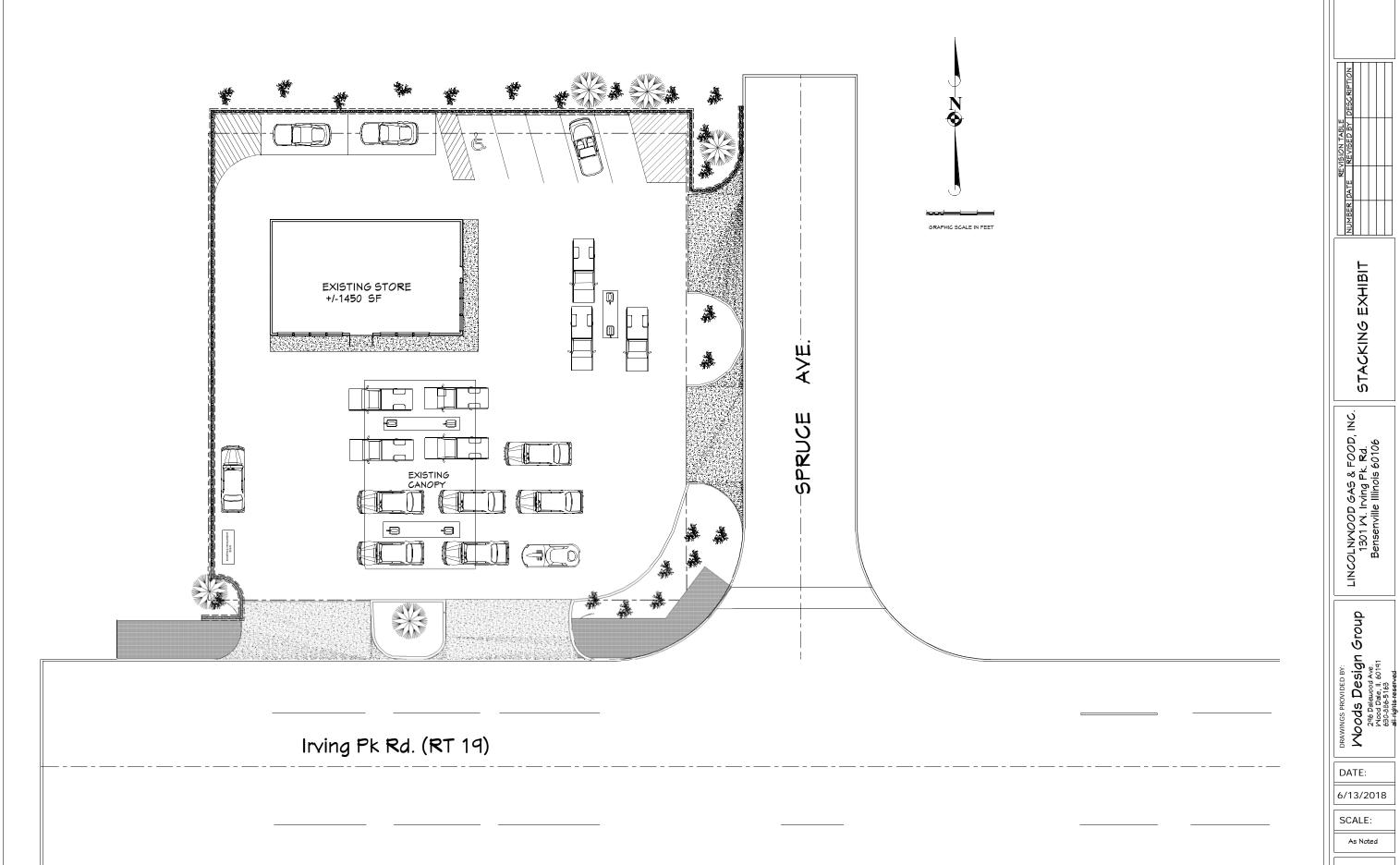
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This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.



STACKING EXHIBIT

DATE:

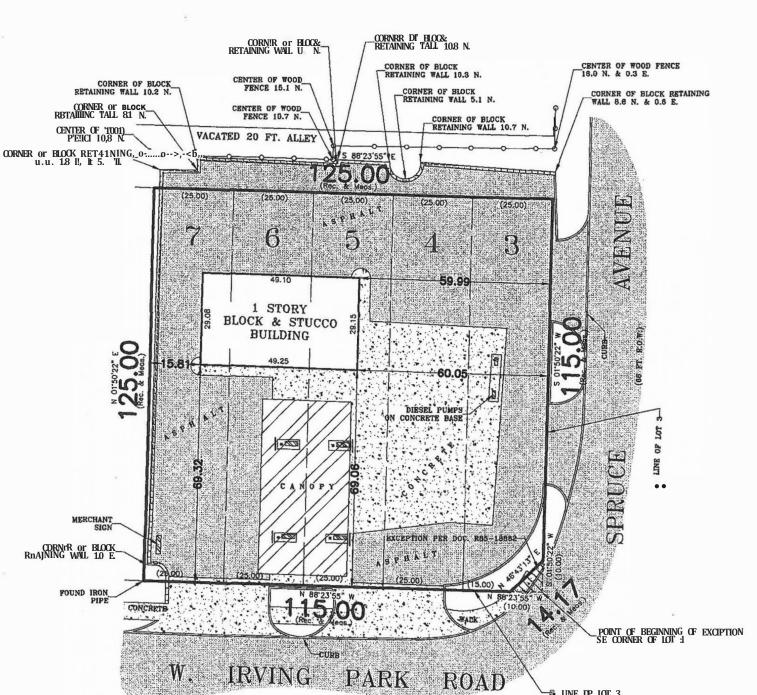
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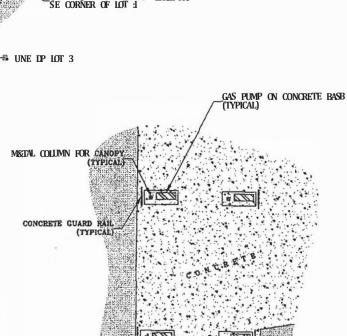
# PLAT OF SURVEY

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 If. IRVING PARK ROAD, BENSENVILLE, ILLINOIS



(100 FT, R0.11'.)



SCALE: 1"=30'

# PUMP DETAIL

## **GENERAL NOTES:**

- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOII'S THE BOILDING IJNES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABIJSHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- MICHAEL J. B. LOPEZ S. 35-3229 3) BASIS OF BEARING FOR 'rhis survey is as the north arrow indicatbs, and is shown to indicate the angular relationship of the boundary ijnes.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BB EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVEO.

Professional Design Registration #184-002795 PREFERRED SURVEY, INC.

> ?846 • . ?DTH STREBT, BRIDGmn, IL, 80456 Phone ?08-4G8-?ffl / Fax 708-458-?866

www.psleurvey.com 03/19/14 no CREW. fteld Work Compleled Land Area Surveyed 15,574.6 Sq. Ft. CAD. SR RED SUR PROFESSIONAL LAND SURVEYOR CORPORATION STATE OF

SURVEY ORDERED BY: EFFECTIVE DESIGN CONSULTING, L.L.C.

I, MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIEN1' AGREEMENT. DIMENSIONS ARE SHOWN IN FRBT AND DBCIMAL PARTS THEREOF AND ARE CORRBCTBD TO A TEMPERATURE OF 68 DEGREES FARRENRRIT.

GIVEN UNDER MY HAND AND SEAL THIS

STATE OF ILLINOIS ) COUNTY OF COOK )

DAY O A.D. 2014 NSE EXPIRES ON 11/30/14

P.S.J. NO. 14103298

