

# **COMMUNITY DEVELOPMENT COMMISSION**

**Village of Bensenville**

**VILLAGE HALL**

**September 4, 2018 6:30 PM**

I. Call Meeting to Order

II. Roll Call and Quorum

III. Pledge of Allegiance

IV. Public Comment

V. Approval of Minutes

August 7, 2018 Community Development Commission Minutes

VI. Action Items:

1. Consideration of a Variance (fence, corner side yard) for Ion Lucian Faltinski, located at 401 S. Barron St.
2. Consideration of a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex for Grand County LLC, located at 1050 S County Line Rd.
3. Consideration of a Conditional Use Permit (Service Station) for Lincolnwood Gas & Food, Inc, located at 1301 W Irving Park Rd.

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)



**TYPE:**Minutes**SUBMITTED BY:**Corey Williamsen**DEPARTMENT:**Village Clerk's Office**DATE:**September 4, 2018**DESCRIPTION:**August 7, 2018 Community Development Commission Minutes

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

**REQUEST:****SUMMARY:****RECOMMENDATION:****ATTACHMENTS:**

Description

**DRAFT\_180807\_CDC**

Upload Date

**8/29/2018**

Type

**Cover Memo**



Village of Bensenville  
Board Room  
12 South Center Street  
DuPage and Cook Counties  
Bensenville, IL, 60106

**MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION**

August 7, 2018

**CALL TO ORDER:** The meeting was called to order by Chairman Rowe at 6:30p.m.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz  
Absent: Rodriguez  
A quorum was present.

**STAFF PRESENT:** K. Pozsgay, C. Williamsen,

**JOURNAL OF PROCEEDINGS:** The minutes of the Special Community Development Commission Meeting of June 23, 2018 were presented.

**Motion:** Commissioner King made a motion to approve the minutes as presented. Commissioner Marcotte seconded the motion.  
All were in favor. Motion carried.

**PUBLIC COMMENT:** There was no Public Comment

**Continued Public Hearing:** CDC Case Number 2018-08  
**Petitioner:** Thornton's, Inc.  
**Location:** 601 N. IL Route 83  
**Request:** A Conditional Use Permit Amendment to Ordinance Ord. No. 53A-2012 to allow for the construction of two additional truck fueling stations, and Variance, stacking; Municipal Code Section 10 – 11 – 11.

**Motion:** Commissioner Wasowicz made a motion to re-open CDC Case No. 2018-08. Commissioner Marcotte seconded the motion.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz  
Absent: Rodriguez  
A quorum was present.



Chairman Rowe re-opened the Public Hearing at 6:32 p.m.

Chairman Rowe swore in Village Planner, Kurtis Pozsgay.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on May 17, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on May 18, 2018. Mr. Pozsgay stated on May 18, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is seeking to amend a previously approved Conditional Use Permit to allow a Gasoline and Diesel Fuel Service Station. Mr. Pozsgay stated the Petitioner wants to add two (2) additional Diesel Fuel service lanes. Mr. Pozsgay stated they also propose to make enhancements to the truck exit by further attempting to restrict left turns onto Foster Avenue, which have been a problem even with the current configuration constructed to limit the movement.

Todd Smutz of Thornton's, Inc. and Eric Tracy of Kimley-Horn & Associates, Inc. were both present and sworn in by Chairman Rowe. Mr. Smutz stated they have worked with the neighborhood and Staff to revise their original plan of wanting to expand to the south to expand to the north. Mr. Smutz stated nothing facing Marshall Road will change on the property, the fence will remain in place.

Chairman Rowe asked what could be done to prevent trucks from making a left turn onto Foster Avenue. Mr. Tracy stated he was working with Staff to find a solution. Mr. Tracy stated higher curbs on site can prevent the issue.

Commissioner Wasowicz raised concern with Mr. Tracy's comments regarding higher curbs indicating truck driver in the Chicagoland area jump curbs all the time.



**Public Comment:**

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case.

**Diane Burda – 581 Marshall Road**

Ms. Burda was present and sworn in by Chairman Rowe. Ms. Burda addressed the Commission with her concern regarding trucks exiting the property through the entrance and making a left turn onto Foster Avenue. Ms. Burda asked the Commission to address the issue with Thornton's.

**Carlos Pinzon – Fas Fuel – 1188 Foster Avenue**

Mr. Pinzon was present and sworn in by Chairman Rowe. Mr. Pinzon stated in 2016 Fas Fuel was denied permission to expand their operation to add diesel fueling on site because according to the Village there was no demand in the area. Mr. Pinzon stated there is clearly a need for diesel fuel in the area since the proposal is for an expansion on diesel tanks. Mr. Pinzon stated Fas Fuel was against any medians being installed on Foster Avenue, as it would affect their operations as well.

Mr. Pozsgay reviewed the approval criteria for the proposed conditional use permit amendment request consisting of:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

**Applicant's Response: The project is proposing to restrict exiting left turns from the store to increase safety on Foster Avenue.**

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

**Applicant's Response: There will not be any adverse environmental effects.**

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.



**Applicant's Response: The character of the neighborhood will not be altered.**

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

**Applicant's Response: The expansion will not affect the use of public services and facilities.**

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

**Applicant's Response: The expansion of two diesel fuel canopies will allow Thorntons to better serve the existing corridor.**

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

**Applicant's Response: No response.**

Mr. Pozsgay reviewed the approval criteria for the proposed variance request consisting of:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

**Response: Space does not exist on the site to provide additional stacking for the proposed fuel positions. The proposed fuel positions will allow Thorntons to serve customers more efficiently and allow for more customers to be served in less time which will help to alleviate stacking.**

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.



**Response: Adhering to the stacking requirements would result in a hardship for Thorntons. Thorntons would not be able to provide the additional dispensers at the store.**

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

**Response: The stacking area between the entrance to the fuel dispenser area and the fuel canopy does not have adequate space to allow for the additional stacking requirements.**

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

**Response: The special circumstances have not been created by the applicant and are existing site conditions.**

5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

**Response: Given the unique site constraints, granting of the variance does not provide special privilege to the development.**

6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.



**Response: The granting of the variance is necessary for Thorntons to be able to provide additional fueling lanes to serve customers more efficiently.**

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

**Response: The granting of the Variance will not alter the essential character of the area.**

8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

**Response: The granting of the Variance will be consistent with the existing conditional use. The variance will provide Thorntons the ability to serve their customers more effectively.**

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

**Response: The variance requested is the minimum variation needed. Thorntons would not be able to provide the additional dispensers at the store.**

Mr. Pozsgay stated Staff recommends the approval of the above Findings of Fact and therefore the approval of the Conditional Use Permit Amendment and Variance with the following condition:

1. The property be developed in substantial compliance with the plans submitted Kimley-Horn, Inc. dated 03.01.18 and revised 06.21.18;
2. New fueling lanes to be developed on north side of property as proposed in revised plans, away from homes to the south;
3. Applicant works with homes to the south to address light from signage;
4. Applicant fixes fence along Foster Avenue;
5. Applicant works with engineering on final changes to site plan regarding truck movements onto Foster Avenue.



There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-08. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:53 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact for CDC Case No. 2018-08 as presented by Staff and to approve the Amendment to Conditional Use Permit and Variance. Commissioner Wasowicz seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

**Public Hearing:** CDC Case Number 2018-12  
**Petitioner:** Lincolnwood Gas & Food, Inc.  
**Location:** 1301 West Irving Park Road  
**Request:** Conditional Use Permit (Service Station)

Motion: Commissioner Marcotte made a motion to open CDC Case No. 2018-12. Commissioner Wasowicz seconded the motion.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz  
Absent: Rodriguez  
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:54 p.m.

Motion: Commissioner Marcotte made a motion to continue CDC Case No. 2018-12 until September 4, 2018. Commissioner King seconded the motion.



**ROLL CALL:** Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

**Public Hearing:** CDC Case Number 2018-17  
**Petitioner:** Kamil Matyja  
**Location:** 751 South Center Street  
**Request:** Variance, Shed Size, Municipal Code Section 10-14-12B-3

**Motion:** Commissioner Marcotte made a motion to open CDC Case No. 2018-17. Commissioner Wasowicz seconded the motion.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz  
Absent: Rodriguez  
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:55 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on July 19, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on July 20, 2018. Mr. Pozsgay stated on July 20, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner had a stop work order for building a new shed with attached deck without a permit. Mr. Pozsgay stated he was replacing an old tired shed. Mr. Pozsgay stated the new shed is larger than allowed by code. Mr. Pozsgay stated the shed is 257 square feet and the attached deck with roof is 128 square feet. The maximum allowed shed size by code is 160 square feet.



Mr. Kamil Matyja, property owner was present and sworn in by Chairman Rowe. Mr. Matyja reviewed the proposed plans with the Commission.

Commissioner King asked if there was electricity ran to the shed. Mr. Matyja stated no electricity would be ran to the shed.

Commissioner Wasowicz asked what the flooring of the shed would be. Mr. Matyja stated the floor will be made of plywood and 2x4's.

Commissioner Czarnecki asked if a car would be parked in the shed. Mr. Matyja stated no, just a lawn mower and other yard tools.

**Public Comment:**

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed variance request consisting of:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

**Response:** Plans to build a new shed started when my old shed completely gave out. I applied for a variance because it is approximately 100 sq. ft. bigger as determined by the village. I'm hoping to get the permits approved so that I can beautify my little piece of Bensenville.

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.



**Response: If I would have to reconfigure the size of my shed, it will be at great cost to my family and me. Also I would like to get it done as soon as possible because all my yard and gardening tools are covered by a tarp on my yard.**

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

**Response: The main reason I'm applying for the variance is because the shed exceeds approximately 100 sq. ft. more than allowed by village ordinance.**

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

**Response: There has not been any action taken, on our part, to proceed with construction. We now know that a Variance is needed in order to proceed with obtaining the permit, for construction to resume.**

5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

**Response: Alot of the sheds in my neighborhood that are newer have been built to exceed the village ordinance and I would like to enjoy the same right to improve and enhance my property while living in Bensenville.**



6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

**Response: Without the variance, I will not be able to enjoy the additional space I need to make my yardwork, gardening and honestly my life a little bit easier. In other words I would have to make costly and time consuming changes to the shed.**

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

**Response: The shed, will not in any way impair the environmental quality or welfare of the vicinity in which I live in and it will have little to no effect on the property value because an old shed was on the property when I bought it.**

8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

**Response: If this Variance is granted, it will, in no way, interfere with the General Development Plan adopted by the Village of Bensenville.**

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

**Response: If the Variance is approved, we will be able to proceed with our plans to obtain a permit and resume construction without incurring additional costs.**



Mr. Pozsgay stated Staff recommends the approval of the findings of fact as they appear above and therefor recommend approval of the request with the following conditions:

1. Complete building plans shall be provided.
2. Shed must meet all current building code standards.
3. Shed must be moved outside of the easement.
4. Shed must not impede any exiting drainage or cause any drainage issues to neighboring sites.

There were no questions from the Commission.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-17. Commissioner Ciula seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 7:03 p.m.

Motion: Commissioner Wasowicz made a combined motion to approve the Findings of Fact for CDC Case No. 2018-17 as presented by Staff and to approve the Variance. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Ciula, Czarnecki, Marcotte, King, Wasowicz

Nays: None

All were in favor. Motion carried.

### **Report from Community**

**Development:** Mr. Pozsgay reviewed both recent CDC cases along with upcoming cases.



**ADJOURNMENT:** There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner King seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:13 p.m.



**TYPE:**Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**09.04.18**DESCRIPTION:**Consideration of a Variance (fence, corner side yard) for Ion Lucian Faltinski, located at 401 S. Barron St.**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☒*Enrich the lives of Residents**Major Business/Corporate Center**Vibrant Major Corridors***REQUEST:**

Variance, fence in corner side yard,

Municipal Code Section 10 – 14 – 11E – 1.

**SUMMARY:**

1. The Petitioner is applying for a Variance for a fence in their corner side yard.
2. They were originally approved for a fence in their back yard between the garage and house.
3. They now want to be able to extend that fence toward W. Washington Street.
4. Code dictates that they can't go past the building line.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Ion Lucian Faltinski with the following conditions:

1. Fence must be built 5 feet from property line.
2. Fence must be no more than 5 feet of solid material, with the remaining made of lattice.
3. Applicant needs to apply for permit and pave their gravel parking pad.
4. Applicant needs to apply for gazebo permit.

**ATTACHMENTS:**

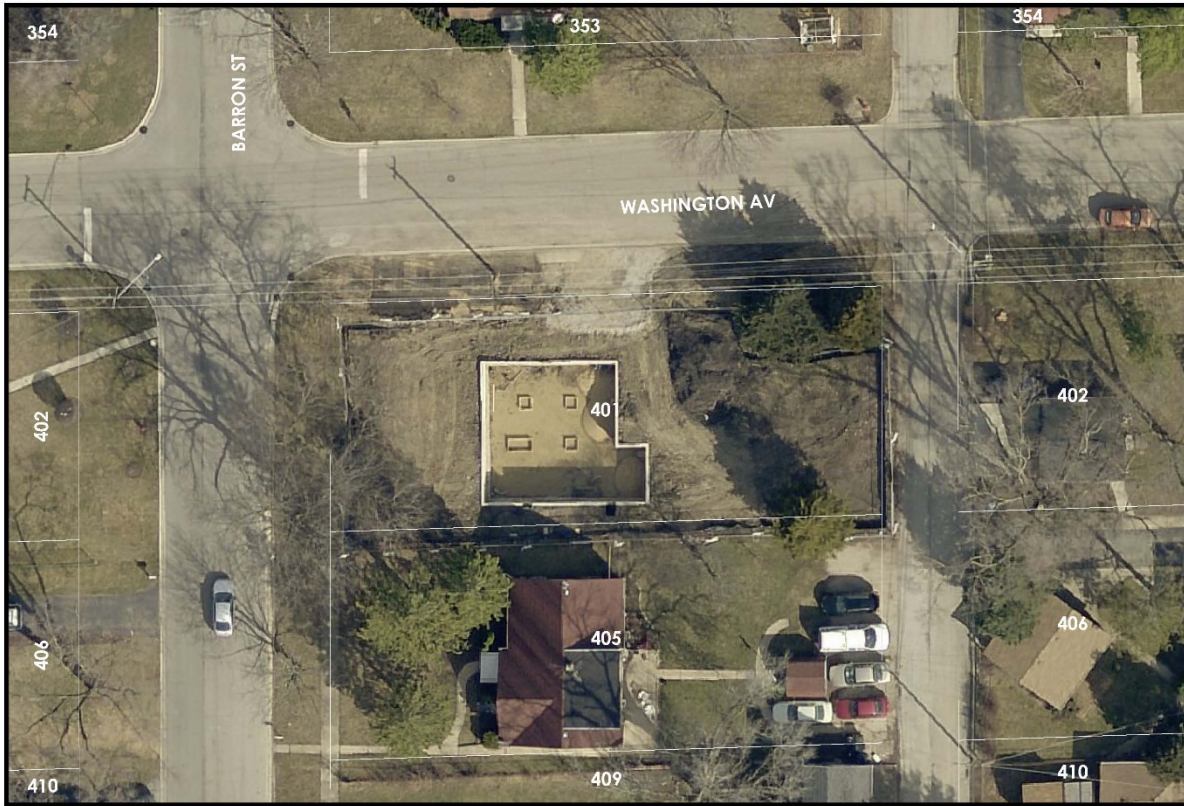
Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Application</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>8/29/2018</b>	<b>Executive Summary</b>
<b>Plat of Survey</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Plans</b>	<b>8/29/2018</b>	<b>Backup Material</b>





# Village of Bensenville

401 S Barron

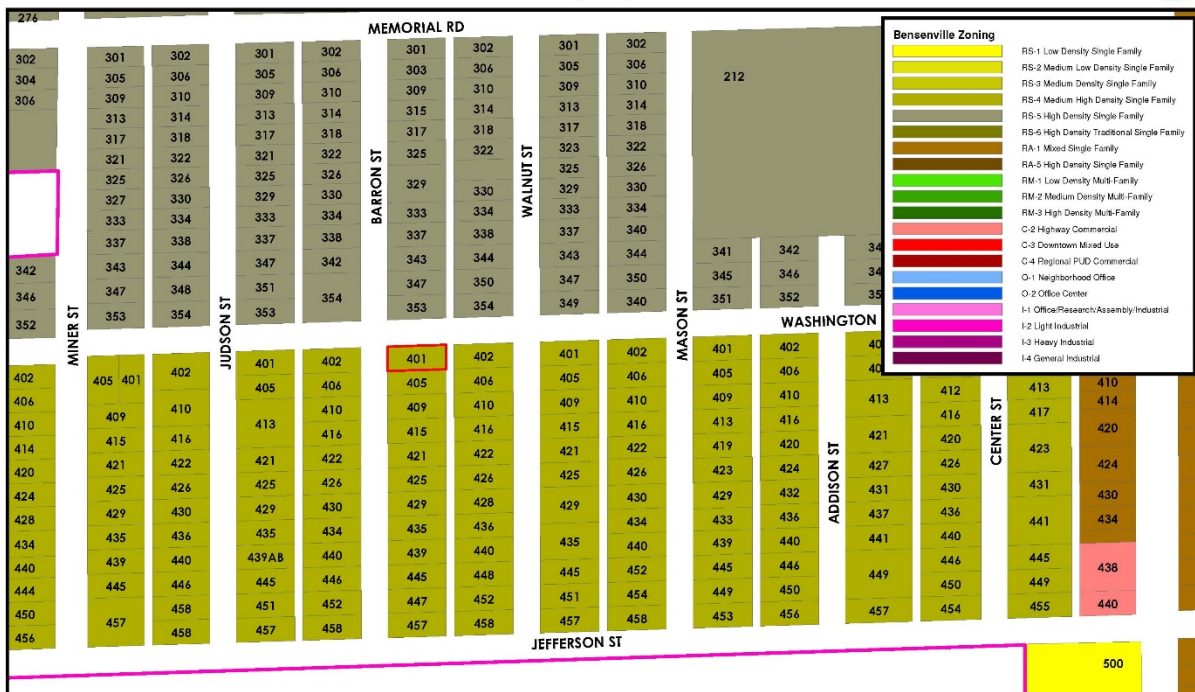


Date: 1/30/2018



# Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, September 4, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 16 to consider a request for:

Variance, fence in corner side yard,  
Municipal Code Section 10 – 14 – 11E – 1.

401 South Barron Street is in a RS – 4 Medium High Density Single Family district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOT 161 IN VOLK BROTHER'S EDGEWOOD, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213084, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 401 South Barron Street, Bensenville, Illinois.

Ion Lucian Faltinski of 401 South Barron Street, Bensenville, IL 60106 is the owner and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through September 4, 2018 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
August 16, 2018**



For Office Use Only		
Date of Submission: <u>07.25.18</u>	MUNIS Account #: <u>8418</u>	CDC Case #: <u>2018-16</u>

## COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 401 S Barron St.

Property Index Number(s) (PIN): 8178

**A. PROPERTY OWNER:**

ION LUCIAN Faltinski  
 Name \_\_\_\_\_ Corporation (if applicable) \_\_\_\_\_  
401 S Barron St.  
 Street \_\_\_\_\_  
Bensenville IL. 60106  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_

Contact Person ION Lucian Faltinski Telephone Number & Email Address (773) 531 8022

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: [Signature] Date: 06.11.18

**B. APPLICANT:** ☒ Check box if same as owner

Name \_\_\_\_\_ Corporation (if applicable) \_\_\_\_\_  
 Street \_\_\_\_\_  
 City \_\_\_\_\_ State \_\_\_\_\_ Zip Code \_\_\_\_\_  
 Contact Person \_\_\_\_\_ Telephone Number & Email Address \_\_\_\_\_  
 Relationship of Applicant to subject property \_\_\_\_\_

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**C. ACTION REQUESTED (Check applicable):**

- ☐ Annexation
- ☐ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development\*\*
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☒ Variance

\*Item located within this application packet.

\*\*See staff for additional information on PUD requests

**SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):**

- ☒ Affidavit of Ownership\* (signed/notarized)
- ☒ Application\*
- ☒ Approval Criteria
- ☒ Legal Description of Property
- ☒ Plat of Survey
- ☐ Site Plan
- ☒ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☒ Review Fee (Application Fee + Escrow)
- ☒ Escrow agreement and deposit\*
- ☐ Digital Submission of all application materials (CD)



**Brief Description of Request(s):** (Submit separate sheet if necessary)

fence corner side yard

**D. PROJECT DATA:**

1. General description of the site: residential
2. Acreage of the site: 8 700 SF Building Size (if applicable): 1500 SF
3. Is this property within the Village limits? (Check applicable below)  
☒ Yes  
☐ No, requesting annexation  
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	<u>RS-4</u>	<u>residential</u>	<u>Bensenville</u>
North:	<u>RS-5</u>	<u>↓</u>	<u>↓</u>
South:	<u>RS-4</u>	<u>↓</u>	<u>↓</u>
East:	<u>↓</u>	<u>↓</u>	<u>↓</u>
West:	<u>↓</u>	<u>↓</u>	<u>↓</u>

**E. DEVELOPER'S STAFF (if applicable):**

**ARCHITECT**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

**ENGINEER:**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

**ATTORNEY**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

**OTHER**

Name: \_\_\_\_\_

Telephone: \_\_\_\_\_

Email: \_\_\_\_\_

**F. APPROVAL CRITERIA:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."



### STAFF REPORT

**HEARING DATE:** September 4, 2018  
**CASE #:** 2018 – 16  
**PROPERTY:** 401 S. Barron St.  
**PROPERTY OWNER:** Ion Lucian Faltinski  
**APPLICANT** same  
**SITE SIZE:** 8,700 SF  
**BUILDING SIZE:** 1,450 SF  
**PIN NUMBERS:** 03-23-209-001  
**ZONING:** RS – 4 Medium High Density Single Family District  
**REQUEST:** Variance, fence in corner side yard,  
Municipal Code Section 10 – 14 – 11E – 1.

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday August 16, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday August 17, 2018.
3. On Friday August 17, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The Petitioner is applying for a Variance for a fence in their corner side yard. They were originally approved for a fence in their back yard between the garage and house. They now want to be able to extend that fence toward W. Washington Street. Code dictates that they can't go past the building line.

### **SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>North</b>	RS – 5	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>West</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>East</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville



**DEPARTMENT COMMENTS:**

***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

Account up to date.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:

Economic Development:

No comments.

Fire Safety:

No fire safety issues.

Building:

- 1) Fence should be held back from the alley so vehicles pulling out of the garage can see any traffic coming from the north end of the alley. (vision triangle)
- 2) If they are looking for privacy, why is there no proposed fence on the south side of garage?
- 3) They installed a gravel parking area without a permit.
- 4) Per their attached letter, it appears they also installed a gazebo without a permit.
- 5) Certificate of Occupancy is ready for pick up at Village Hall.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for this property.
- 2) A fence was originally approved in an appropriate location between the house and garage. The applicant then wished to extend the fence 10 feet toward Washington.
- 3) Even if we approve the fence extension, it is typical to require a 5 foot setback along Village right-of-way.
- 4) There are several examples of fences in corner side yards along Washington Ave. None go right up to the property line as proposed.

(see examples below)

South West Washington and Barron (across the street)





South East Washington and Mason



- 5) Staff would prefer that no fence is solid over 5' high; lattice for the remainder.

**APPROVAL CRITERIA FOR VARIANCES:**

The Community Development Commission shall not recommend nor shall the Village Board grant a variance unless it shall make findings based upon the evidence presented to it in each specific case that:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature



as to make it reasonable and practical to provide a general amendment to this Title to cover them.

**Response: There have been several homes in the corner lot (sic) in our street and our city all have fences for privacy.**

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

**Response: We need this fence around our corner lot and home.**

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

**Response: We just bought this house new construction on June 2018 we work hard for this property.**

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

**Response: none given**

5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

**Response: We have our nice garden and new concrete and gazebo we need privacy because is in the corner we don't want to everybody look in our yard.**

6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

**Response: Without this fences we are not be able to to enjoy the additional space.**

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.



**Response: We also like to reserve some right to improve and enhance our yard space while residing in Bensenville.**

- 8. Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

**Response: If this fences (sic) is granted, it will in no way interfere with the General Development Plan.**

- 9. Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

**Response: If the Variance is approved, we will be able to proceed with our plans to obtain a permit and begin to install the fences.**

<b>Variances Approval Criteria</b>	<b>Meets Criteria</b>	
	<i>Yes</i>	<i>No</i>
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variance Needed	X	

#### **RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Ion Lucian Faltinski with the following conditions:

1. Fence must be built 5 feet from property line.
2. Fence must be no more than 5 feet of solid material, with the remaining made of lattice.
3. Applicant needs to apply for permit and pave their gravel parking pad.
4. Applicant needs to apply for gazebo permit.

Respectfully Submitted,  
Department of Community  
& Economic Development



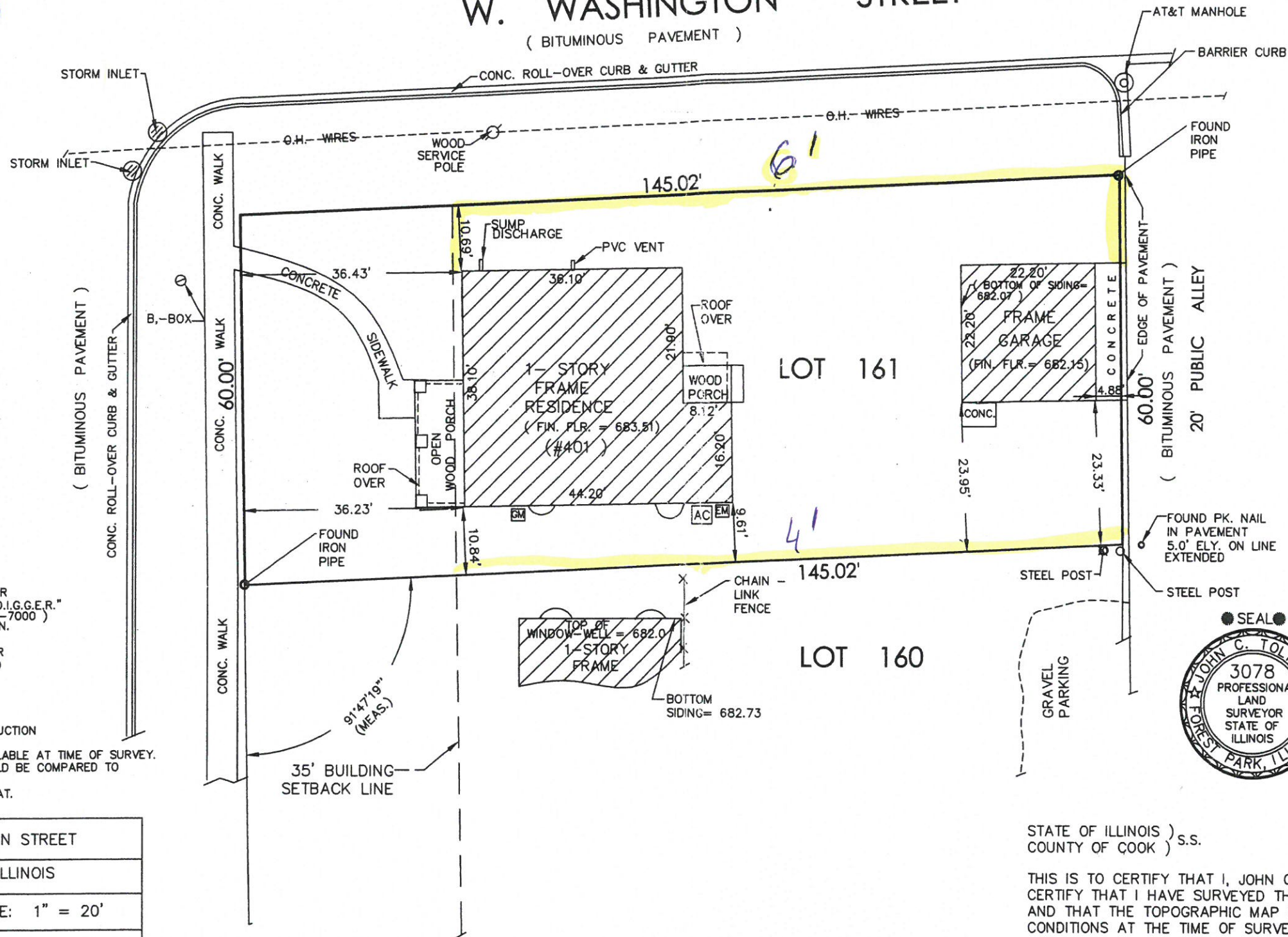
# PLAT OF SURVEY

LOT 161 IN VOLK BROTHER'S EDGEWOOD, BEING A SUBDIVISION IN THE NORTHEAST QUARTER OF SECTION 23, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213084, IN DUPAGE COUNTY, ILLINOIS.

W. WASHINGTON STREET  
(BITUMINOUS PAVEMENT)

BARRON STREET

SCALE: 1" = 20.'



## LEGEND

- FRS = FOUND RAILROAD SPIKE
- FIP = FOUND IRON PIPE
- FIR = FOUND IRON ROD
- FIB = FOUND IRON BAR
- FPK = FOUND PK NAIL
- FCC = FOUND CUT CROSS
- FN = FOUND CUT NOTCH
- SIP = SET IRON PIPE
- SCC = SET CUT CROSS
- SPK = SET PK NAIL
- REC = RECORD INFORMATION
- MEAS = MEASURED INFORMATION
- CALC = CALCULATED INFORMATION
- FC = FENCE CORNER
- TF = TOP OF FOUNDATION
- FF = FINISHED FLOOR
- FFG = FINISHED FLOOR GARAGE
- TC = TOP OF CURB
- FL = FLOW LINE
- INV = INVERT
- CONC = CONCRETE
- BIT = BITUMINOUS
- FRM = FRAME
- BRK = BRICK
- CMP = CORRUGATED METAL PIPE
- UE = UTILITY EASEMENT
- PUE = PUBLIC UTILITY EASEMENT
- PU&DE = PUBLIC UTILITY & DRAINAGE EASEMENT
- FC = FENCE CORNER
- N = NORTH
- S = SOUTH
- E = EAST
- W = WEST
- OH = OVERHANG
- FRM = FRAME
- = IRON PIPE
- + = CUT CROSS
- x-x = CHAIN-LINK FENCE
- = WOOD FENCE / PVC FENCE
- = IRON FENCE
- TR = TRANSFORMER (PAD)
- AC = AIR CONDITIONER
- GM = GAS METER
- EM = ELECTRIC METER
- = UTILITY PEDESTAL
- = MANHOLE/CATCHBASIN
- = STORM INLET
- = UTILITY POLE
- = ANCHOR (GUY WIRE)
- = LIGHTPOLE
- = TRAFFIC SIGNAL POLE
- = SIGN
- = MAILBOX

## GENERAL NOTES:

- 1.) CALL: "J.U.L.I.E." #1-800-892-1234 PRIOR TO ANY DIGGING OR CONSTRUCTION. (CALL "D.I.G.G.E.R." FOR THE CITY OF CHICAGO ONLY #312-744-7000)
- 2.) NO UNDERGROUND UTILITIES SHOWN HEREON.
- 3.) REFER TO LOCAL ZONING AND SUBDIVISION ORDINANCES AND YOUR TITLE COMMITMENT FOR ANY PROPERTY RESTRICTIONS, SETBACKS AND EASEMENTS NOT SHOWN HEREON.
- 4.) THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S RAISED SEAL AFFIXED.
- 5.) COMPARE ALL POINTS AND REPORT ANY DIFFERENCES TO SURVEYOR PRIOR TO CONSTRUCTION AT ONCE.
- 6.) A CURRENT TITLE POLICY WAS MADE AVAILABLE AT TIME OF SURVEY.
- 7.) LEGAL DESCRIPTION SHOWN HEREON SHOULD BE COMPARED TO RECORDED DEED OR TITLE COMMITMENT.
- 8.) DO NOT SCALE DIMENSIONS FROM THIS PLAT.

COMMON ADDRESS: # 401 BARRON STREET

BENSENVILLE, ILLINOIS

ORDER NO: R18-300.1S

SCALE: 1" = 20'

FIELD DATE: 05/08/2018

BOOK: 44 PAGE: 71.

PREPARED FOR: ROMAN LEWIS

## PROFESSIONAL LAND SERVICES, L.L.C.

LAND SURVEYING AND MAPPING  
7518 W. MADISON AVE., STE. 2C - FOREST PARK, IL. 60130  
PHONE: 708.488.1733 FAX: 708.488.1765 E-MAIL: prolandserv@sbcglobal.net

RESIDENTIAL ■ COMMERCIAL ■ TOPOGRAPHIC ■ CONSTRUCTION ■ CONDOS ■ ALTA ■ MUNICIPAL ■ ENVIRONMENTAL

STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

THIS IS TO CERTIFY THAT I, JOHN COLIN TOLINE, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE TOPOGRAPHIC MAP HEREON DRAWN REPRESENTS EXISTING CONDITIONS AT THE TIME OF SURVEY.

*John Colin Toline*  
JOHN COLIN TOLINE, P.L.S. # 35-3078  
MY COMMISSION EXPIRES NOVEMBER 30, 2018  
PROFESSIONAL LAND SERVICES, L.L.C.  
ILLINOIS PROFESSIONAL DESIGN FIRM REGISTRATION # 184-004648





HOUSE

42" GATE

66" FENCE PANEL

4" POST

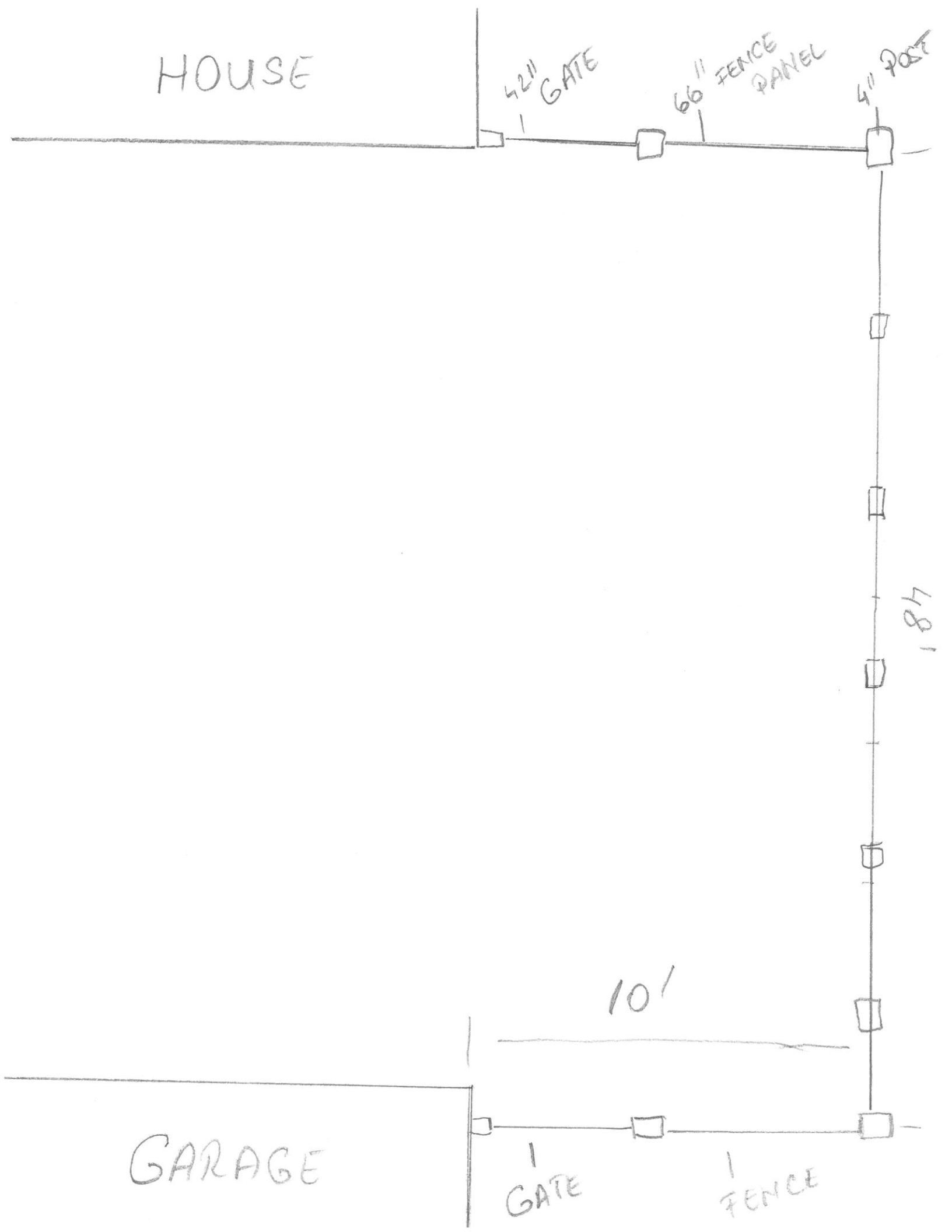
18'

10'

GARAGE

1 GATE

1 FENCE





**TYPE:**Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**09.04.18**DESCRIPTION:**

Consideration of a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex for Grand County LLC, located at 1050 S County Line Rd.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

<input checked="" type="checkbox"/>	<i>Financially Sound Village</i>	<input checked="" type="checkbox"/>	<i>Enrich the lives of Residents</i>
	<i>Quality Customer Oriented Services</i>	X	<i>Major Business/Corporate Center</i>
X	<i>Safe and Beautiful Village</i>	X	<i>Vibrant Major Corridors</i>

**REQUEST:**

Preliminary and Final Planned Unit Development,  
Conditional Use Permit and Site Plan Review  
to construct a sports complex with code deviations to  
Parking Lot Construction and Landscaping requirements,  
Municipal Code Sections 10 – 11 – 8 – 2 and 10 – 12 – 2.

**SUMMARY:**

1. The Petitioner is applying for a Planned Unit Development (PUD), Conditional Use Permit and Site Plan Review to operate a Sports Complex at the vacant property north of the hotels at Grand Ave and County Line Rd.
2. The plan calls for an enclosed 108,088 square foot sports dome and two turf fields totaling over 180,000 square feet.
3. They also propose 344 parking spaces (132 9-foot stalls, 204 10-foot stalls, and 8 accessible).
4. They are proposing to reduce the number landscape islands in the parking area and to not include standard curb and gutter.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the PUD for Grand County LLC with the following conditions:

1. Developed in accordance with the plans prepared by SpaceCo dated 06.22.2018 last.
2. Site Plan to be revised to include parking lot curb and gutter according to code.
3. A full landscaping plan to be submitted and approved by staff to include increased parking lot landscaping and additional perimeter landscaping.
4. Phasing / Timing. Final plans must be submitted within 12 months of preliminary approval. A development schedule should be submitted to staff at that time.
5. A parking lot and outdoor sport fields lighting plan should be submitted for review, to include no bleeding of light onto neighboring properties.
6. Sidewalks will be installed connecting to the sites to the south and east.
7. A path connecting the owner's property to the east should include bike considerations that tie into the County Line Road bike path. Bike parking shall be included on site.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Application</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>8/29/2018</b>	<b>Executive Summary</b>



<b>Site Improvement Plans</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Dome plans</b>	<b>8/29/2018</b>	<b>Backup Material</b>
<b>Plat of Survey</b>	<b>8/29/2018</b>	<b>Backup Material</b>



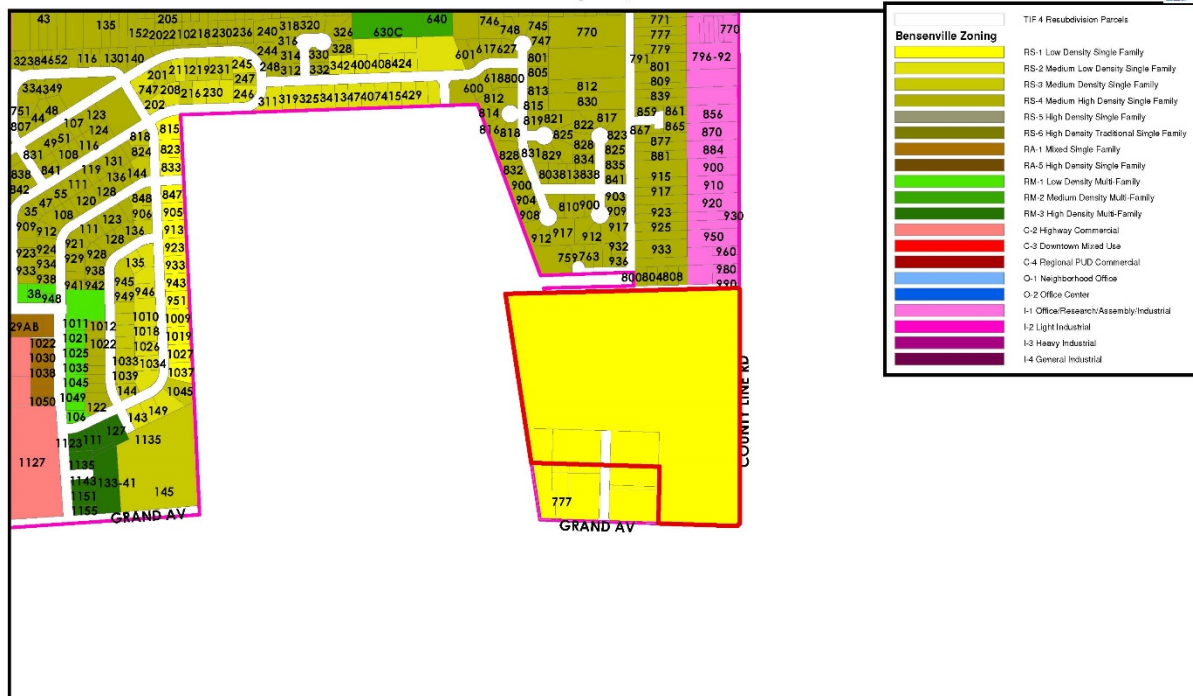
## Village of Bensenville

PIN 03-25-200-008



## Village of Bensenville

## Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Monday, September 4, 2018 at 6:30 P.M the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review case No. 2018 – 18 to consider a request to grant a Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex with code deviations to Parking Lot Construction and Landscaping requirements, Municipal Code Sections 10 – 11 – 8 – 2 and 10 – 12 – 2 located at 1050 S County Line Road in an existing RS-1 Low Density Single-Family Residential District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, Illinois.

The Legal Description is as follows:

LOT 2 (EXCEPT THAT PART THEREOF LYING WITHIN THE RIPARIAN CONSERVATION EASEMENT SHOWN ON THE PLAT OF SEXTON PROPERTY REDEVELOPMENT AND ALSO EXCEPT THAT PART THEREOF LYING WEST OF THE RIPARIAN CONSERVATION EASEMENT AND SOUTH OF A LINE DESCRIBED BY BEGINNING AT A POINT ON THE WEST LINE OF SAID LOT 2 WHICH IS 943.30 FEET SOUTH OF THE NORTHWEST CORNER OF SAID LOT, AS MEASURED ALONG THE WEST LINE THEREOF; THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST, PARALLEL WITH THE SOUTH LINE OF SAID LOT 2, 899.18 FEET; THENCE NORTH 01 DEGREES 45 MINUTES 44 SECONDS EAST 50.00 FEET; THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST 56.37 FEET TO THE WEST LINE OF THE RIPARIAN CONSERVATION EASEMENT AND THE TERMINATION OF SAID LINE), ALL IN SEXTON PROPERTY REDEVELOPMENT, BEING A SUBDIVISION OF PART OF THE NORTH EAST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 2002 AS DOCUMENT NUMBER R 2002-198616, IN DUPAGE COUNTY, ILLINOIS.

Commonly referred to as 1050 S. County Line Road.

Grand County LLC of 165 W. Lake St., Northlake, IL 60164 are the owners and applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through September 4, 2018 until 5:00 P.M.



Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT,  
August 16, 2018**



**RECEIVED**  
JUL 12 2018

For Office Use Only

Date of Submission: \_\_\_\_\_ MUNIS Account #: \_\_\_\_\_ CDC Case #: 2018-18  
By: \_\_\_\_\_

### COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: County Line Rd. Bensonville, IL 60106

Property Index Number(s) (PIN): 03-25-200-008

**A. PROPERTY OWNER:**

Name: Grand County LLC Corporation (if applicable)  
 Street: 165 W Lake Street  
 City: Northlake State: IL Zip Code: 60164  
 Contact Person: GREG RZEDZIAN Telephone Number & Email Address: Greg@gotdlogistics.net 708-338-0703 ext. 32

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: [Signature] Date: 7-6-18  
 Prop. Owner Sign. X [Signature] 7-6-18

**B. APPLICANT:** ☒ Check box if same as owner

Name: \_\_\_\_\_ Corporation (if applicable)  
 Street: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip Code: \_\_\_\_\_  
 Contact Person: \_\_\_\_\_ Telephone Number & Email Address: \_\_\_\_\_  
 Relationship of Applicant to subject property: \_\_\_\_\_

Applicant Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**C. ACTION REQUESTED (Check applicable):**

- ☐ Annexation
- ☐ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development\*\*
- ☒ Plat of Subdivision
- ☒ Rezoning (Map Amendment)
- ☒ Site Plan Review
- ☐ Variance

\*Item located within this application packet.

\*\*See staff for additional information on PUD requests

**SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):**

- ☐ Affidavit of Ownership\* (signed/notarized)
- ☐ Application\*
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit\*
- ☐ Digital Submission of all application materials (CD)



**Brief Description of Request(s):** (Submit separate sheet if necessary)

REZONING AND SUBDIVISION OF THE SITE  
AND SITE PLAN APPROVAL FOR PROPOSED  
BENSENVILLE SPORTS COMPLEX

**D. PROJECT DATA:**

1. General description of the site: FORMER LANDFILL AND VACATED GOLF COURSE
2. Acreage of the site: 19.98 Building Size (if applicable): 108,345 S.F. DOME  
& 8,014 S.F. CLUBHOUSE
3. Is this property within the Village limits? (Check applicable below)  
☒ Yes  
☐ No, requesting annexation  
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)  


---

**5. Character of the site and surrounding area:**

	Zoning	Existing Land Use	Jurisdiction
Site:	<u>RS-1</u>	<u>VACANT</u>	<u>BENSENVILLE</u>
North:	<u>RS-4 &amp; E-1</u>	<u>SINGLE FAMILY &amp; OFFICE</u>	<u>BENSENVILLE</u>
South:	<u>RS-1</u>	<u>SINGLE FAMILY (HOTELS)</u>	<u>BENSENVILLE</u>
East:	<u>I-2</u>	<u>GENERAL INDUSTRIAL</u>	<u>FRANKLIN PARK</u>
West:	<u>R-3</u>	<u>SINGLE FAMILY (GOLF)</u>	<u>COOK COUNTY</u>

**E. DEVELOPER'S STAFF (if applicable):**

ARCHITECT CHARLES SMITH  
 Name: ARETE DESIGN STUDIO, LTD.  
 Telephone: 815-485-7333  
 Email: CSMITH@ARETE-LTD.COM

ENGINEER: IRENA WICZKOWSKI  
 Name: SPACECO, INC.  
 Telephone: 847-696-4060  
 Email: IWICZKOWSKI@SPACECOINC.COM

ATTORNEY GARY MUELLER  
 Name: GARY S. MUELLER & ASSOC.  
 Telephone: 815-725-7300  
 Email: GSM@MUELLAW.COM

OTHER  
 Name:  
 Telephone:  
 Email:

**F. APPROVAL CRITERIA:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."



STATE OF ILLINOIS

)

)SS.

COUNTY OF DUPAGE AND COOK

)

### AFFIDAVIT OF OWNERSHIP

I Grzegorz Rzedzian the undersigned Affiant, being first duly sworn,  
on oath states:

1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

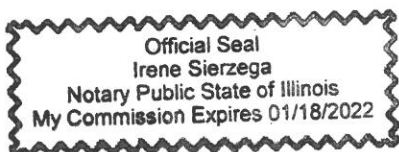
IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership  
this 6th day of, July, 2018.



Signature

SUBSCRIBED and SWORN to  
before me this 6th day of, July, 2018.

Irene Sierzega  
Notary Public





STATE OF ILLINOIS

)  
)SS.  
)

COUNTY OF DUPAGE AND COOK

**AFFIDAVIT OF OWNERSHIP**

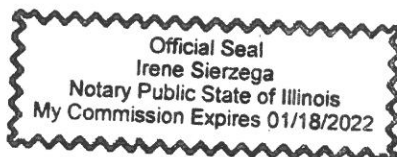
I Tomasz Rzedzian the undersigned Affiant, being first duly sworn,  
on oath states:

1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WITNESS WHEREOF, the undersigned has executed this Affidavit of Ownership  
this 10th day of, July 2018.

Signature

SUBSCRIBED and SWORN to  
before me this 10th day of, July, 2018  
Irene Sierzega  
Notary Public





For Office Use Only

DATE: \_\_\_\_\_ MUNIS Acct. # \_\_\_\_\_ CDC Case #: \_\_\_\_\_

REVIEW ESCROW/REIMBURSEMENT OF FEES

1. OWNER

*Tomasz Rzedzian - President of Grand County LLC*  
Name: *Grzegorz Rzedzian - President of Grand County LLC*  
Address: *165 W. Lake Street, Northlake, IL 60164*  
Telephone: *708-338-0303 ext. 322* Email: *greg@gotologistics.net*

If Owner is a Land Trust, the names and addresses of the beneficiaries of the Trust

2. APPLICANT

Name: *same as above*  
Address: \_\_\_\_\_  
Telephone: \_\_\_\_\_ Email: \_\_\_\_\_

3. LOCATION OF PROPERTY

Address: *County Line Rd. Bensonville, IL 60106*  
Acreage: \_\_\_\_\_  
Property Index Number (s): *03-25-200-008*

4. LEGAL DESCRIPTION

(Please attach as "Exhibit A")



REIMBURSEMENT OF FEES
-----------------------

Should the Village, in its sole and exclusive discretion, determine that it is necessary or desirable for the Village to obtain professional services, including, but not limited to, attorneys, engineers, planners, architects, surveyors, court reporters, traffic, appraisers, environmental, drainage or other consultants, including full and/or part time site inspection services during the actual construction of any required improvements, and/or to incur costs related to any required notices or recordations, in connection with any Petition or Application filed by the Petitioner/Applicant, a copy of which is attached hereto and incorporated herein as Exhibit B, then the Petitioner/Applicant and Owner shall be jointly and severally liable for the payment of such professional fees and costs, as shall actually be incurred by the Village, plus an additional ten percent (10%) to cover the Village's administrative expenses.

The President and Board of Trustees and/or Village Administrator are hereby authorized to assign the afore described services to the Village staff or to consultants, as they deem appropriate. When the Village staff render any services contemplated by this Agreement, then in such case the Village shall be reimbursed for its cost incurred in providing said services. Said reimbursement shall be at the rate of fifty dollars (\$50.00) per hour, plus an additional ten percent (10%) to cover the Village's administrative expenses.

At the time the Petitioner/Applicant requests action from the Village, he shall deposit the following amounts with the Village as an initial deposit to collateralize the obligation for payment of such fees and expenses:

Number of Review Items	< 5 acres	5 ≤ 15 acres	16 ≤ 75 acres	> 75 acres
1	\$1,000	\$2,000	\$3,000	\$4,000
2 to 3	\$2,000	\$4,000	\$5,000	\$7,000
≥ 4	\$3,000	\$5,000	\$7,000	\$10,000

The Village shall deduct the incurred expenditures and costs from the funds deposited. If the remaining deposit balance falls below \$500.00, the Petitioner/Applicant, upon notice by the Village, shall be required to replenish the deposit to its original amount. The Village shall send the Petitioner/Applicant regular invoices for the fees and costs incurred. The Petitioner/Applicant shall replenish the deposit amount within fifteen (15) days of receipt of an invoice directing the replenishment of said deposit. Failure to remit payment within fifteen (15) days will cause all reviews to cease.

A Petitioner/Applicant who withdraws his Petition or Application may apply in writing to the Village Clerk for a refund of his initial deposit. The Village Manager may, in his discretion, approve such refund less any actual fees and costs, which the Village has already paid or incurred relative to the Petition or Application.

Upon the failure of the Petitioner/Applicant or Owner to reimburse the Village in accordance with this Agreement, no further action shall be undertaken on any Petition or Application by the Village President and Board of Trustees, or by any other official or quasi-official individual or body



thereunder, including the conduct of any hearings or deliberations, the granting of any relief or approvals, and the execution or recording of any documents, until all such outstanding fees are paid in full and/or the initial deposit is restored to its full amount. Further, the Village may deny any application for a grading, building or other permit if such amounts have not been paid in full. Upon any failure to reimburse the Village in accordance with this Section, the Village may in its discretion, apply any or all of the initial deposit to

the outstanding balance due and/or elect to place a lien against any real property associated with the Petitioner/Applicant's Petition or Application. In the event such amounts are not paid in full within sixty (60) days after the date when the statement of such amounts due is delivered or deposited in the U.S. mail by the Village, such amounts due shall be deemed delinquent and thereafter a delinquency charge of one percent (1%) per month, or portion thereof, with a minimum delinquency charge of \$5.00 per month, shall be added to the amount due until such amount due, including all delinquency charges, is received by the Village. Said lien shall be in an amount equal to the outstanding amount owed to the Village.

The remedies available to the Village as set forth hereinabove are non-exclusive and nothing herein shall be deemed to limit or waive the Village's right to seek relief of such fees against any or all responsible parties in a court of competent jurisdiction.

Any remaining balance of any funds deposited pursuant to this Agreement shall be refunded at such time as the Village accepts all required improvements within the development, pursuant to any improvement agreement executed in connection with the development of the real property associated with Petitioner's/Applicant's Petition or Application. In the event that no improvements are required, any such balance shall be refunded upon the later occurring of the following events: completion of Village deliberation on the petition or application, recordation of all necessary documents associated with the petition or application, or issuance of a building permit upon the real property in question.

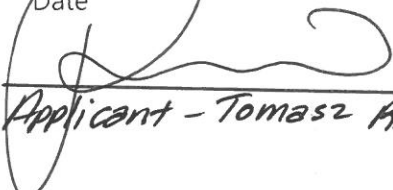
BY SIGNING BELOW, THE PETITIONER/APPLICANT AND OWNER ACKNOWLEDGE THAT EACH OF THEM HAS READ THE FOREGOING PARAGRAPHS AND EACH OF THEM FULLY UNDERSTANDS AND AGREES TO COMPLY WITH THE TERMS SET FORTH HEREIN. FURTHER, BY SIGNING BELOW, EACH SIGNATORY WARRANTS THAT HE/SHE/IT POSSESSES FULL AUTHORITY TO SO SIGN.

THE PETITIONER/APPLICANT AND OWNER AGREE THAT PETITIONER/APPLICANT AND OWNER SHALL BE JOINTLY AND SEVERALLY LIABLE FOR PAYMENT OF FEES REFERRED TO IN APPLICABLE SECTIONS OF THE ORDINANCES OF THE VILLAGE OF BENSENVILLE, AND AS SET FORTH HEREIN.

  
\_\_\_\_\_  
Petitioner/Applicant *Grzegorz Rzedzian*

  
\_\_\_\_\_  
Owner *Grzegorz Rzedzian*

*11/6/18*  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
*Applicant - Tomasz Rzedzian*

*Village of BENSENVILLE*

By: \_\_\_\_\_  
Village Administrator

\_\_\_\_\_  
Attest

\_\_\_\_\_  
Date



OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

This is to certify that the undersigned is the legal owner of the land described on the attached plat, and has caused the same to be surveyed and subdivided as indicated thereon for the uses and purposes therein set forth.

Dated this day of, 20\_.

*6th day of July 2018*

By: \_\_\_\_\_

*[Signature]*  
*Grzegorz Rzedzian*  
Owner/Owners

NOTARY'S CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

I hereby certify that the persons whose names are subscribed to the foregoing certificate be known to me as such owners. Given under my hand and Notarial Seal this day of, 20 .

*6th day of July 2018.*

By:

Notary Public

My Commission Expires:

*[Signature]*





OWNER'S CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

This is to certify that the undersigned is the legal owner of the land described on the attached plat, and has caused the same to be surveyed and subdivided as indicated thereon for the uses and purposes therein set forth.

Dated this 10th day of July, 202018

By: \_\_\_\_\_

TOMASZ RLEDZIAN  
Owner/Owners

NOTARY'S CERTIFICATE

STATE OF ILLINOIS )  
 ) SS  
COUNTY OF DU PAGE )

I hereby certify that the persons whose names are subscribed to the foregoing certificate be known to me as such owners. Given under my hand and Notarial Seal this day of 20

By: \_\_\_\_\_

Irene Sierzega  
Notary Public

10th day of July 2018

My Commission Expires: \_\_\_\_\_







### **STAFF REPORT**

**HEARING DATE:** September 4, 2018  
**CASE #:** 2018 – 18  
**PROPERTY:** 1050 S County Line Rd  
**PROPERTY OWNERS:** Grand County LLC  
**APPLICANT:** Same  
**SITE SIZE:** 18 Acres  
**BUILDING SIZE:** 108,088 SF dome  
**PIN NUMBER:** 03-25-200-008  
**ZONING:** RS-1 Low Density Single-Family Residential  
**REQUEST:** Preliminary and Final Planned Unit Development, Conditional Use Permit and Site Plan Review to construct a sports complex with code deviations to Parking Lot Construction and Landscaping requirements, Municipal Code Sections 10 – 11 – 8 – 2 and 10 – 12 – 2.

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday March 30, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on March 28, 2017.
3. On March 30, 2017 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The Petitioner is applying for a Planned Unit Development (PUD), Conditional Use Permit and Site Plan Review to operate a Sports Complex at the vacant property north of the hotels at Grand Ave and County Line Rd. The plan calls for an enclosed 108,088 square foot sports dome and two turf fields totaling over 180,000 square feet. They also propose 344 parking spaces (132 9-foot stalls, 204 10-foot stalls, and 8 accessible). They are proposing to reduce the number landscape islands in the parking area and to not include standard curb and gutter.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	RS – 1	Residential	Single Family Residential	Village of Bensenville
<b>North</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	RS – 1	Residential	Regional Commercial	Village of Bensenville
<b>East</b>	RS – 1	Residential	Regional Commercial	Village of Bensenville
<b>West</b>	OSP	Golf Course	n/a	Addison Township

**DEPARTMENT COMMENTS:***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:*

<input checked="" type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input checked="" type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the lives of Residents
<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

All current.

Police:

No police issues.

Engineering and Public Works:

Public Works:

No comments.

Engineering:

The Engineering Division within Public Works Department received the following material on July 6, 2018.

- 4 copies of Engineering Site Plans (15-sheets) titled “Site Improvements for Bensenville Sports Complex, Bensenville, IL” dated 6-22-18 prepared by Spaceco, Inc of Rosemont, IL
- Stormwater Report, titled “Site Improvements for Bensenville Sports Complex, Bensenville, IL” dated June 2018 prepared by Spaceco, Inc of Rosemont, IL

The following review comments are regarding general civil site improvements. Four revised set of plans, engineer’s estimate for entire civil site improvements along with a disposition of comment letter shall be submitted to us for further review and/or approval.

The Stormwater portion of the review for this project is provided by the Village’s consultant Christopher B. Burke Engineering LTD (CBBEL) under separate comment letter. Provide a separate disposition of comment letter for their review comments.



#### Sheet C1

1. Please provide a permit box for all required permit for this project. The permits required are IEPA NOI, IEPA NOT, DuPage SMC (18-05-0006), IEPA-Water IEPA-San, and Bensenville Building permit.

#### Sheet C2

1. Please remove the typical HMA pavement and typical sidewalk detail and replace with standard Village details. Both are available on the Village website.
2. Please provide a conversion factor from NGVD 29 to NAVD 88 datum.

#### Sheet ET

1. It is my understanding; the development to the south has revised its plans that about the south property line of the Sports complex site. Please incorporate the latest changes into the existing conditions.

#### Sheet GM1

1. The entire outside perimeter of the parking lot as well as islands within the parking lot shall be equipped with C&G. The drive aisle around the dome shall also be equipped with C&G.
2. Proposed depressed curb in front the clubhouse leading to the handicap parking spaces shall be equipped with ADA detectable warning tiles.
3. The development to the south is installing sidewalk along the east side to its north property line. This sidewalk shall be extended all the way to the northern parking lot limits along the east side between the parking lot and proposed soccer fields.
4. The development to the south is installing sidewalk along the west side to its north property line. This sidewalk shall also be extended to the western parking lot limits along the south perimeter of the parking lot. A crosswalk shall be provided just north of the property line connecting the aforementioned sidewalks.
5. The handicap fine shall be \$350. Please update the sign details.
6. The Village code (10-12-2C) requires parking lot landscape islands every 15 spaces. Please incorporate islands into the design.
7. Please indicate if the parking lot and/or the soccer fields will be have lights. If so, provide the locations of the lights as well as lighting plan and photometric calculations.
8. PCC pavement shall be installed in front of the dumpster enclosure. At a minimum, it should span the length and width of a typical garbage truck.

#### Sheet UT1

1. Proposed sanitary service coming out of the building into the inspection manhole has invert difference of 23-inches, which is barely under the requirement for a drop manhole connection. I recommend lowering this pipe segment or increasing the slope. The entire run of sanitary on this property will be a private service.



2. Due to the previous use of the site, I would recommend using AWWA C-900 PVC pipe for the proposed watermain with two-tracer wires (5 o'clock and 11 o'clock) position. The entire run of watermain on this property will be a private service.
3. The plan depicts tying into the existing watermain being installed as part of the adjacent development. For pressure testing reason, a new valve in vault may be required at the south end of the proposed water service for this development.

Sheet D1

1. Include VOB-Sidewalk detail, available on the website.

#### Community & Economic Development:

##### Economic Development:

1. Supportive of the proposed PUD and Conditional Use Permit.
2. The proposed sports complex will continue the development of TIF 4, increasing increment and allowing for future projects.
3. The sports complex not only will create jobs for local residents, but also will act as an economic multiplier for other local businesses.
4. Complexes such as the one proposed bring in a large number of outside users who in turn will patronize Bensenville restaurants, stores, and hotels.

##### Code Compliance:

No comments at this time.

##### Building:

No comments at this time.

##### Planning:

##### Background

- 1) Current zoning is RS - 1 Low Density Single Family.
- 2) The subject property is part of the old Legends golf course site. A priority redevelopment for the Village, TIF 4 was created to help incentivize development. To date, two hotels have been built to the south.

##### Site Plan

- 1) The site plan is only for the portion of the site west of the creek, north of the hotel properties.
- 2) The site is accessed via a new right of way to be developed by the hotel property owner.
- 3) Final street name shall be determined by the Village.
- 4) The large sports dome will be on western portion of the site.
- 5) Two outdoor turf soccer fields will be on the eastern portion of the site.
- 6) Staff would like to see a detailed lighting plan. Does the applicant intend to light the outdoor sports fields? The parking lot? Every effort should be made to minimize light bleeding onto neighbor properties. Field lights should be turned off when not in use.
- 7) Current site plan indicates a stepped walkway to the bridge across the creek. With plans to develop a bike bath along County Line Road, applicant to find a way to connect to path.
- 8) Deviations from the code include:
  - 1) Parking lot landscape islands. Applicant is proposing to eliminate all landscape islands to maximize parking.



- 2) Parking lot construction. Applicant is proposing to eliminate curb and gutter.
- 9) Staff does feel either of these deviations are completely necessary. Staff would like to see some revised plans to include something closer to what code requires.

Other:

- 1) Does applicant intend to host major events/tournaments?
  - a. Events shouldn't last later than 10:00pm.
  - b. No tailgating or alcoholic beverages allowed in the parking area.

The review and recommendation of the Planned Unit Development and Conditional Use Permit should be determined by the "Approval Criteria" found in the Village's Zoning Ordinance. The applicant has submitted commentary on these Approval Criteria. The applicant's comments are attached to the application. Staff generally concurs with the applicant's submitted statements and also offers the following Findings of Fact for the Community Development Commission's review.

#### **APPROVAL PROCESS AND CRITERIA:**

The Community Development Commission shall review the Planned Unit Development using the following criteria:

1. **Superior Design:** The PUD represents a more creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable regulations, and solely on this basis modifications to such regulations are warranted.

**Applicant's Response:** The PUD represents a more creative approach and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable regulations. The PUD will enhance the character of the site and provide the flexibility for the proposed development.

2. **Meet PUD Requirements:** The PUD meets the requirements for planned unit developments set forth in this Title, and no modifications to the use and design standards otherwise applicable are allowed other than those permitted herein.

**Applicant's Response:** The PUD meets the requirements for planned unit developments set forth in this Title.

3. **Consistent with Village Plan:** The PUD is generally consistent with the objectives of the Village general development plan as viewed in light of any changed conditions since its adoption.

**Applicant's Response:** The proposed development will be consistent with the Village's plan to convert the site from a vacant golf course to an amenity that will attract people within Bensenville as well as surrounding communities.

4. **Public Welfare:** The PUD will not be detrimental to the public health, safety or general welfare.



**Applicant's Response: The proposed PUD will not be detrimental to the public health, safety or general welfare.**

5. **Compatible with Environs:** Neither the PUD nor any portion thereof will be injurious to the use and enjoyment of other properties in its vicinity, seriously impair property values or environmental quality in the neighborhood, nor impede the orderly development of surrounding property.

**Applicant's Response: The PUD will not be injurious to the use and enjoyment of other properties in its vicinity. The PUD compliments the hotel, restaurant and retail developments currently proposed to the South. The PUD will not impair property values or environmental quality in the neighborhood.**

6. **Natural Features:** The design of the PUD is as consistent as practical with preservation of any natural features such as flood plains, wooded areas, natural drainage-ways or other areas of sensitive or valuable environmental character.

**Applicant's Response: The design is as consistent as practical with preservation of any natural features. Addison Creek follows the North and East sides of the property. Native plantings are proposed around the perimeter of the development as well as in the bottom of the proposed detention basins to provide a naturalized concept and provide stormwater benefits.**

7. **Circulation:** Streets, sidewalks, pedestrian-ways, bicycle paths and off-street parking and loading are provided as appropriate to planned land uses. They are adequate in location, size, capacity and design to ensure safe and efficient circulation of automobiles, trucks, bicycles, pedestrians, fire trucks, garbage trucks and snow plows, as appropriate, without blocking traffic, creating unnecessary pedestrian-vehicular conflict, creating unnecessary through traffic within the PUD or unduly interfering with the safety or capacity of adjacent streets.

**Applicant's Response: Off-street parking and pedestrian sidewalks are provided for the improvements and will be adequate for the proposed land use.**

8. **Open Spaces and Landscaping:** The quality and quantity of common open spaces or landscaping provided are consistent with the higher standards of design and amenity required of a PUD. The size, shape and location of a substantial portion of any common open space provided in residential areas render it usable for recreation purposes.

**Applicant's Response: The proposed use is for sports and recreation and a landscape plan will be prepared for the remaining open spaces. The quantity of open space for the proposed PUD is significant.**

9. **Covenants:** Adequate provision has been made in the form of deed restrictions, homeowners or condominium associations or the like for:
  - a. The presentation and regular maintenance of any open spaces, thoroughfares, utilities, water retention or detention areas and other common elements not to be dedicated to the Village or to another public body.



- b. Such control of the use and exterior design of individual structures, if any, as is necessary for continuing conformance to the PUD plan, such provision to be binding on all future ownerships.

**Applicant's Response: As applicable, appropriate provisions will be prepared which will cover maintenance of the common elements as well as control of the use and exterior design of individual structures.**

10. Public Services: The land uses, intensities and phasing of the PUD are consistent with the anticipated ability of the Village, the school system and other public bodies to provide and economically support police and fire protection, water supply, sewage disposal, schools and other public facilities and services without placing undue burden on existing residents and businesses.

**Applicant's Response: It is anticipated that the land use is consistent with the anticipated ability of the Village as well as other public bodies, facilities and services. No undue burden on existing residents and businesses is anticipated.**

11. **Phasing:** Each development phase of the PUD can, together with any phases that preceded it, exist as an independent unit that meets all of the foregoing criteria and all other applicable regulations herein even if no subsequent phase should ever be completed.

**Applicant's Response: Currently the project is not split into construction phases. If the project is later split into phases, each phase will be able to exist independently.**

Planned Unit Development Approval Criteria	Meets Criteria	
	Yes	No
1. Superior Design	X	
2. Meets PUD Requirements	X	
3. Consistent With Village Plans	X	
4. Public Welfare	X	
5. Compatible With Environs	X	
6. Natural Features	X	
7. Circulation	X	
8. Open Space & Landscaping	X	
9. Covenants	X	
10. Public Services	X	
11. Phasing	X	

## **RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the PUD for Grand County LLC with the following conditions:

1. Developed in accordance with the plans prepared by SpaceCo dated 06.22.2018 last.
2. Site Plan to be revised to include parking lot curb and gutter according to code.
3. A full landscaping plan to be submitted and approved by staff to include increased parking lot landscaping and additional perimeter landscaping.



4. Phasing / Timing. Final plans must be submitted within 12 months of preliminary approval. A development schedule should be submitted to staff at that time.
5. A parking lot and outdoor sport fields lighting plan should be submitted for review, to include no bleeding of light onto neighboring properties.
6. Sidewalks will be installed connecting to the sites to the south and east.
7. A path connecting the owner's property to the east should include bike considerations that tie into the County Line Road bike path. Bike parking shall be included on site.

Respectfully Submitted,  
Department of Community  
& Economic Development







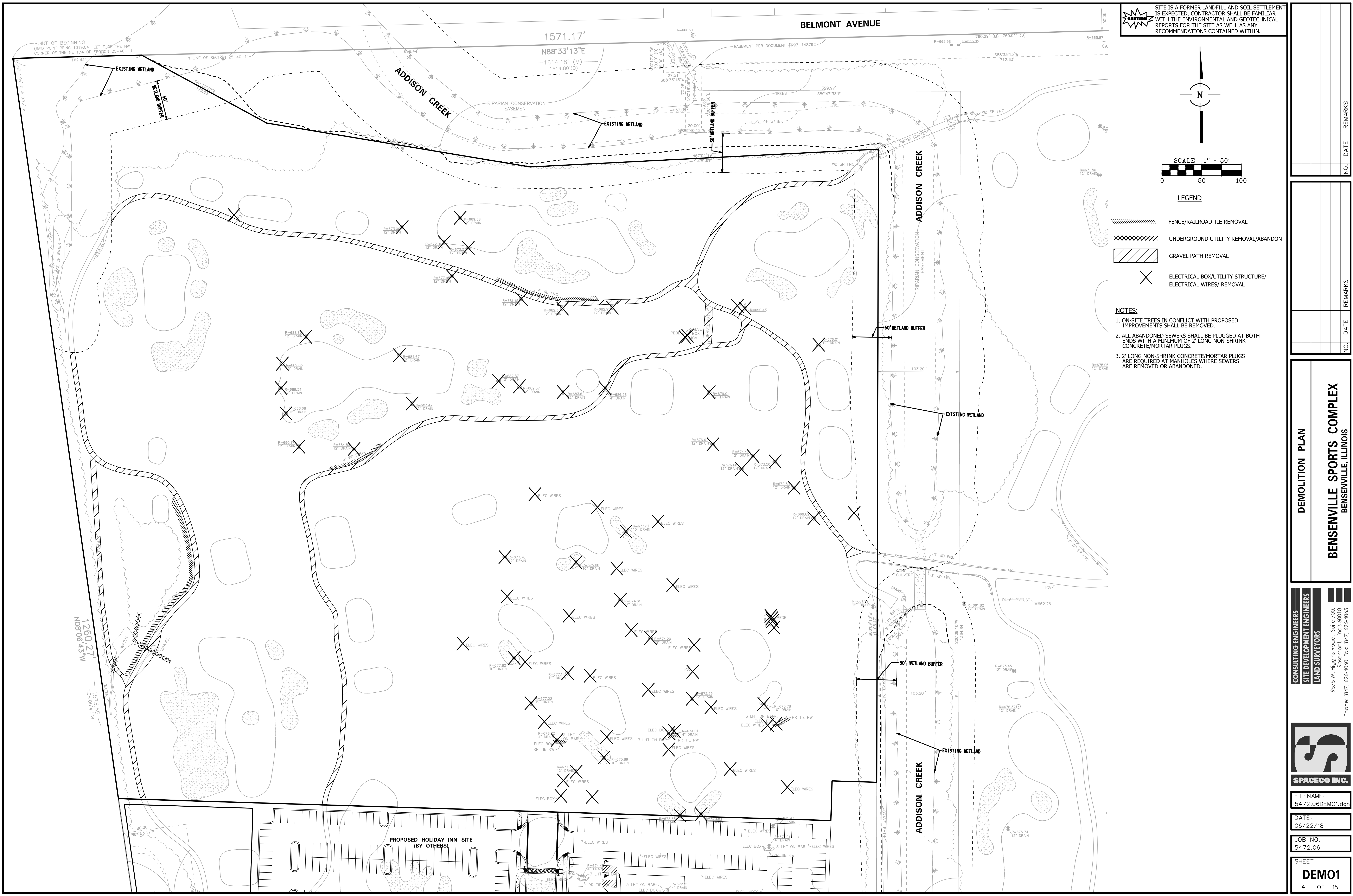




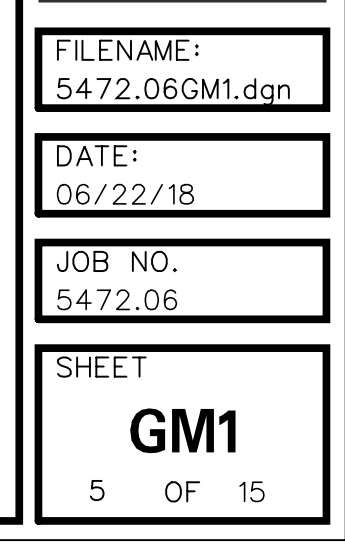


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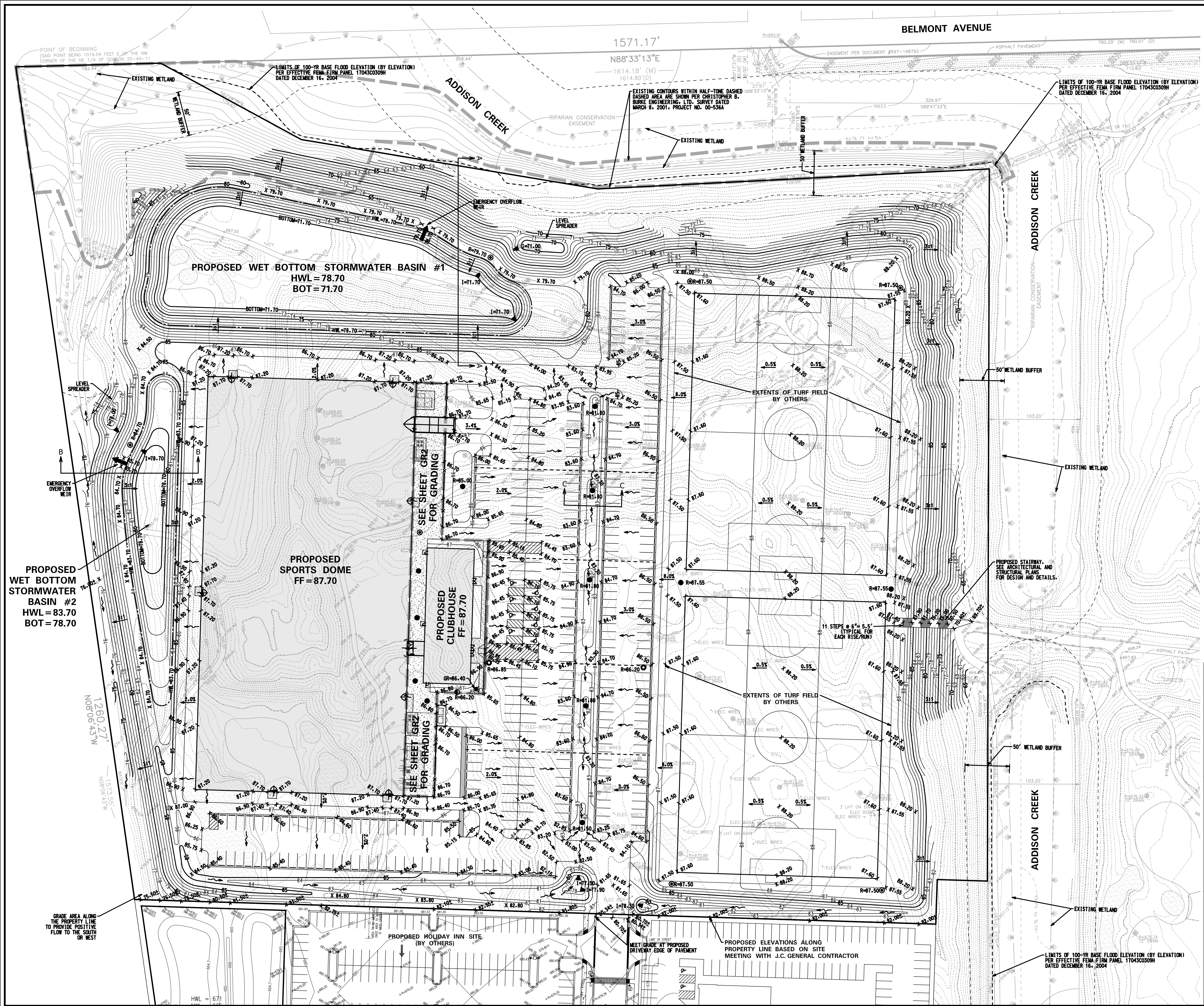




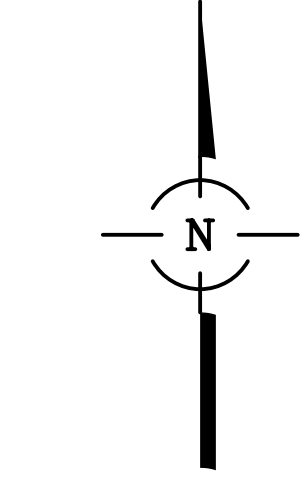








CAUTION  
SITE IS A FORMER LANDFILL AND SOIL SETTLEMENT IS EXPECTED. CONTRACTOR SHALL BE FAMILIAR WITH THE ENVIRONMENTAL AND GEOTECHNICAL REPORTS FOR THE SITE AS WELL AS ANY RECOMMENDATIONS CONTAINED WITHIN.



SCALE 1" = 50'  
0 50 100

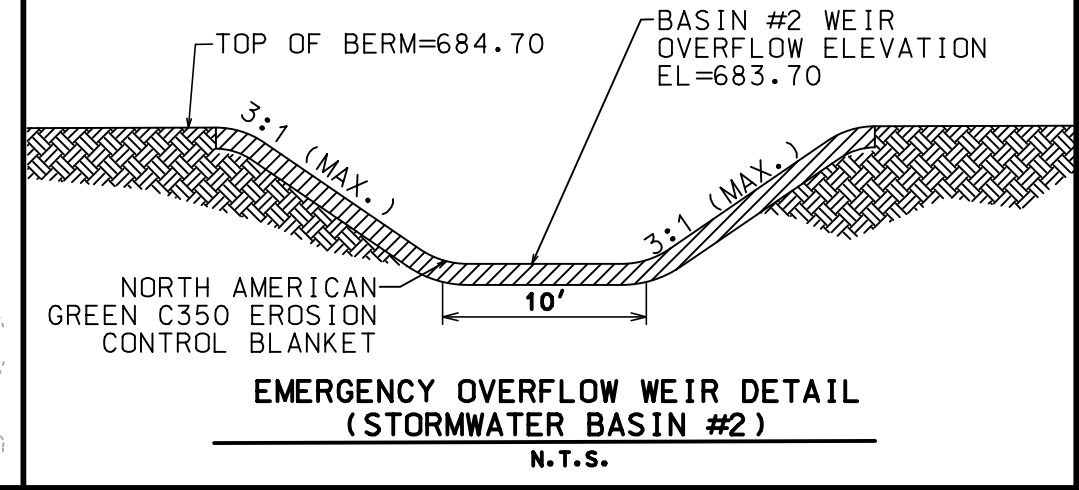
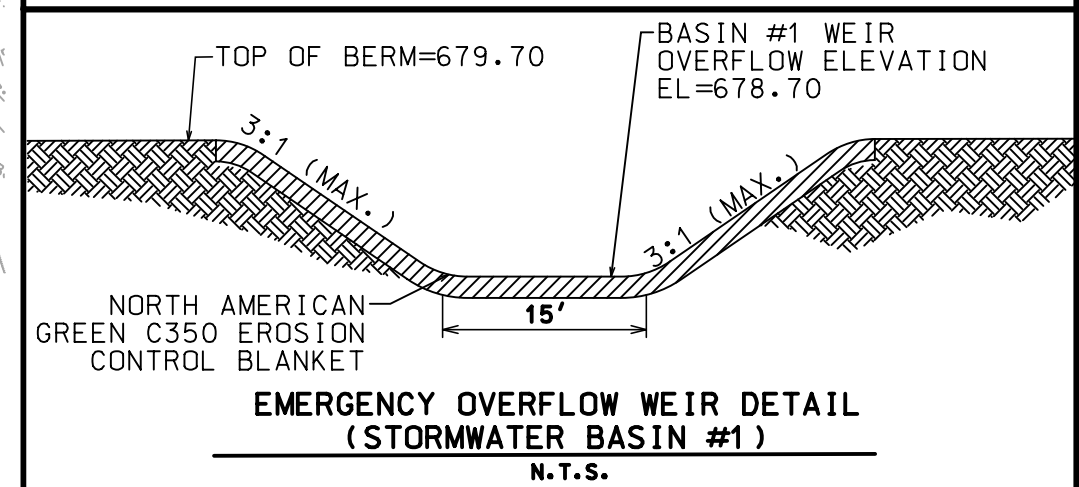
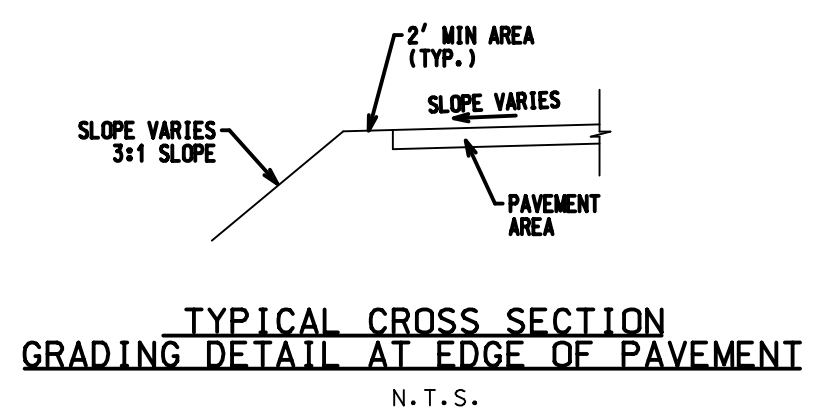
- NOTES:
1. ADD 600.00 TO ELEVATIONS SHOWN AS XX.XX.
  2. ALL SPOT GRADES ALONG CURB LINE ARE EDGE OF PAVEMENT UNLESS NOTED OTHERWISE. TOP OF CURB IS 0.32' HIGHER THAN THE EDGE OF PAVEMENT ELEVATION FOR REVERSE PITCH CURB.
  3. ALL DISTURBED SITE AREAS DRAINING AWAY FROM THE SITE SHOULD BE PLANTED WITH NATIVE PLANTINGS.

STORMWATER SUMMARY

STORMWATER BASIN #1  
VOLUME REQUIRED = 5.730 AC-FT  
VOLUME PROVIDED = 6.757 AC-FT  
STORMWATER BASIN #2  
VOLUME REQUIRED = 0.748 AC-FT  
VOLUME PROVIDED = 1.085 AC-FT  
TOTAL VOLUME PROVIDED = 7.842 AC-FT

LEGEND

- F/F FINISHED FLOOR  
R= RIM ELEVATION  
GR= GRADE RING  
TD= TOP OF DEPRESSED CURB  
T/PAD= TOP OF CONCRETE PAD  
FLOW DIRECTION  
DRAINAGE DIVIDE  
SPOT GRADE (FINISHED ELEVATION)  
CONCRETE SIDEWALK HC RAMP  
B-6.12 CURB & GUTTER (REVERSE PITCH)  
DEPRESSED CURB & GUTTER



NO.	DATE	REMARKS

NO.	DATE	REMARKS

GRADING PLAN  
BENSENVILLE SPORTS COMPLEX  
BENSENVILLE, ILLINOIS

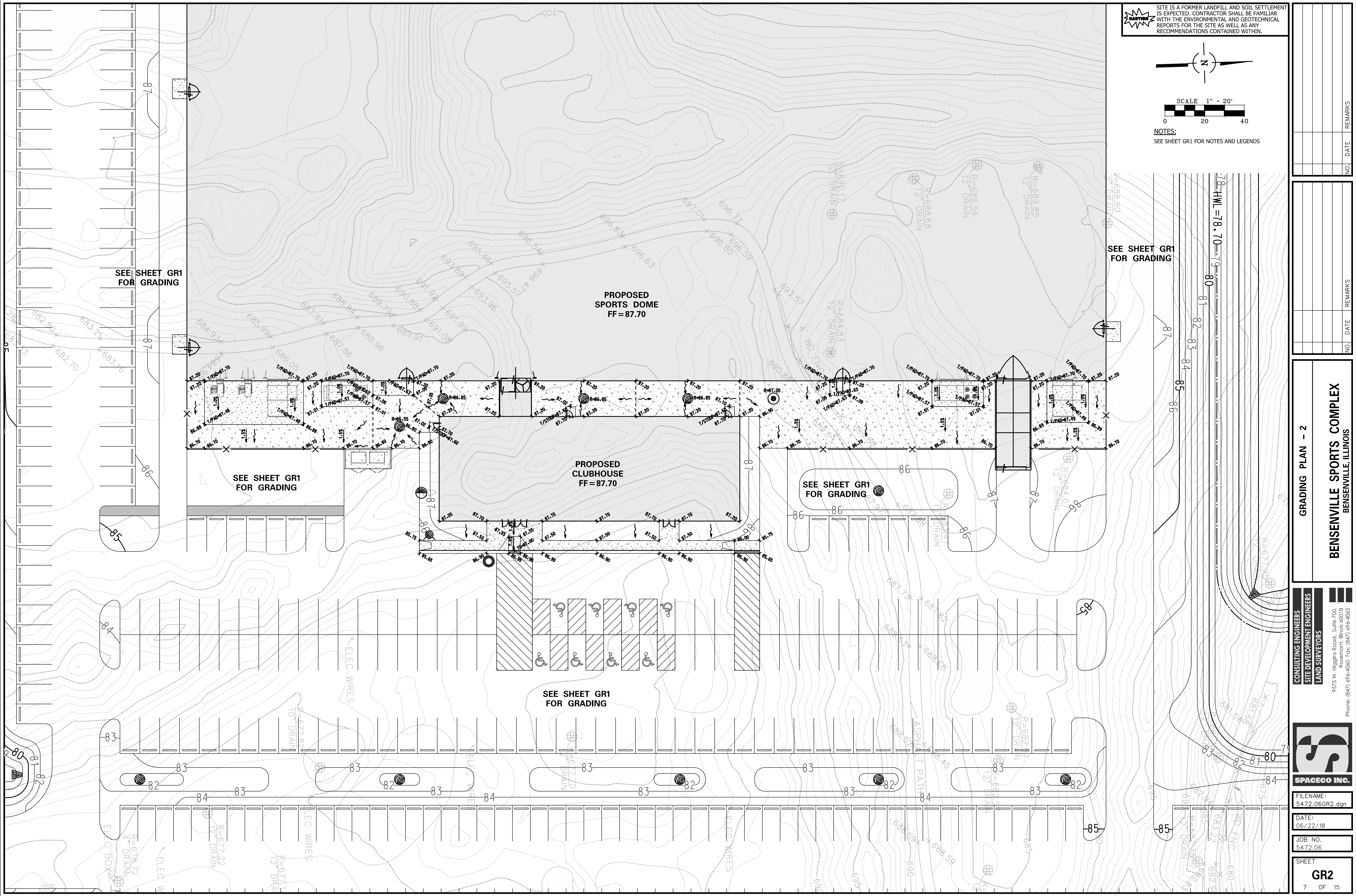
CONSULTING ENGINEERS  
SITE DEVELOPMENT ENGINEERS  
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065



FILENAME:  
5472.06GR1.dgn  
DATE:  
06/22/18  
JOB NO.  
5472.06  
SHEET  
GR1  
6 OF 15





**CAUTION**  
SITE IS A FORMER LANDFILL AND SOIL SETTLEMENT IS EXPECTED. CONTRACTOR SHALL BE FAMILIAR WITH THE ENVIRONMENTAL AND GEOTECHNICAL REPORTS FOR THE SITE AS WELL AS ANY RECOMMENDATIONS CONTAINED WITHIN.

**SCALE** 1" = 20'  
0 20 40

**NOTES:**  
SEE SHEET GR1 FOR NOTES AND LEGENDS

NO.	DATE	REMARKS

NO.	DATE	REMARKS

**GRADING PLAN - 2**

**BENSENVILLE SPORTS COMPLEX**  
BENSENVILLE, ILLINOIS

**CONSULTING ENGINEERS**  
**SITE DEVELOPMENT ENGINEERS**  
**LAND SURVEYORS**

9575 W. Higgins Road, Suite 700,  
Rosemont, Illinois 60018  
Phone: (847) 696-4060 Fax: (847) 696-4065

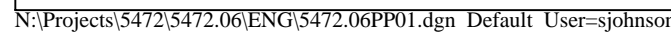


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DATE: 06/22/18
JOB NO. 5472.06
SHEET <b>GR2</b> 7 OF 15









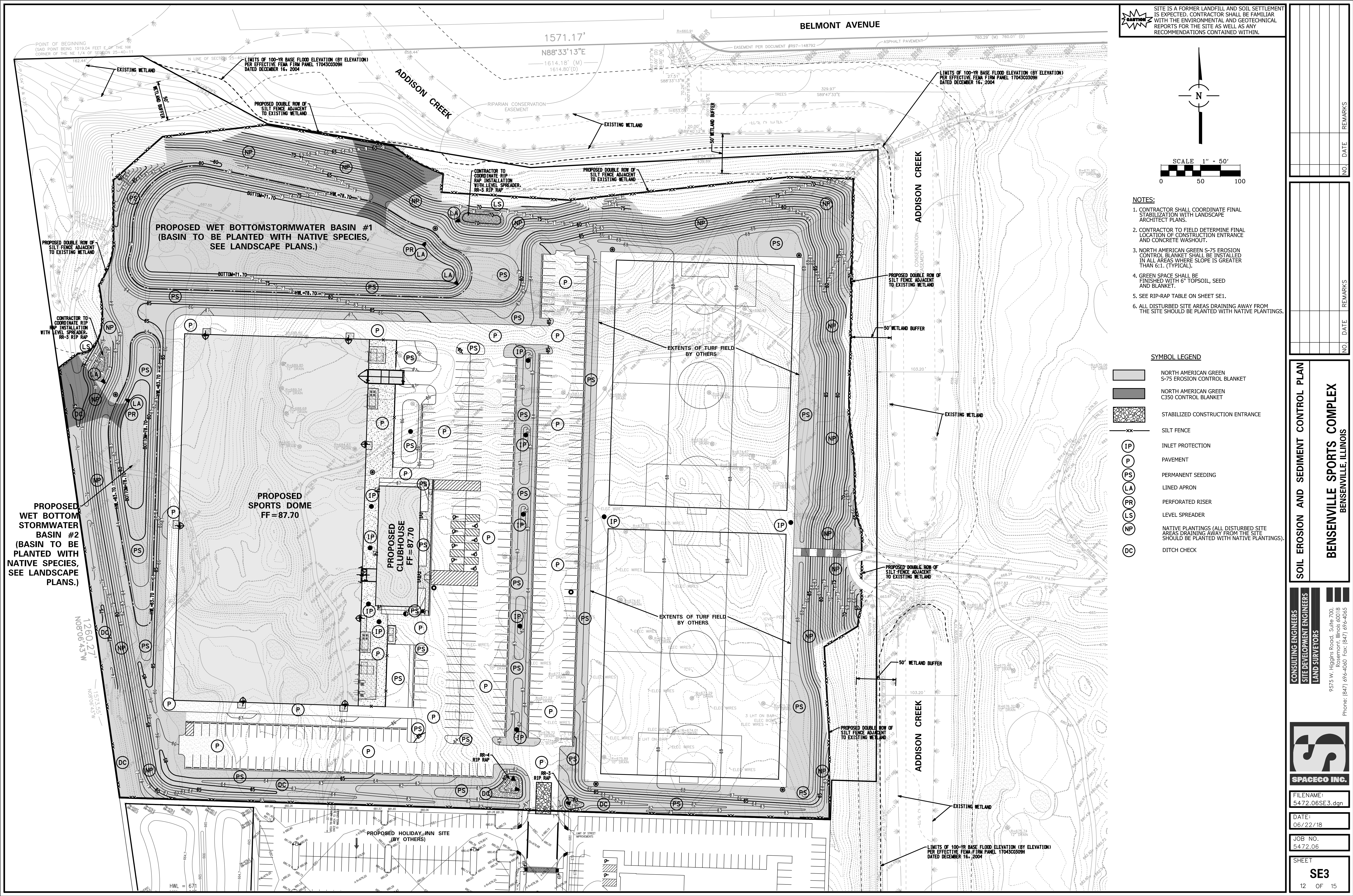




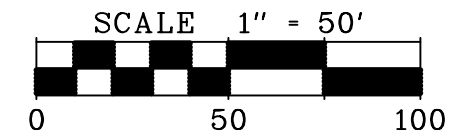
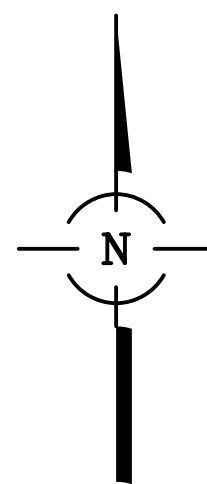








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NOTES:

1. CONTRACTOR SHALL COORDINATE FINAL STABILIZATION WITH LANDSCAPE ARCHITECT PLANS.
2. CONTRACTOR TO FIELD DETERMINE FINAL LOCATION OF CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT.
3. NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET SHALL BE INSTALLED IN ALL AREAS WHERE SLOPE IS GREATER THAN 6:1. (TYPICAL).
4. GREEN SPACE SHALL BE FINISHED WITH 6" TOPSOIL, SEED AND BLANKET.
5. SEE RIP-RAP TABLE ON SHEET SE1.
6. ALL DISTURBED SITE AREAS DRAINING AWAY FROM THE SITE SHOULD BE PLANTED WITH NATIVE PLANTINGS.

SYMBOL LEGEND

- [Pattern] NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET
- [Pattern] NORTH AMERICAN GREEN C350 CONTROL BLANKET
- [Pattern] STABILIZED CONSTRUCTION ENTRANCE
- [Symbol] SILT FENCE
- [Symbol] INLET PROTECTION
- [Symbol] PAVEMENT
- [Symbol] PERMANENT SEEDING
- [Symbol] LINED APRON
- [Symbol] PERFORATED RISER
- [Symbol] LEVEL SPREADER
- [Symbol] NATIVE PLANTINGS (ALL DISTURBED SITE AREAS DRAINING AWAY FROM THE SITE SHOULD BE PLANTED WITH NATIVE PLANTINGS).
- [Symbol] DITCH CHECK

SOIL EROSION AND SEDIMENT CONTROL PLAN  
**BENSENVILLE SPORTS COMPLEX**  
BENSENVILLE, ILLINOIS

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SHEET  
**SE3**  
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EARTHWORK NOTES		PAVING NOTES		SANITARY SEWER NOTES		STORM SEWER NOTES	
<p>1. GENERAL</p> <p>A. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS AT THE SITE. THE CONTRACTOR SHALL OBTAIN AND READ THE GEOTECHNICAL REPORTS AVAILABLE FROM THE OWNER.</p> <p>B. ANY QUANTITIES IN THE BID PROPOSAL ARE INTENDED AS A GUIDE FOR THE CONTRACTOR'S USE IN DETERMINING THE SCOPE OF THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF OF ALL SITE CONDITIONS. THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS LUMP SUM FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED UNLESS ORDERED IN WRITING BY THE OWNER.</p> <p>C. THE CONTRACTOR WILL NOTE THAT THE ELEVATIONS SHOWN ON THE CONSTRUCTION PLANS ARE FINISHED GRADE ELEVATIONS AND THAT PAVEMENT THICKNESS, TOPSOIL, ETC. MUST BE SUBTRACTED TO DETERMINE SUBGRADE ELEVATIONS.</p> <p>D. THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE DURING CONSTRUCTION, AND PREVENT STORMWATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS. THE FAILURE TO PROVIDE PROPER DRAINAGE WILL NEGATE ANY POSSIBLE ADDED COMPENSATION REQUESTED DUE TO DELAYS OR UNSUITABLE MATERIALS CREATED AS A RESULT THEREOF. FINAL GRADES SHALL BE PROTECTED AGAINST DAMAGE FROM EROSION, SEDIMENTATION AND TRAFFIC.</p> <p>E. PLANS FOR THE SITE WEATHERING, IF EMPLOYED, SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER PRIOR TO IMPLEMENTATION. NO ADDITIONAL COMPENSATION SHALL BE MADE FOR WEATHERING DURING CONSTRUCTION.</p> <p>F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THE "SOIL EROSION AND SEDIMENTATION CONTROL MEASURES", THE INITIAL ESTABLISHMENT OF EROSION CONTROL PROCEDURES AND THE PLACEMENT OF SILT AND FILTER FENCING, ETC., TO PROTECT ADJACENT PROPERTY, WETLANDS, ETC. SHALL OCCUR BEFORE GRADING BEGINS. A MUNICIPAL EROSION CONTROL INSPECTION MAY BE REQUIRED BEFORE ANY EARTHWORK IS PERFORMED.</p> <p>G. PRIOR TO COMMENCEMENT OF GRADING ACTIVITIES, THE CONTRACTOR SHALL ERECT A "SNOW FENCE" AROUND ANY TREE DESIGNATED TO BE PRESERVED. SAID FENCE SHALL BE PLACED IN A CIRCLE CENTERED AROUND THE TREE. THE DIAMETER OF WHICH SHALL BE SUCH THAT THE ENTIRE DRIP ZONE (EXTENT OF FURTHEST EXTENDING BRANCHES) SHALL BE WITHIN THE FENCE LIMITS. THE EXISTING GRADE WITHIN THE FENCED AREA SHALL NOT BE DISTURBED.</p> <p>H. EXCESS MATERIALS, IF NOT UTILIZED AS FILL, SHALL BE COMPLETELY REMOVED FROM THE CONSTRUCTION SITE AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.</p> <p>I. ALL EARTHWORK SHALL BE DONE UNDER THE SUPERVISION OF AN ILLINOIS LICENSED ENGINEER WHO SPECIALIZES IN THE GEOTECHNICAL FIELD (SOILS ENGINEER). THIS ENGINEER WILL BE RESPONSIBLE FOR ENSURING THAT ALL UNSUITABLE MATERIALS ARE REMOVED, ALL STRUCTURAL FILL MATERIALS ARE PROPERLY PLACED AND COMPACTED, ALL PAVEMENT SUBGRADES ARE PROPERLY PREPARED, PROOF ROLLING SUBGRADES AND BASE COURSES, AND ENSURING THAT ALL WATER RETAINING EMBANKMENTS ARE PROPERLY CONSTRUCTED. THE DEVELOPER PAYS FOR ALL GEOTECHNICAL SERVICES.</p> <p>2. TOPSOIL EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF TOPSOIL AND OTHER STRUCTURALLY UNSUITABLE MATERIALS WITHIN THOSE AREAS THAT WILL REQUIRE EARTH EXCAVATION OR COMPACTED EARTH FILL MATERIAL. EXISTING VEGETATION SHALL BE REMOVED PRIOR TO STRIPPING TOPSOIL OR FILLING AREAS.</p> <p>B. PLACEMENT OF THE EXCAVATED MATERIAL IN OWNER DESIGNATED AREAS FOR FUTURE USE WITHIN AREAS TO BE LANDSCAPED, AND THOSE AREAS NOT REQUIRING STRUCTURAL FILL MATERIAL. PROVIDE NECESSARY EROSION CONTROL MEASURES FOR STOCKPILE.</p> <p>C. TOPSOIL STOCKPILED FOR RESPREAD SHALL BE FREE OF CLAY AND SHALL NOT CONTAIN ANY OF THE TRANSITIONAL MATERIAL BETWEEN THE TOPSOIL AND CLAY. THE TRANSITIONAL MATERIAL SHALL BE USED IN NON-STRUCTURAL FILL AREAS OR DISPOSED OF OFF-SITE.</p> <p>D. TOPSOIL RESPREAD SHALL INCLUDE HAULING AND SPREADING 6" OF TOPSOIL OVER AREAS TO BE LANDSCAPED WHERE SHOWN ON THE PLANS OR DIRECTED BY THE OWNER.</p> <p>E. MODERATE COMPACTION IS REQUIRED IN NON-STRUCTURAL FILL AREAS.</p> <p>3. EARTH EXCAVATION INCLUDES:</p> <p>A. EXCAVATION OF CLAY AND OTHER MATERIALS WHICH ARE SUITABLE FOR USE AS STRUCTURAL FILL. THE EXCAVATION SHALL BE TO WITHIN A TOLERANCE OF 0.1 FEET OF THE PLAN SUBGRADE ELEVATIONS WHILE MAINTAINING PROPER DRAINAGE. THE TOLERANCE WITHIN PAVEMENT AREAS SHALL BE SUCH THAT THE EARTH MATERIALS SHALL "BALANCE" DURING THE FINE GRADING OPERATION.</p> <p>B. PLACEMENT OF THE CLAY AND OTHER SUITABLE MATERIALS SHALL BE WITHIN THOSE AREAS REQUIRING STRUCTURAL FILL IN ORDER TO ACHIEVE THE PLAN SUBGRADE ELEVATIONS TO WITHIN A TOLERANCE OF 0.1 FEET. THE FILL MATERIAL SHALL BE PLACED IN LOOSE LIFTS THAT SHALL NOT EXCEED EIGHT (8) INCHES IN THICKNESS, AND THE WATER CONTENT SHALL BE ADJUSTED IN ORDER TO ACHIEVE REQUIRED COMPACTION.</p> <p>STRUCTURAL FILL MATERIAL MAY BE PLACED WITHIN THOSE PORTIONS OF THE SITE NOT REQUIRING STRUCTURAL FILL, TO WITHIN SIX (6) INCHES OF THE PLAN FINISHED GRADE ELEVATION. IN AREAS REQUIRING STRUCTURAL FILL, HOWEVER, THIS MATERIAL SHALL NOT BE PLACED OVER TOPSOIL OR OTHER UNSUITABLE MATERIALS UNLESS SPECIFICALLY DIRECTED BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>C. COMPACTION OF THE CLAY AND OTHER SUITABLE MATERIALS, SHALL BE TO AT LEAST 93% OF THE MODIFIED PROCTOR DRY DENSITY WITHIN PROPOSED PAVEMENT AREAS, SIDEWALKS, ETC. COMPACTION SHALL BE AT LEAST 95% OF THE MODIFIED PROCTOR WITHIN PROPOSED BUILDING PAD AREAS.</p> <p>D. EXCAVATION: QUANTITIES OF EARTH EXCAVATION INDICATED ELSEWHERE IN THIS CONTRACT HAVE BEEN COMPUTED BY THE END AREA METHOD AS PROVIDED FOR IN SECTION 202 OF THE STANDARD SPECIFICATIONS. EXCAVATED MATERIALS NOT NEEDED FOR THIS JOB SITE SHALL BE LEGALLY DISPOSED OF. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER CUBIC YARD OF EARTH EXCAVATION.</p> <p>4. UNSUITABLE MATERIAL</p> <p>UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUBGRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.</p> <p>5. MISCELLANEOUS THE CONTRACTOR SHALL:</p> <p>A. SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS.</p> <p>B. SCARIFY, DISC, AERATE, AND COMPACT, TO THE DEGREE SPECIFIED, THE UPPER TWELVE (12) INCHES OF THE SUITABLE SUBGRADE MATERIAL, IN ALL AREAS THAT MAY BE SOFT DUE TO EXCESS MOISTURE CONTENT. THIS APPLIES TO CUT AREAS AS WELL AS FILL AREAS.</p> <p>C. PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.</p> <p>D. BACKFILL THE CURB AND GUTTER AFTER ITS CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE MATERIAL. THE CURBS SHALL NOT BE BACKFILLED UNTIL THE CONCRETE HAS CURED FOR AT LEAST 7 DAYS.</p> <p>E. TRENCH COMPACTION: ALL TRENCHES SHALL BE COMPACTED BY MECHANICAL TECHNIQUES APPROVED BY THE SOILS ENGINEER UNTIL PROPER COMPACTION IS ACHIEVED. THE REQUIREMENT FOR MECHANICAL COMPACTION MAY BE WAIVED IF, IN THE OPINION OF THE SOILS ENGINEER AND THE MUNICIPAL ENGINEER, THE BACKFILLED TRENCHES MEET THE DENSITY REQUIREMENTS. JETTING OF TRENCHES FOR COMPACTION WILL NOT BE ALLOWED.</p> <p>6. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL PROVIDE AS A MINIMUM, A FULLY LOADED SIX-WHEEL TANDEM AXLE TRUCK FOR PROOF ROLLING THE PAVEMENT SUBGRADE PRIOR TO THE PLACEMENT OF THE CURB AND GUTTER AND THE BASE MATERIAL. THIS SHALL BE WITNESSED BY MUNICIPAL ENGINEER AND THE OWNER. SEE PAVING SPECIFICATION.</p> <p>B. ANY UNSUITABLE AREA ENCOUNTERED AS A RESULT OF PROOF ROLLING SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL, OR OTHERWISE CORRECTED, APPROVED BY THE SOILS CONSULTANT.</p> <p>C. ANY TESTING THAT IS REQUIRED OF THIS CONSTRUCTION IS CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. NO SEPARATE PAYMENT WILL BE MADE.</p>		<p>1. GENERAL</p> <p>A. PAVING WORK INCLUDES FINAL SUBGRADE SHAPING, PREPARATION AND COMPACTION; PLACEMENT OF SUB-BASE OR BASE COURSE MATERIALS; BITUMINOUS BINDER AND/OR SURFACE COURSES; FORMING, FINISHING AND CURING CONCRETE PAVEMENT, CURBS AND WALKS; AND FINAL CLEAN-UP AND ALL RELATED WORK.</p> <p>B. COMPACTION REQUIREMENTS: [REFERENCE ASTM D-1557 (MODIFIED PROCTOR)] SUB-GRADE = 93%; SUB-BASE = 93%; AGGREGATE BASE COURSE = 95%; BITUMINOUS COURSES = REFER TO SSRC ARTICLE 406.07. THE SOILS ENGINEER IS RESPONSIBLE FOR ENSURING THAT MATERIALS ARE PROPERLY PLACED AND COMPACTED.</p> <p>C. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION AND IN ACCORDANCE WITH THE MUNICIPAL CODE.</p> <p>2. SUB-GRADE PREPARATION</p> <p>A. EARTHWORK FOR PROPOSED PAVEMENT SUBGRADE SHALL BE FINISHED TO WITHIN 0.1 FOOT, PLUS OR MINUS, OF PLAN ELEVATION. THE CONTRACTOR SHALL SATISFY HIMSELF THAT THE SUBGRADE HAS BEEN PROPERLY PREPARED AND THAT THE FINISH TOP SUBGRADE ELEVATION HAS BEEN GRADED WITHIN TOLERANCES ALLOWED IN THESE SPECIFICATIONS. UNLESS THE CONTRACTOR ADVISES THE OWNER AND ENGINEER IN WRITING PRIOR TO FINE GRADING FOR BASE COURSE CONSTRUCTION, IT IS UNDERSTOOD THAT HE HAS APPROVED AND ACCEPTS THE RESPONSIBILITY FOR THE SUBGRADE.</p> <p>B. PRIOR TO THE PLACEMENT OF THE BASE COURSE, THE SUBGRADE MUST BE PROOF ROLLED AND INSPECTED FOR UNSUITABLE MATERIALS AND/OR EXCESSIVE MOVEMENT. THE SOILS ENGINEER SHALL CONDUCT AND THE VILLAGE SHALL WITNESS ALL PROOF ROLLS. IF UNSUITABLE SUBGRADE IS ENCOUNTERED, IT SHALL BE CORRECTED IN A MANNER APPROVED BY THE OWNER OR HIS REPRESENTATIVE. THIS MAY INCLUDE ONE OR MORE OF THE FOLLOWING METHODS: 1) SCARIFY DISC AND AERATE. 2) REMOVE AND REPLACE WITH STRUCTURAL CLAY FILL. 3) REMOVE AND REPLACE WITH GRANULAR MATERIAL. 4) USE OF GEOTEXTILE FABRIC.</p> <p>MAXIMUM DEFLECTION ALLOWED IN ISOLATED AREAS MAY BE 1/4" TO 1/2" IF NO DEFLECTION OCCURS OVER THE MAJORITY OF THE AREA.</p> <p>C. PRIOR TO THE CONSTRUCTION OF THE CURB AND GUTTER AND THE PLACEMENT OF THE BASE MATERIAL, THE PAVEMENT AREA SHALL BE FINE GRADED TO WITHIN 0.04 FEET (1/2") OF FINAL SUBGRADE ELEVATION. TO A POINT TWO (2) FEET BEYOND THE BACK OF CURB, SO AS TO INSURE THE PROPER THICKNESS OF PAVEMENT COURSES. NO CLAIMS FOR EXCESS QUANTITY OF BASE MATERIALS DUE TO IMPROPER SUBGRADE PREPARATION WILL BE HONORED.</p> <p>D. PRIOR TO PLACEMENT OF THE BASE COURSE, ALL SUBGRADES MUST BE APPROVED BY THE MUNICIPAL ENGINEER, SOILS ENGINEER AND/OR OWNER.</p> <p>3. CONCRETE WORK</p> <p>A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS SJ OR PV PER (SSRBC) SECTION 1020.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1-50 LBS OF COLLATED, FILLERATED, POLYPROPYLENE FIBERS PER 100 TO 0.75 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF CONCRETE USED FOR SIDEWALKS. THE FIBERS SHALL BE AS MANUFACTURED UNDER THE NAME "FIBERMESH" OR EQUAL.</p> <p>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PREMOLOID FIBER EXPANSION JOINTS, WITH TWO 3/4" X 18" EPOXY COATED STEEL DONEL BARS, SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE DONEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. SAVED OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.</p> <p>C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. THE CONCRETE MUST CURE FOR AT LEAST SEVEN DAYS BEFORE THE CURBS ARE BACKFILLED.</p> <p>E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 FOOT INTERVALS AND 1/2 " PREMOLOID FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.</p> <p>F. CONCRETE DRIVEWAY APRONS SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE 6" X 6" NO. 6 WELDED WIRE MESH IN DRIVEWAYS. PROVIDE 1/2" PREMOLOID FIBER EXPANSION JOINT ADJACENT TO CURBS AND CONCRETE SIDEWALKS. PROVIDE SAVED OR FORMED CONTRACTION JOINT AT MID-POINT AND 15 FOOT MAXIMUM.</p> <p>G. STANDARD REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. SAVED OR FORMED CONTRACTION EXPANSION JOINTS SHALL BE AS SHOWN ON THE PLANS.</p> <p>H. CONCRETE CURING AND PROTECTION SHALL BE IN ACCORDANCE WITH (SSRBC) - METHOD J, 11, OR 111.</p> <p>I. THE COST OF AGGREGATE BASE OR SUB-BASE UNDER CONCRETE WORK SHALL BE INCLUDED IN THE COST OF THE RESPECTIVE CONCRETE ITEM.</p> <p>4. FLEXIBLE PAVEMENT</p> <p>A. THE PAVEMENT MATERIALS FOR BITUMINOUS STREETS, PARKING LOTS, DRIVEWAYS, SIDEWALKS AND PATHS SHALL BE AS DETAILED ON THE PLANS. UNLESS OTHERWISE SHOWN ON THE PLANS, THE FLEXIBLE PAVEMENTS SHALL CONSIST OF AGGREGATE BASE COURSE, TYPE B; BITUMINOUS CONCRETE BINDER COURSE; AND BITUMINOUS CONCRETE SURFACE COURSE. ON THE THICKNESS AND MATERIALS SPECIFIED ON THE PLANS, THICKNESSES SPECIFIED SHALL BE CONSIDERED TO BE THE MINIMUM COMPACTED THICKNESS. THE PAVING IS TO BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS.</p> <p>B. ALL TRAFFIC SHALL BE KEPT OFF THE COMPLETED AGGREGATE BASE UNTIL THE BINDER COURSE IS LAID. THE AGGREGATE BASE SHALL BE UNIFORMLY PRIME COATED AT A RATE OF 0.4 TO 0.5 GALLONS PER SQUARE YARD PRIOR TO PLACING THE BINDER COURSE. PRIME COAT MATERIALS SHALL BE BITUMINOUS M.C. - 50.</p> <p>C. PRIOR TO PLACEMENT OF THE SURFACE COURSE, THE BINDER COURSE SHALL BE CLEANED, AND TACK COATED IF DUSTY OR DIRTY. ALL DAMAGED AREAS IN THE BINDER, BASE OR CURB SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER PRIOR TO LAYING THE SURFACE COURSE. THE CONTRACTOR SHALL PROVIDE WATERVER EQUIPMENT AND WATERPUMP NECESSARY, INCLUDING THE USE OF POWER BROOMS IF REQUIRED BY THE OWNER, TO PREPARE THE PAVEMENT FOR APPLICATION OF THE SURFACE COURSE. THE TACK COAT SHALL BE UNIFORMLY APPLIED TO THE BINDER COURSE AT A RATE OF 0.05 TO 0.10 GALLONS PER SQUARE YARD. TACK COAT SHALL BE AS SPECIFIED IN (SSRBC) SECTION 406.02.</p> <p>D. SEAMS IN BASE, BINDER AND SURFACE COURSE SHALL BE STAGGERED A MINIMUM OF 6".</p> <p>E. FOR NEW STREETS, THE CONTRACTOR SHALL PERMIT THE BITUMINOUS CONCRETE BINDER COURSE TO WEATHER ONE (1) WINTER SEASON PRIOR TO THE INSTALLATION OF THE BITUMINOUS CONCRETE SURFACE COURSE UNLESS OTHERWISE SPECIFIED BY THE MUNICIPAL ENGINEER OR OWNER.</p> <p>5. TESTING AND FINAL ACCEPTANCE</p> <p>A. THE CONTRACTOR SHALL FOLLOW THE QUALITY CONTROL TESTING PROGRAM FOR CONCRETE AND PAVEMENT MATERIALS ESTABLISHED BY THE OWNER AND/OR MUNICIPALITY. TESTING SHALL BE DONE IN ACCORD WITH THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS AND THE TESTING REQUIREMENTS OF THE MUNICIPALITY.</p> <p>B. WHEN REQUESTED BY THE OWNER, TEST RESULTS AND DOCUMENTATION FOR THE CONCRETE, BASE COURSE, BITUMINOUS CONCRETE BINDER, AND/OR SURFACE COURSE, SHALL BE SUBMITTED FOR VERIFICATION.</p> <p>C. PRIOR TO PLACEMENT OF THE BITUMINOUS CONCRETE SURFACE COURSE, THE CONTRACTOR, WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, SHALL OBTAIN SPECIMENS OF THE BINDER COURSE WITH A CORE DRILL WHERE DIRECTED, FOR THE PURPOSE OF THICKNESS VERIFICATION.</p> <p>D. WHEN REQUIRED BY THE OWNER OR MUNICIPALITY, THE CONTRACTOR SHALL OBTAIN SPECIMENS OF THE FULL DEPTH BITUMINOUS CONCRETE PAVEMENT STRUCTURE WITH A CORE DRILL WHERE DIRECTED, IN ORDER TO CONFIRM THE PLAN THICKNESS. DEFICIENCIES IN THICKNESS SHALL BE ADJUSTED FOR BY THE METHOD DESCRIBED IN (SSRBC), ART. 407.10.</p> <p>E. FINAL ACCEPTANCE OF THE TOTAL PAVEMENT INSTALLATION SHALL BE SUBJECT TO THE TESTING AND CHECKING REQUIREMENTS CITED ABOVE.</p>	<p>1. GENERAL</p> <p>A. SANITARY SEWER PIPE SHALL BE PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 26 CONFORMING TO ASTM D-3034 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AND PVC (POLYVINYL CHLORIDE) PLASTIC PIPE WITH A STANDARD DIMENSION RATIO (SDR) OF 21 CONFORMING TO ASTM D-2241 WITH PUSH-ON JOINTS CONFORMING TO ASTM D-3139 AS SHOWN ON THE PLANS. PAYMENT SHALL BE MADE AT THE CONTRACT UNIT PRICE PER LINEAL FOOT OF SANITARY SEWER COMPLETE IN PLACE.</p> <p>B. SANITARY SEWER PIPE 18" AND LARGER, WHERE NOTED ON THE PLANS, OR WHERE THE IEPA MINIMUM SEPARATION CANNOT BE MAINTAINED, SHALL BE ONE OF THE FOLLOWING: PLAN CODE DESCRIPTION DIP: DUCTILE IRON WATERMAIN QUALITY PIPE, CLASS 52, (ANSI A-21-51) WITH MECHANICAL OR O-RING GASKETED JOINTS (ANSI A-21-11). PVC: PRESSURE RATED PVC PIPE MEETING ASTM D-2241 WITH ASTM D-3139 GASKETED JOINT, SDR 26</p> <p>C. "BAND-SEAL" OR SIMILAR FLEXIBLE TYPE COUPLINGS SHALL BE USED WHEN CONNECTING SEWER PIPES OF DISSIMILAR MATERIALS. "BAND-SEAL", "FERNCO", AND "MISSION" TYPE COUPLINGS SHALL NOT BE USED ON ANY SEWER MAIN.</p> <p>D. ALL SANITARY SEWERS ARE TO BE CONSTRUCTED USING A LASER INSTRUMENT TO MAINTAIN LINE AND GRADE.</p> <p>E. ALL FLOOR DRAINS SHALL CONNECT TO THE SANITARY SEWER.</p> <p>F. CONNECTIONS TO EXISTING SANITARY SEWER SYSTEM SHALL NOT BE DONE UNTIL AUTHORIZED BY THE MUNICIPALITY.</p> <p>G. WATERMANS SHALL BE SEPARATED FROM SANITARY SEWERS AND STORM SEWERS IN ACCORDANCE WITH IEPA REQUIREMENTS AS SPECIFIED IN "WATER MAINS" SECTION.</p> <p>H. NO WATER LINE SHALL BE PLACED IN THE SAME TRENCH AS A SEWER LINE EXCEPT UNDER SPECIAL CIRCUMSTANCES AND THEN ONLY UNDER THE FOLLOWING RULES: a) PERMISSION SHALL BE OBTAINED FROM THE MUNICIPAL ENGINEERING DEPARTMENT IN WRITING PRIOR TO BEGINNING CONSTRUCTION. b) THE BOTTOM OF A WATER LINE SHALL BE INSTALLED ON A SHELF A MINIMUM OF 18" ABOVE THE TOP OF THE SEWER AND 18" HORIZONTALLY AWAY FROM THE EDGE OF THE SEWER.</p> <p>2. BEDDING:</p> <p>A. BEDDING SHALL CONSIST OF A MINIMUM OF FOUR (4") INCHES OF COMPACTED CRUSHED GRAVEL OR STONE, 1/4" TO 3/4" IN SIZE. THE SEWER SHALL HAVE MECHANICALLY TAMPED CRUSHED GRAVEL OR STONE COVER ABOVE THE TOP OF THE PIPE TO A MINIMUM OF TWELVE (12") INCHES FOR PVC PIPE AND TO THE SPRING LINE FOR DIP. THE BEDDING AND COVER MATERIAL SHALL BE ASTM D-2321 CLASS II FOR PVC PIPE AND ASTM D-448 SIZE 67 FOR DIP PIPE. THE COST OF THE BEDDING AND COVER SHALL BE MERGED WITH THE UNIT PRICE BID FOR THE SEWER.</p> <p>B. ALL UNSUITABLE MATERIAL SHALL BE REMOVED BELOW THE PROPOSED SANITARY SEWER AND REPLACED WITH COMPACTED CA-6 CRUSHED GRAVEL OR STONE.</p> <p>C. ALL TRENCHES BENEATH PROPOSED OR EXISTING UTILITIES, PAVEMENTS, ROADWAYS, SIDEWALKS, AND FOR A DISTANCE OF FIVE (5') FEET ON EITHER SIDE OF SAME, AND/OR WHERE SHOWN ON THE PLANS, SHALL BE BACKFILLED WITH SELECT GRANULAR BACKFILL (CA-6) AND THOROUGHLY MECHANICALLY COMPACTED IN 9" THICK (LOOSE MEASUREMENT) LAYERS. JETTING WITH WATER IS NOT PERMITTED. REFER TO THE TRENCH BACKFILL LIMITS DETAIL.</p> <p>3. MANHOLES:</p> <p>A. SANITARY SEWER MANHOLES SHALL BE 4'-0" I.D., PRECAST CONCRETE SECTIONS CONFORMING TO ASTM D-478 WITH PREFORMED BITUMINOUS OR "O" RING JOINTS. IN ACCORDANCE WITH MUNICIPAL REGULATIONS, AND HAVE AN ECCENTRIC CONE INSTALLED TO LINE UP WITH THE MANHOLE STEPS. ALL MANHOLE STEPS SHALL BE AT 16" O.C., SIMILAR TO NEENAH R-1980.</p> <p>B. ALL PIPE CONNECTION OPENINGS SHALL BE PRECAST WITH RESILIENT RUBBER WATER TIGHT SLEEVES. THE BOTTOM OF MANHOLE SHALL HAVE A CONCRETE BENCH POURED TO FACILITATE SMOOTH FLOWS.</p> <p>4. FRAMES AND LIDS:</p> <p>A. ALL SANITARY SEWER MANHOLE FRAMES AND LIDS SHALL BE NEENAH R-1712 UNLESS OTHERWISE NOTED ON THE PLANS. THE LIDS SHALL HAVE RECESSED (CONCEALED) PICK HOLE AND BE SELF SEALING WITH AN "O" RING GASKET. THE LIDS SHALL HAVE THE WORDS "SANITARY" EMBOSSED ON THE SURFACE. THE JOINTS BETWEEN FRAME AND CONCRETE SECTION SHALL BE SEALED WITH A BUTYL ROPE.</p> <p>B. A MAXIMUM OF EIGHT (8) INCHES OF CONCRETE ADJUSTING RINGS SHALL BE USED TO ADJUST FRAME ELEVATIONS. RINGS SHALL BE SEALED TOGETHER WITH BUTYL ROPE.</p> <p>5. DROP MANHOLE ASSEMBLIES:</p> <p>A. DROP MANHOLE ASSEMBLIES: DROP MANHOLE ASSEMBLIES SHALL BE PROVIDED AT THE JUNCTION OF SANITARY SEWERS WHERE THE DIFFERENCE IN INVERT GRADES EXCEEDS TWO FEET (2'), OR AS SHOWN ON THE PLANS. THE ENTIRE DROP ASSEMBLY SHALL BE CAST IN CONCRETE MONOLITHICALLY WITH THE MANHOLE BARREL SECTION.</p> <p>6. CLEANING:</p> <p>A. ALL MANHOLES AND PIPES SHALL BE THOROUGHLY CLEANED OF DIRT AND DEBRIS, AND ALL VISIBLE LEAKAGE ELIMINATED, BEFORE FINAL INSPECTION AND ACCEPTANCE.</p> <p>7. TESTING:</p> <p>A. DEFLECTION AND LEAKAGE TESTING WILL BE REQUIRED. THE PROCEDURE AND ALLOWABLE TESTING LIMITS SHALL BE AS SPECIFIED IN THE "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS", OR MUNICIPAL CODES. IN THE EVENT OF A DISCREPANCY BETWEEN THE STANDARD SPECIFICATIONS AND THE MUNICIPAL CODE, THE MUNICIPAL CODE SHALL GOVERN. THE FULL LENGTH OF THE SANITARY SEWER IS REQUIRED TO BE BOTH AIR TESTED AND DEFLECTION TESTED.</p> <p>B. TESTING THE ALIGNMENT/STRAIGHTNESS SHALL BE IN ACCORDANCE WITH MUNICIPAL CODE.</p> <p>C. TESTING OF MANHOLES TO BE IN ACCORDANCE WITH ASTM C-969.</p> <p>8. TELEVISION:</p> <p>A. ALL SANITARY SEWERS SHALL BE TELEVIEWED AND A COPY OF THE TAPE /DVD AND A WRITTEN REPORT SHALL BE SUBMITTED AND REVIEWED BY THE OWNER OR MUNICIPALITY BEFORE FINAL ACCEPTANCE. THE REPORT SHALL INCLUDE STUB LOCATION AS WELL AS A DESCRIPTION OF ALL DEFECTS, WATER LEVEL, LEAKS AND LENGTHS. IDENTIFY MANHOLE TO MANHOLE BOTH VERTICALLY AND ON-SCREEN USING MANHOLE NUMBERS FROM APPROVED PLANS. ORDER OF WRITTEN REPORT SHALL BE THE SAME AS THE VIDEO TAPES/DVDS.</p> <p>9. TEST RESULTS:</p> <p>A. IF THE SANITARY SEWER INSTALLATION FAILS TO MEET THE TEST REQUIREMENTS SPECIFIED, THE CONTRACTOR SHALL DETERMINE THE CAUSE OR CAUSES OF THE DEFECT AND SHALL, AT HIS OWN EXPENSE, REPAIR OR REPLACE ALL MATERIALS, AND WORKMANSHIP AS MAY BE NECESSARY TO COMPLY WITH THE TEST REQUIREMENTS.</p> <p>10. CERTIFICATION:</p> <p>A. CONTRACTOR SHALL SUBMIT CERTIFIED COPIES OF ALL REPORTS OF TESTS CONDUCTED BY AN INDEPENDENT LABORATORY BEFORE INSTALLATION OF PVC PLASTIC PIPE. TESTS SHALL BE CONDUCTED IN ACCORDANCE WITH STANDARD METHOD OF TEST FOR "EXTERNAL LOADING PROPERTIES" PLASTIC PIPE BY PARALLEL PLATE LOADING". ASTM STANDARDS D-2412 OR D-2241 AS APPROPRIATE FOR THE PIPE TO BE USED. TESTS SHALL ALSO BE CONDUCTED TO DEMONSTRATE JOINT PERFORMANCE AT 5% MAXIMUM DIAMETRIC DEFLECTION OF THE SPIGOT.</p> <p>11. RECORD DRAWINGS:</p> <p>A. THE CONTRACTOR SHALL PROVIDE ALL INFORMATION TO PREPARE RECORD DRAWING(S) INCLUDING SERVICE STUB LOCATIONS, TO SPACECO. SPACECO SHALL PREPARE RECORD DRAWINGS AND SUBMIT TO APPROPRIATE PUBLIC AGENCIES. IF FINAL MEASUREMENTS INDICATE DEFICIENCIES, THE CONTRACTOR, AT HIS OWN COST, WILL ADJUST MANHOLES AND/OR SEWERS TO PROPER ELEVATIONS AND OTHERWISE CORRECT THE DEFICIENCIES.</p>	<p>2. BEDDING:</p> <p>A. ALL STORM SEWERS SHALL BE INSTALLED ON A TYPE A GRANULAR BEDDING: 1/4" TO 3/4" IN SIZE (CA-13) WITH A MINIMUM THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE BUT NOT LESS THAN 4". BLOCKING OF ANY KIND FOR GRADE IS NOT PERMITTED. THE BEDDING MATERIALS SHALL BE COMPACTED TO 90% OF MODIFIED PROCTOR DENSITY. BEDDING SHALL EXTEND TO THE SPRINGLINE ON ALL RCP AND DIP PIPE. BEDDING SHALL EXTEND TO 12" OVER ANY PVC OR HDPE PIPE. COST OF BEDDING SHALL BE CONSIDERED INCIDENTAL TO THE COST OF PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS.</p> <p>3. STRUCTURES:</p> <p>A. MANHOLE, CATCH BASIN AND INLET BOTTOMS SHALL BE PRECAST CONCRETE SECTIONAL UNITS OR MONOLITHIC CONCRETE. MANHOLES AND CATCH BASINS SHALL BE A MINIMUM 4" IN DIAMETER UNLESS OTHERWISE SPECIFIED ON THE PLANS. STRUCTURE JOINTS SHALL BE SEALED WITH O-RING OR BUTYL ROPE. A MAXIMUM OF EIGHT (8") INCHES OF ADJUSTING RINGS SHALL BE USED.</p> <p>B. A CONCRETE BENCH TO DIRECT FLOWS SHALL BE CONSTRUCTED IN THE BOTTOM OF ALL INLETS AND MANHOLES.</p> <p>C. THE FRAME, GRATE, AND/OR CLOSED LID SHALL BE CAST IRON OF THE STYLE SHOWN ON THE PLANS.</p> <p>D. MANHOLE LIDS SHALL BE MACHINE SURFACED, NON-ROCKING DESIGN. THE CLOSED LIDS SHALL HAVE THE WORD "STORM" CAST ON THE LID. THE JOINTS BETWEEN CONCRETE SECTION ADJUSTING RINGS, AND FRAME SHALL BE SEALED WITH A MASTIC COMPOUND.</p> <p>4. FRENCH DRAIN:</p> <p>A. ALL LOW POINT STORM STRUCTURES ARE TO HAVE FOUR 1" DIAMETER WEEP HOLES PROVIDED 24" BELOW THE TOP OF LID. THE HOLES SHALL BE COVERED WITH A GEOTEXTILE FILTER FABRIC CEMENTED IN PLACE WITH BITUMINOUS MASTIC. THE DRAIN SHALL BE BACKFILLED WITH BEDDING OR CA-7 CRUSHED STONE TO TOP OF SUBGRADE OR BOTTOM OF TOPSOIL.</p> <p>5. CASTINGS:</p> <p>A. CASTINGS FOR SEWER OR OTHER STRUCTURES SHALL BE "NEENAH" OR APPROVED EQUAL. COST OF CASTINGS SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE STRUCTURE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.</p> <p>6. CLEANING:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE THOROUGHLY CLEANED PRIOR TO FINAL INSPECTION AND TESTING.</p> <p>7. TELEVISION:</p> <p>A. THE STORM SEWER SYSTEM SHALL BE TELEVIEWED IF REQUIRED BY MUNICIPALITY.</p>			
<p>SIGNING AND PAVEMENT MARKING</p> <p>1. ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), MUNICIPAL CODE AND THESE PLANS.</p> <p>2. CONTRACTOR SHALL ESTABLISH LOCATION OF ALL SIGNS AND MARKINGS FOR APPROVAL BY THE OWNER PRIOR TO INSTALLATION.</p> <p>3. SIGNS: SIGNS SHALL BE CONSTRUCTED OF 0.080 INCH THICK FLAT ALUMINUM PANELS WITH REFLECTORIZED LEGEND ON THE FACE IN ACCORDANCE WITH (SSRBC) SECTION 720. LEGEND SHALL BE IN ACCORDANCE WITH MUTCD AND AS SHOWN ON THE PLANS.</p> <p>4. POSTS: SIGN POSTS SHALL BE A HEAVY DUTY STEEL "U" SHAPED CHANNEL WEIGHING 3.0 POUNDS/FOOT SUCH AS A TYPE B METAL POST PER (SSRBC) SECTION 729 [OR 2" PERFORATED STEEL TUBE PER (SSRBC) SECTION 728].</p> <p>5. SIGNS AND POSTS SHALL BE INSTALLED IN ACCORDANCE WITH THE ABOVE (SSRBC) SECTIONS AND IDOT STANDARD 729001 EXCEPT AS MODIFIED BY THE PLANS.</p> <p>6. PAVEMENT MARKINGS: ALL PAVEMENT MARKINGS IN THE ROADWAY LIMITS, SUCH AS STOP LINES, CENTER LINES, CROSSWALKS AND DIRECTIONAL ARROWS SHALL BE REFLECTORIZED THERMOPLASTIC PER (SSRBC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. [NOTE TO ENGINEERS: IDOT PREFERRED REFLECTORIZED PAINT ON CONCRETE PAVEMENT - CHECK WITH AGENCY WHO WILL MAINTAIN ROAD.]</p> <p>7. PAVEMENT MARKINGS ON BIKE PATHS, PARKING LOT STALLS, AND SIMILAR "LOW WEAR" APPLICATION, SHALL BE PAINT IN ACCORDANCE TO (SSRBC) SECTION 780, EXCEPT AS MODIFIED BY THE PLANS. REFLECTIVE BEADS ARE NOT REQUIRED.</p> <p>8. COLOR, WIDTH, STYLE, AND SIZE OF ALL MARKINGS SHALL BE IN ACCORDANCE WITH (MUTCD) EXCEPT AS MODIFIED BY THE PLANS.</p> <p>9. THERMOPLASTIC MARKINGS SHALL BE INSTALLED WHEN THE PAVEMENT TEMPERATURE IS 55° F AND RISING. PAINT MARKINGS MAY BE INSTALLED WHEN THE AIR TEMPERATURE IS 50° F AND RISING.</p>		<p>1. GENERAL</p> <p>A. ALL EXTERIOR CONCRETE SHALL BE PORTLAND CEMENT CONCRETE CLASS SJ OR PV PER (SSRBC) SECTION 1020.04 WITH AIR ENTRAINMENT OF NOT LESS THAN FIVE (5%) OR MORE THAN EIGHT (8%) PERCENT. CONCRETE SHALL BE A MINIMUM OF SIX (6) BAG MIX AND SHALL DEVELOP A MINIMUM OF 3,500 PSI COMPRESSIVE STRENGTH AT FOURTEEN (14) DAYS. ALL CONCRETE SHALL BE BROOM FINISHED PERPENDICULAR TO THE DIRECTION OF TRAVEL. THE ADDITION OF CALCIUM CHLORIDE AND THE SUBSTITUTION OF FLY ASH FOR PORTLAND CEMENT IS PROHIBITED. 1-50 LBS OF COLLATED, FILLERATED, POLYPROPYLENE FIBERS PER 100 TO 0.75 INCHES IN LENGTH SHALL BE ADDED TO EACH CUBIC YARD OF CONCRETE USED FOR SIDEWALKS. THE FIBERS SHALL BE AS MANUFACTURED UNDER THE NAME "FIBERMESH" OR EQUAL.</p> <p>B. CONCRETE CURB AND/OR COMBINATION CURB AND GUTTER SHALL BE OF THE TYPE SHOWN ON THE PLANS. THE CONTRACTOR IS CAUTIONED TO REFER TO THE CONSTRUCTION STANDARDS AND THE PAVEMENT CROSS-SECTION TO DETERMINE THE GUTTER FLAG THICKNESS AND THE AGGREGATE BASE COURSE THICKNESS BENEATH THE CURB AND GUTTER. PREMOLOID FIBER EXPANSION JOINTS, WITH TWO 3/4" X 18" EPOXY COATED STEEL DONEL BARS, SHALL BE INSTALLED AT SIXTY (60) FOOT INTERVALS AND AT ALL PC'S, PT'S AND CURB RETURNS. ALTERNATE ENDS OF THE DONEL BARS SHALL BE GREASED AND FITTED WITH METAL EXPANSION TUBES. SAVED OR FORMED CONTRACTION JOINTS SHALL BE PROVIDED AT NO GREATER THAN FIFTEEN (15) FOOT INTERVALS BETWEEN EXPANSION JOINTS. NO HONEY-COMBING OF THE CURB AND GUTTER WILL BE ACCEPTED.</p> <p>C. CURBS SHALL BE DEPRESSED AT LOCATIONS WHERE PUBLIC WALKS/PEDESTRIAN PATHS INTERSECT CURB LINES, AND OTHER LOCATIONS AS DIRECTED, FOR THE PURPOSE OF PROVIDING ACCESSIBILITY. (SEE CONSTRUCTION STANDARDS FOR DETAIL). BARRIER CURB SHALL ALSO BE DEPRESSED AT DRIVEWAY LOCATIONS.</p> <p>D. THE CURBS SHALL BE BACKFILLED AFTER THEIR CONSTRUCTION AND PRIOR TO THE PLACEMENT OF THE BASE COURSE. THE CONCRETE MUST CURE FOR AT LEAST SEVEN DAYS BEFORE THE CURBS ARE BACKFILLED.</p> <p>E. CONCRETE SIDEWALK SHALL BE IN ACCORDANCE WITH THE ABOVE AND THE PLANS. PROVIDE SCORED JOINTS AT 5 FOOT INTERVALS AND 1/2 " PREMOLOID FIBER EXPANSION JOINTS AT 50 FOOT INTERVALS, AND ADJACENT TO CONCRETE CURBS, DRIVEWAYS, FOUNDATIONS, ETC.</p>					

11. TESTING:

A. ALL WATERMANS SHALL BE PRESSURE TESTED, FLUSHED AND DISINFECTED IN ACCORDANCE WITH AWWA AND MUNICIPAL SPECIFICATIONS. EACH VALVE SECTION SHALL BE PRESSURE TESTED FOR A MINIMUM OF 4 HOURS. ALLOWABLE LEAKAGE IS TO BE ONLY THAT WHICH IS PREDETERMINED BY THE STANDARD SPECIFICATIONS FOR SEWER AND WATERMAIN CONSTRUCTION IN ILLINOIS. AT NO TIME IS THERE TO BE ANY VISIBLE LEAKAGE FROM THE MAIN.

B. CONTRACTOR IS RESPONSIBLE FOR PRESSURE TESTING AGAINST EXISTING WATER VALVES.







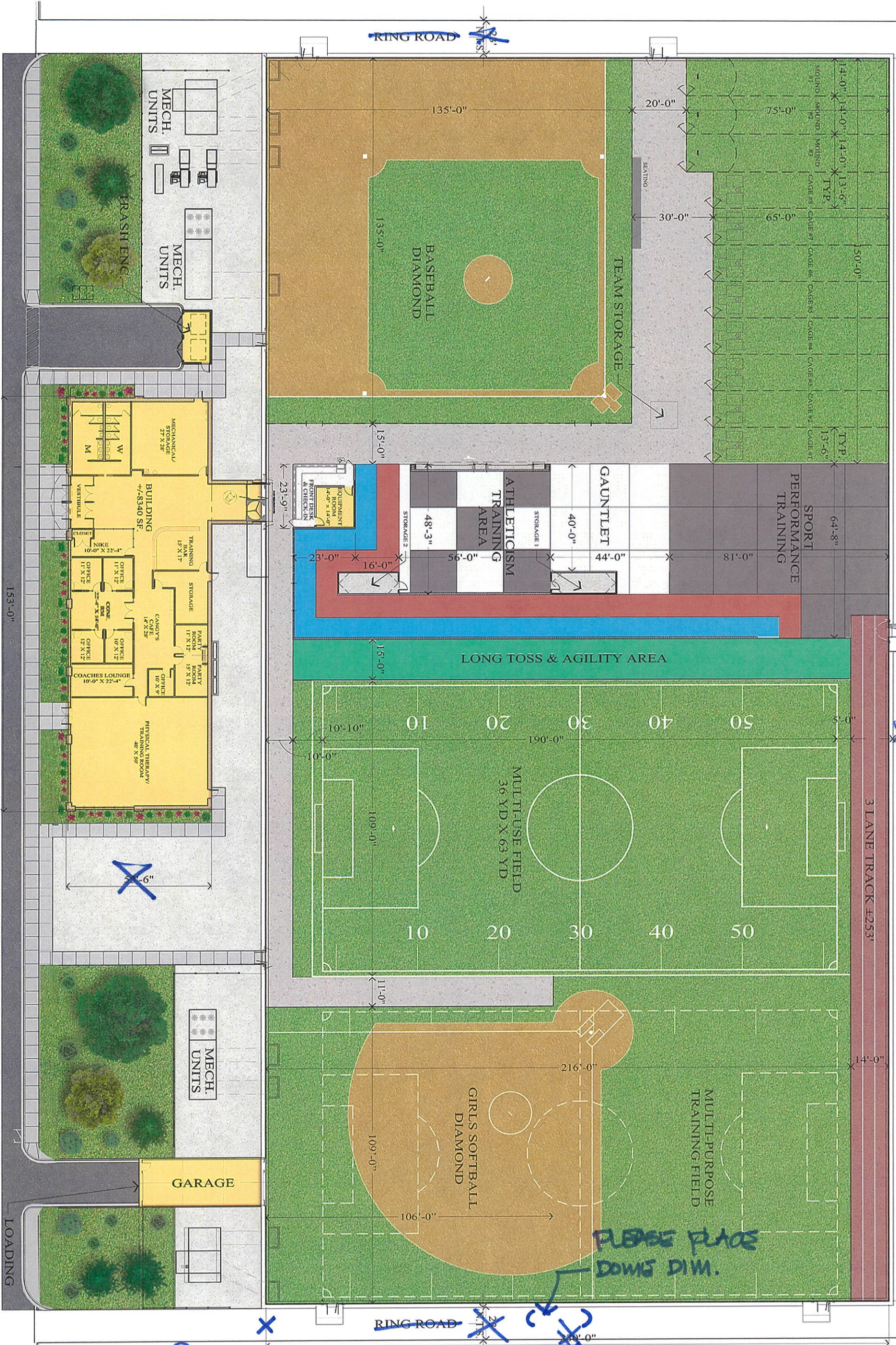




460'-0"

RING ROAD ± 460'-0"

3' N.T.S.



Charles E. Smith  
Architect - AIA, NCARB, APA  
13543 W. 185th Street, Mokena, IL 60448  
P: (815) 990-0670 E: cems52@aol.com

CONCEPT  
PROPOSED  
FLOOR PLAN

BEAUMONTVILLE  
ILLINOIS.

Be Jackson's  
ELITE  
SPORTS

DEVELOPER:  
Be Jackson's  
12415 S. HAWTHORNE AVE.  
P.O. BOX 1101111, IL 60463

R-1 / 18021  
PROJECT #: 88888  
DATE: 8.8.18  
SCALE: AS NOTED  
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ore design studio, ltd  
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CONCEPT

PROPOSED FLOOR PLAN



LOT 2 EXCEPT THAT PART THEREOF LYING WITHIN THE RPRIAN CONSERVATION EASEMENT SHOWN ON THE PLAT OF SECTION PROPERTY REDEVELOPMENT AND ALSO EXCEPT THAT PART THEREOF LYING WEST OF THE EAST 66 FEET WIDE STRIP OF LAND BEING DEED BY BEGINNING AT A POINT IN THE WEST LINE OF S&D LOT 2 WHICH IS 943.30 FEET SOUTH OF THE NORTHERLY CORNER OF SAID LOT AS MEASURED ALONG THE WEST LINE THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST 50.00 FEET TO THE WEST LINE OF THE RPRIAN CONSERVATION EASEMENT AND THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST 50.00 FEET THENCE SOUTH 88 DEGREES 14 MINUTES 16 SECONDS EAST 56.37 FEET TO THE WEST LINE OF THE RPRIAN CONSERVATION EASEMENT AND THE TERMINATION OF SAID STRIP OF LAND BEING DEED BY BEGINNING AT A POINT IN THE WEST LINE OF SAID LOT 2 AND ENDING AT SECTION 25, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 2, 2002 AS DOCUMENT NO. R2002-1898H, IN DAPAGE COUNTY, ILLINOIS.



**TYPE:**Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**09.04.18**DESCRIPTION:**

Consideration of a Conditional Use Permit (Service Station) for Lincolnwood Gas & Food, Inc. located at 1301 W Irving Park Rd.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☐*Enrich the lives of Residents**Major Business/Corporate Center*

X

*Vibrant Major Corridors***REQUEST:**

Conditional Use Permit, Service Station,  
Municipal Code Section 10 – 7B – 3.

**SUMMARY:**

1. The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue.
2. The station will be rebranded as an Exxon with Quick Mart.
3. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump.
4. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed.
5. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.
6. Staff also has concerns about lack of full traffic study and lack of convincing market analysis/need.

**RECOMMENDATION:**

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;
4. The sidewalk must be completed on the Spruce Avenue frontage;
5. Monument sign must include 3 feet of landscaping around the base;
6. No liquor license;
7. No video gaming;
8. Site must be redesigned to eliminate the need for the stacking variation;
9. Building and column/canopy upgrades required.

**ATTACHMENTS:**

Description

Upload Date

Type



<b>Aerial &amp; Zoning Maps</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Application</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Project Narrative</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>8/1/2018</b>	<b>Executive Summary</b>
<b>Building Plans</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Signage</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Stacking Exhibit</b>	<b>8/1/2018</b>	<b>Backup Material</b>
<b>Plat of Survey</b>	<b>8/1/2018</b>	<b>Backup Material</b>





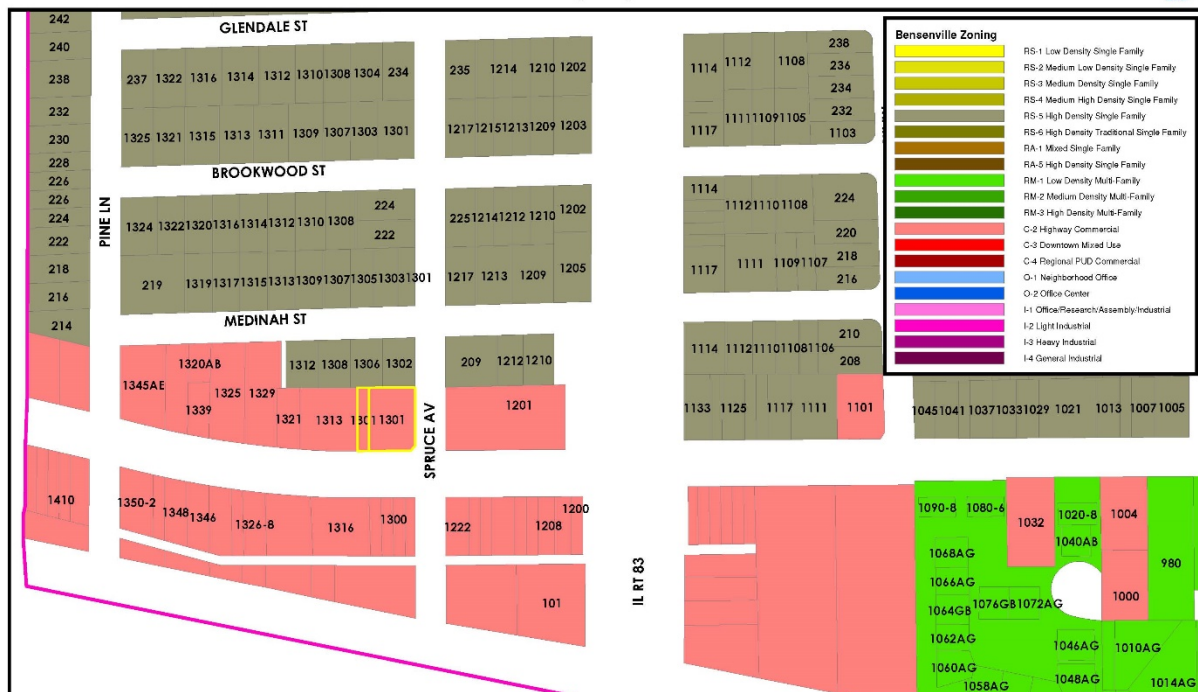
# Village of Bensenville

1301 W Irving Park Rd



# Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, August 7, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 18 to consider a request for:

Conditional Use Permit, Service Station,  
Municipal Code Section 10 – 7B – 3.

1301 West Irving Park Road is in a C – 2 Highway Commercial district. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 3, 4, 5, 6, AND 7 IN BLOCK 40 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14, AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926, AS DOCUMENT 213044, EXCEPT THAT PART OF LOT 3 TAKEN FOR ROADWAY PURPOSES BY THE STATE OF ILLINOIS, DEPARTMENT OF TRANSPORTATION AS SHOWN AS PARCEL 0026 ON PLAT RECORDED MARCH 19, 1985, AS DOCUMENT R85-18882, AND DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF LOT 3: THENCE NORTH 86 DEGREES 23 MINUTES 55 SECONDS WEST ALONG THE SOUTH LINE OF LOT 3, A DISTANCE OF 10.00 FEET; THENCE NORTH 46 DEGREES 43 MINUTES 13 SECONDS EAST, 14.17 FEET TO THE EAST LINE OF LOT 3; THENCE SOUTH 01 DEGREE 50 MINUTES 22 SECONDS WEST ALONG THE EAST LINE OF LOT 3, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

ADDRESS: 1301 W IRVING PARK ROAD, BENSENVILLE, ILLINOIS.

Leonidas Bairaktaris of 6N068 Acacia Ln., Medinah 60157 and Kyriakos Giannoudakos of 420 Sunnyside Ave, Itasca, IL 60143 are the owners and Lincolnwood Gas & Food, Inc of 6559 N. Lincoln Ave, Lincolnwood, IL 60712 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 7, 2018 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT**



**July 19, 2018**





For Office Use  
Date of Submission: \_\_\_\_\_ MUNIS # : 7:70 CDCCw: #: 2.0/8-'-j

### COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: .I>@1-IN · 2-V'€ =t-IP\_ =---'.....'t-'B''=...;''''''=....-11.1\_

Property Index Number(s) (PIN): 00 · \6 · 2:2."2 · 6 tB 0..3 · 15, Z.'2-2. · 01

#### A. PROPERTY OWNER:

CDENID,t; BA1 A rAel6 f@t::Y121At;qS 4tA-NNot./L2A-;;a\$  
Name Corporation (if applicable)

U) OG,e Ac.lt.iA. )IN &,cL;7 @4zo\$u,<,1.N ySb6Aut!!i...z &okf3  
Street

City

State

Zip Code

)(  
Contact Person

Telephone Number & Email Address

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: Xheouis Lu Parafte Phraouph Date: X

#### B. APPLICANT: ☐ Check box if same as owner

LwPQkMz?aaJ 'r'2 f.G,s=4, IA  
Name Corporation (if applicable)

t0551 Ai. LI'H  
Street

Lt&cd t-Jwa,4 .re 007/-Z  
City State Zip Code

/4SE /J1 i06f;nJ 773 · 764 · 7230  
Contact Person Telephone Number & Email Address

TENANT  
Relationship of Applicant to subject property

Applicant Signature: X Phraouph Date: X 08-01-17

#### C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☒ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development\*\*
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

\*Item located within this application packet.

\*\*See staff for additional information on PUD requests

#### SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☐ Affidavit of Ownership\* (signed/notarized)
- ☐ Application\*
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit\*
- ☐ Digital Submission of all application materials (CD)



**Brief Description of Request(s):** (submit ~~separat~~ ~~shitt~~ if necessary)

Conditional Use Permit, to continue using the existing Gas Station located at 1301 W. Irving Pk. Rd.  
as a Gas Station (#03-15-222-013 & 03-15-222-019)

**D. PROJECT DATA:**

1. General description of the site: Existing corner gas station located in C-2 district
2. Acreage of the site: 39 Acres Building Size (if applicable): 1421 SF Gross
3. Is this property within the Village limits? (Check applicable below)  
\_\_\_ X Yes  
\_\_\_ No, requesting annexation  
\_\_\_ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)  
None
5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	C-2	Gas Station C-Store	Village of Bensenville
North:	RS-5	SFH	Village of Bensenville
South:	C-2	Auto Body/ Repair Shop	Village of Bensenville
East:	C-2	Car Wash	Village of Bensenville
West:	C-2	Retail	Village of Bensenville

**E. DEVELOPER'S STAFF (if applicable):**

**ARCHITECT**

Name: NA  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

**ENGINEER:**

Name: NA  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

**ATTORNEY**

Name: NA  
Telephone: \_\_\_\_\_  
Email: \_\_\_\_\_

**OTHER** Woods Design Group, Construction Manager

Name: Art Woods  
Telephone: 630-886-5163  
Email: artwoods@woodsdg.com

**F. APPROVAL CRITERIA:**

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The COC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."



WOODS DRESIGN GROUP, as Construction Managers for

Client: (Tenant/Lessee) Lincolnwood Gas & Food, Inc

Municipal Code section 10-3-4:C Approval Criteria for Conditional Use Permit

Project Address: 1301 W. Irving Pk. Rd., Bensenville Illinois

- 1) Traffic Impact: the area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.
- 2) Environmental Nuisance: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.
- 3) Neighborhood Character: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.
- 4) Use of Public seNices and facilities: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.
- 5) Public Necessity: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.
- 6) Other Factors: In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center, I would contend that it fits in well with its neighbors.
- 7) History/Comment: If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.



STATE OF ILLINOIS

COUNTY OF DUPAGE AND COOK

)  
)SS.  
)

AFFIDAVIT OF OWNERSHIP

I 1£:06JIPJI't-\$ •'B>AtZAKTAi:!.\\S the undersigned Affiant, being first duly sworn,  
on oath states:

1. That Affiant has personal knowledge of the representations and statements made herein, and has examined all necessary documents, records of ownership and such other information as is required to confirm the statements and representations herein;
2. That the owner(s) and contract purchaser(s), if any, as set forth on the Petition attached hereto is (are) the owner(s) of record and contract purchasers of said property;
3. That all consents to the attached Petition required of lenders or of others holding an interest in the property have been obtained;
4. This Affidavit of Ownership is given to induce the Village of Bensenville, without further inquiry as to ownership or purchase interest, to rely on said statements and representations and to process and set for Public Hearing the Petition as attached hereto; and,
5. Affiant is aware of and has been advised that any false statement set forth in this Affidavit of Ownership may subject Affiant to criminal sanctions for perjury, punishable as provided by the statutes of the State of Illinois in relation to the crime of perjury.

IN WIT SS WHEREO the undersigned has executed this Affidavit of Ownership  
this .... day of, "f;J'd: '2-ul I.

CW, oU cA +i, JU/2  
signature

SUBSCRIBED and SWORN to

before me this 3 day of, August, 2017

[Signature]  
Notary Public





## **Village of Bensenville Conditional Use Permit**

### **EXHIBIT "A"**

**1301 W. Irving Pk. Rd., Bensenville Illinois**

#### **Legal Description**

**Lots 3, 4, 5, 6 and 7 in Block 40 in the first addition to Percy Wilson's Irving Park Manor, being a subdivision in Sections 10, 11, 14, and 15, Township 40 North, Range 11, East of the Third Principal Meridian, according to the plat thereof recorded May 7, 1926 as Document 11213044, except that part of Lot 3 taken for Roadway purposes by Document R85-18882, in DuPage County, Illinois**

**PIN : 03-15-222-013 & 03-15-222-019**

**Address: 1301 W. Irving Park Rd. Bensenville, IL**

**60106**

106



install EXXON corporator ID sign on canopy as shown  
there would be two sets of letter  
one on the west side one on the east end  
22" x 8ft long EXXON letters two set 15 sq ft each 30 sq ft total





## **Project Narrative 1301 W. Irving Park Road**

### **INTRODUCTION**

Lincolnwood Gas & Foods, Inc. ("LG&F") is requesting to reestablish their gas station at the corner of Irving Pk. Rd. and Spruce Ave. in Bensenville, including completion of the remodeling of the existing building, and includes rebranding the station to an Exxon station with Quick Mart.

Remodel of an approximately 1,500 square foot convenience store, eight car (8) parking stalls, six (6) multi-product fueling dispensers (this provides for twelve (10) automobile fueling positions)

This remodel will transform the underutilized repair station into a first class, updated fueling center. The Exxon Quick Mart, with both food and fueling components will serve the residents as well as a very active transient day time population.

The Quick Mart will give significant benefits to the immediate neighborhood as well as serving the west bound traffic on Irving park Rd. and that traffic exiting route 83 to Spruce Ave. In addition, this facility will create 2-4 new jobs in the community these will typically be people living within 5-7 blocks of the station.

The reestablishment and rejuvenation of the property will provide much needed amenities to the growing residential area and to more than 5,800 vehicles exiting Rout 83 on Spruce Ave. along with 18,800 daily vehicles on Irving Park Road.

The Quick Mart store will offer a variety of both replenishable & consumables from food to toiletry options, hot and cold beverages, and other convenience goods consisting of more than 900 items or SKU's.

### **MARKET OVERVIEW**

LG&F targeted customers are (a) the residents with in one-mile radius, this group will visit the station on a regular basis 1-3 times a week as it will be the most convenient place to buy consumables. (b) residents within 1-2 mile radius this group in general will visit one time per month, and finally (c) the transient group is the day time traffic of 5,800 coming from Rout 83 off of Spruce Ave. past our store, and the west bound traffic on Irving Pk. Rd. 18,800 of this we will get a percentage of the traffic as our daytime customer.

According to the leading industrial real estate brokers in the O'Hare industrial office/warehouse submarket (bounded by I-294 on the east, I-290 on the south, I-355/Route 53 on the west, and Touhy Avenue on the north) has nearly 100,000,000 square feet of industrial flex space and represents the largest contiguous industrial park in the United States.

Despite the development of new fueling stations in the Bensenville area, the expansion of the industrial park and the extension of the Elgin-O'Hare expressway continues to drive consumer demand for a quick convenient "Quick Mart" Fueling Station for daily commuters as well as the increasing local population needed to keep it all working.



## PROJECT OVERVIEW

Since the site is located along two of the busiest travel routes in the Bensenville, Elk Grove Village and Wood Dale area, the Quick Mart will provide eight fast flow standard fueling lanes and two fast flow diesel lanes for cars and small trucks.

LG&F is also looking into setting up quick charge refueling for electric cars, we believe that this is the wave of the future for the daily local commuter and we would like to lead the way. Looking at the expanding market of electric cars and light truck we believe that it just a matter of time before they become main stream.

## MARKET ANALYSIS

The reestablishment of this station along with the new and improved Quick Mart will serve the greater Bensenville O'Hare area for the next fifty years as it has for the past 60 years.

This location has long served as a combination auto repair/fueling station and most recently changed from auto repair to quick Mart fueling station given the many changes in both car technology and traffic demands this change was long overdue. It is because of our long history and willingness to expand and improve we humbly request that you approve our request for a special use permit to reestablish our business and continue our long history of serving the greater Bensenville area.

LG&F has projected sales of both Gas and convenient store sale see chart below. This at 1% sales tax would net +/- \$7,500.00 a year to the Village along with increased EAV with improved site. This is a win for everyone.

	Month												TOTAL
	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
Gallons sold	75,000	73,000	76,000	78,000	75,000	80,000	85,000	88,000	84,000	83,000	82,000	81,000	960,000
STORE SALES	50,000	50,000	55,000	60,000	60,000	63,000	70,000	72,000	70,000	68,000	66,000	60,000	744,000



**STAFF REPORT**

**HEARING DATE:** August 7, 2018  
**CASE #:** 2018 – 12  
**PROPERTY:** 1301 W Irving Park Rd  
**PROPERTY OWNER:** Leonidas Bairaktaris and Kyriakos Giannoudakos  
**APPLICANT** Lincolnwood Gas & Food, Inc  
**SITE SIZE:** 16,918 SF  
**BUILDING SIZE:** 1,435 SF  
**PIN NUMBERS:** 03-15-222-013; -019  
**ZONING:** C – 2 Highway Commercial District  
**REQUEST:** Conditional Use Permit, Service Station,  
Municipal Code Section 10 – 7B – 3.

**PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday July 19, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Friday July 20, 2018.
3. On Friday July 20, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

**SUMMARY:**

The Petitioner is applying for a Conditional Use Permit to operate a fueling station at the long vacant property at the northwest corner of Irving Park Road and Spruce Avenue. The station will be rebranded as an Exxon with Quick Mart. Although not part of the original request, it appears they will need a stacking variance, as they don't meet the required two vehicle stacking positions per fueling pump. They were also required to submit building plans, as much of that work had been done with a proper approval. The plans you see are mostly already completed. Also of note, the State fire marshal required the property owner to remove existing underground tanks. There are currently no tanks, but the owner says he has new tanks ready to install should the project move forward.



**SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	C – 2	Vacant Commercial	Local Commercial	Village of Bensenville
<b>North</b>	RS – 5	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>West</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>East</b>	C – 2	Commercial	Local Commercial	Village of Bensenville

**DEPARTMENT COMMENTS:*****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

Account is paid up to date.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:

## Economic Development:

- 1) Supportive of this conditional use permit for a fueling station use.
- 2) The site is already built out as a gas station, and as such will require minimal construction or rehabilitation.
- 3) The fueling station will create a number of jobs for community residents, as well as generate sales tax for the Village.

Fire Safety:

No comments at this time.

Building:

- 1) The site has five issued permits, dating back to 2014, that have not been completed.
  - a. #4009 Interior demolition applied for 1/2014
  - b. #4313 Building alteration applied for 6/2014
  - c. #4842 Exterior improvements applied for 1/2015
  - d. #4928 Signage applied for 3/2015
  - e. #7884 Tank removal applied for 2/2018
- 2) New building permits would be required and since none of the old permitted work was finalized, all work will have to meet current code requirements.



- 3) An Office of the State Fire Marshal (OSFM) permit will be required for the installation of the new tanks.

**Planning:**

- 1) The 2015 Comprehensive Plan indicates “Local Commercial” for this property.
- 2) There was a prior gas station on the property. It closed in 2014.
- 3) Since this station closed, there have been 5 fueling stations approved by Village Board:
- 4) There are 13 fueling stations in the Village currently, with one more approved recently.

<b>ADDRESS</b>	<b>BUS NAME</b>
1285 NORTH ELLIS STREET	ROAD READY
1156 SOUTH YORK ROAD	7- ELEVEN/ EXXON
550 NORTH IL RT 83 ROAD	B P CONNECT (BP PRODUCTS NORTH AMERICA)
600 NORTH IL RT 83 ROAD	BENSENVILLE SHELL
1225 WEST DEVON AVENUE	CITGO
600 WEST IRVING PARK ROAD	BP
647 SOUTH YORK ROAD	SUNNY PETROLEUM, INC. ( MARATHON)
550 ILLINOIS ROUTE 83	BP/SUBWAY
601 NORTH IL RT 83 ROAD	THORNTONS INC, #314
1120 WEST IRVING PARK ROAD	SPEEDWAY #7412
101 WEST IRVING PARK ROAD	AMOCO
801 NORTH IL RT 83 ROAD	BRYN MAWR CITGO
1050 NORTH IL RT 83 ROAD	PILOT TRAVEL CENTER LLC
720 EAST GREEN STREET	AMERIFREIGHT*

- 5) Applicant is proposing 10 auto-fueling positions: eight regular fuel and two diesel.
- 6) Applicant submitted a stacking exhibit, which doesn’t show the required two stacking spots per fueling station. A variance for stacking requirements was not applied for.
- 7) The applicant is interested in installing electric vehicle charging stations.
- 8) From Village Code: The Village Board may require a traffic study to verify that the placement and spacing of curb cuts will not result in traffic conflicts with pedestrians and other motorists.
- 9) A full traffic study was not submitted.
- 10) Staff may want to close a curbcut.
- 11) The Spruce Avenue frontage does not have a sidewalk. Where the Site Plan has striping we should seek the removal of the pavement and have green space reintroduced to the Site.
- 12) The applicant submitted a project narrative with market overview.
  - a. They anticipate 960,000 gallons sold a year.
  - b. They anticipate the convenience store selling a total of \$744,000 a year.
- 13) The monument sign must include landscaping around the base.
- 14) The building and canopy are not built to the same standards as other recent approvals, including masonry on building and canopy columns.
- 15) Changes to the columns to include masonry and upgrades to the building should be considered.
- 16) Without the tanks in ground, is it possible to relocate/redesign pump islands to mitigate stacking variation?
- 17) Staff does not recommend a liquor license or video gaming to be allowed.

**APPROVAL CRITERIA FOR CONDITIONAL USES:**



The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

**Applicant's Response: The area shall not see or have any significant increase in traffic as the existing site function and use as a gas station is not changing.**

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

**Applicant's Response: The Conditional Use sought is for a Gas Station, the existing site is a Gas Station. The site shall not generate any greater noise than does exist, the building shall not add or reduce any light beyond what exists, the site shall not create any adverse environmental greater than is allowed.**

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

**Applicant's Response: The proposed use of the property shall fit harmoniously with the existing character, and should have no adverse impact on environmental quality, property values, or neighborhood character as this site sites bordered by similar commercial uses and has been in existence since 1956.**

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

**Applicant's Response: The conditional Use Permit sought will not have a need for any greater, or a disproportionate demand on any village services or facilities than that of the surrounding area.**

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

**Applicant's Response: The prosed use at this location (gas Station) has existed and provided a service to the community and has been a public convenience for over 60 years, we are just requesting to continue the existing use, for many more years. I would also like to say that this location has been not only a good neighbor, it has also been an income producer in the way of sales tax for those same years, and will continue to generate revenue for the village for years to come.**



6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

**Applicant's Response:** In closing let that conditional use permit we seek is to continue a use that has existed since 1956, that a track record of some 60 years. This site is surrounded by a Car Wash, Auto Parts, Auto Repair, Storage lots, Tavern, Hot Dog stand, and a retail Strip Center. I would contend that it fits in well with its neighbors.

**Additional History/Comment from Applicant:**

If it had not been for a couple unfortunate circumstances and miscommunications my client the Tenant/Lessee and initiator of the application for conditional use would not be before you today, this station has existed for over 60 years, so we ask you now to grant the petitioners the conditional use they request so they may complete the remodel of the station, continue its use, and once again be a productive Business in the Village of Bensenville.

**Staff Response to Approval Criteria:**

It is stated repeatedly, and incorrectly, that the existing use will remain. The site is currently vacant with no use. While a past use was a fueling station, it is not correct to say that the existing site function and use as a gas station is not changing. The site is not an existing gas station.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic		X
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity		X
6. Other Factors	X	

**RECOMMENDATIONS:**

Staff recommends the Denial of the above Findings of Fact and therefore the Denial of the Conditional Use for Lincolnwood Gas & Food, Inc. If the CDC recommends approval staff suggests as a minimum the following conditions with the following conditions:

1. The Conditional Use Permit be granted solely to the Lincolnwood Gas & Food and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
2. New building permits are required to deal with 5 outstanding permits and all future permits;
3. All work will have to meet current Code requirements;
4. The sidewalk must be completed on the Spruce Avenue frontage;



5. Monument sign must include 3 feet of landscaping around the base;
6. No liquor license;
7. No video gaming;
8. Site must be redesigned to eliminate the need for the stacking variation;
9. Building and column/canopy upgrades required.

Respectfully Submitted,  
Department of Community  
& Economic Development



## GENERAL NOTES

- ### SPECIAL NOTES

**SPECIAL SAFETY NOTE**

**1**  
**1 C1** **SITE PLAN**  
**1" = 30'-0"**

115 OAKWOOD AVE., DES PLAINES, IL 60016 PH. # 847.698.4114  
e-mail: christopher@cw-architects.com

**BUILDING CODES:**

International Mechanical Code (2012)

**ENERGY CONSERVATION CODE  
COMPLIANCE STATEMENT**

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL  
KNOWLEDGE AND BELIEF THAT THE WORK TO BE PERFORMED  
SHOWN IN THESE DRAWINGS COMPLY WITH THE REQUIREMENTS  
OF INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2015

SIGNED [Signature]

SIGNED: [Signature]  
DATE: 10.11.17

### CERTIFICATION STATEMENT

I HEREBY CERTIFY THAT THESE PLANS WERE  
PREPARED UNDER MY DIRECT SUPERVISION  
AND TO THE BEST OF MY PROFESSIONAL  
KNOWLEDGE THEY CONFORM TO THE  
ALL LOCAL BUILDING AND ZONING ORDINANCES

SIGNED [Signature]

SIGNED: [Signature]  
DATE: 10-11-17



Drawing List		
Sheet Number	Sheet Name	Sheet Issue Date
1 C1	TITLE SHEET & SITE PLAN	10-11-2017
2 C2	MATERIAL SPECIFICATIONS	10-11-2017
3 A1	FIRST FLOOR PLAN & ELEVATIONS	10-11-2017
4 E-M1	ELECTRICAL & MECHANICAL PLANS	10-11-2017
Grand total: 4		

BUILDING DATA		
BUILDING CODE		
BUILDING CODE:	INTERNATIONAL BUILDING CODE, 2015 EDITION W/ AMENDMENTS	
PLUMBING CODE:	ILLINOIS PLUMBING CODE, 2014 EDITION	
HVAC CODE:	INTERNATIONAL MECHANICAL CODE, 2015 EDITION W/ AMENDMENTS	
ELECTRICAL CODE:	NATIONAL ELECTRIC CODE, 2014 EDITION W/ AMENDMENTS	
FUEL GAS CODE:	INTERNATIONAL FUEL GAS CODE, 2015 EDITION W/ AMENDMENTS	
ENERGY CODE:	ILLINOIS ENERGY CONSERVATION CODE, 2015 EDITION	
FIRE CODE:	INTERNATIONAL FIRE CODE, 2015 EDITION W/ AMENDMENTS	
VILLAGE/ CITY:	VILLAGE OF GREENSBURG CODE OF ORDINANCES	
BUILDING CODE INFORMATION		
	ORDINANCE	PROPOSED
CONSTRUCTION TYPE:	TYPE II B	TYPE II B

# FIRE-RESISTIVE REQUIREMENTS

A. ALL WALL, FLOOR AND CEILING FINISHES FLAME SPREAD RATINGS SHALL COMPLY WITH THE LOCAL FIRE PROTECTION CODES AND/OR LOCAL BUILDING CODES.

B. ALL MATERIALS USED FOR INTERIOR WALL AND CEILING FINISHES AND FOR INTERIOR TRIM SHALL HAVE CLASS 1 WALL FINISHES FLAME SPREAD RATINGS OF 10 TO 25 AND SMOKE DEVELOPED RATINGS OF 200 & LESS WHEN TESTED IN ACCORDANCE WITH ASTM E84.

C. ALL MATERIALS USED FOR INTERIOR FLOOR FINISHES SHALL BE: CLASS A W/ A CRITICAL RADIANT FLUX OF 0.45 WATTS PER SQUARE CENTIMETER OR HIGHER.

D. ALL ROOF COVERINGS SHALL BE CLASSIFIED IN ACCORDANCE WITH THEIR FIRE RESISTANT PROPERTIES

CLASS A ROOF COVERINGS EFFECTIVE AGAINST SEVERE FIRE EXPOSURE;  
 CLASS B ROOF COVERINGS EFFECTIVE AGAINST MODERATE FIRE EXPOSURE;  
 CLASS C ROOF COVERINGS EFFECTIVE AGAINST LIGHT FIRE EXPOSURE

INCLUDING 1) BUILDINGS ON ONE-FAMILY OR TWO-FAMILY RESIDENTIAL USE  
 2) BUILDING OF ROOF FRAME CONSTRUCTION; 3) BUILDING LOCATED OUTSIDE OF THE FIRE LIMITS WHICH ON THE BASIS OF HEIGHT AND AREA COULD BE OF WOOD FRAME CONSTRUCTION UNDER THIS CODE.

E. PROVIDE MATERIALS AS SCHEDULED OR APPROVED SUBSTITUTE. (ABBREVIATIONS WITHIN THE SCHEDULE DESIGNATE MATERIAL & COLOR. REFER TO FINISH LEGEND WITHIN & FINISH SPECIFICATIONS)

CODE COMPLIANCE		
OCCUPANCY		
OCCUPANCY CLASS:	M - MERCANTILE	
CONSTRUCTION CLASSIFICATION		
CONSTRUCTION TYPE:	FIRE RESISTANCE TYPE II B	
	STRUCTURAL FRAME	- 0 HRS
	BEARING WALLS	- 0 HRS
	NON-BEARING (EXTERIOR)	- 0 HRS
	NON-BEARING (INTERIOR)	- 0 HRS
	FLOOR CONSTRUCTION	- 0 HRS
	ROOF CONSTRUCTION	- 0 HRS
	COMMON WALLS (BEARING)	- 0 HRS
	WALLS BETWEEN RESIDENCE AND GARAGE	N/A
	CEILING BETWEEN RESIDENCE AND GARAGE	N/A
	DOOR BETWEEN RESIDENCE AND GARAGE	N/A

# AIR LEAKAGE, COMPONENT CERTIFICATION AND VAPOR RETARDER REQUIREMENTS

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CONTRACTOR TO CHECK/PROVIDE THE FOLLOWING ITEMS:

1. ALL JOINTS AND PENETRATIONS ARE CAULKED, GASKETED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL. MUST BE INSTALLED IN ACCORDANCE TO MANUFACTURERS SPECIFICATIONS.
2. WINDOWS AND DOORS CERTIFIED AS MEETING LEAKAGE REQUIREMENTS
3. COMPONENT R-VALUES AND U-FACTORS LABELED AS CERTIFIED
3. OTHER COMPONENTS HAVE SUPPORTING DOCUMENTATION FOR PROPOSED U-FACTORS
5. INSULATION INSTALLED ACCORDING TO MANUFACTURERS INSTRUCTIONS. IN SUBSTANTIAL CONTACT WITH SURFACE BEING INSULATED, AND IN A MANNER THAT ACHIEVES THE RATED R-VALUE WITHOUT COMPROMISING THE INSULATION
6. BUILDING ENTRANCE DOORS EQUIPPED WITH CLOSING DEVICES
7. VAPOR RETARDER INSTALLED

Revision Schedule		
Revision Number	Revision Date	Issued by
<p>The above drawings and specifications, and ideas, Design and arrangements represented thereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others or used in the connection with any other project without the written consent of the Architect. All drawings shall be prepared and developed without the written consent of the Architect.</p> <p>Visual contact with these drawings or specifications shall constitute conclusive acceptance of these drawings or specifications.</p> <p>Winning of acceptance of these drawings or specifications shall constitute conclusive agreement by the contractor to construct the same in accordance with the dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job site and this office must be notified of any variations from the drawings or specifications before construction is commenced. Shop details must be submitted to the office for review and approval before proceeding.</p> <p style="text-align: right;">2015 CHRIS WINOGRADZKI ARCHITECTS, LTD</p>		
<p><b>BUILDING RENOVATION FOR:</b></p> <p style="text-align: center;"><b>LINCOLNWOOD GAS AND FOOD, INC</b></p> <p style="text-align: right;">1301 W. IRVING PARK ROAD, BENSENVILLE, IL. 60106</p>		
<p><b>TITLE SHEET &amp; SITE PLAN</b></p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%;"> <p><b>CHRIS WINOGRADZKI ARCHITECTS, LTD</b></p> <p>115 Oakwood Ave., Des Plaines, IL 60016              phone: 847-5984-4114 @cwa-llc.com fax: 847-2318-3693</p> </div> <div style="width: 45%; text-align: right;"> <p><b>CHRIS WINOGRADZKI ARCHITECTS, LTD</b></p> <p>115 Oakwood Ave., Des Plaines, IL 60016              phone: 847-5984-4114 @cwa-llc.com fax: 847-2318-3693</p> </div> </div>		
Date:	10-11-2017	
Scale:	As indicated	
Drawn:	AGNES	
Check:	C.W.	
Job:	217030	
Sheet:	1 C1	



GENERAL NOTES:

1. THESE DRAWINGS AND SPECIFICATIONS INCLUDING DESIGNS AND IDEAS REPRESENTED THEREON ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT. AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT EXCEPT THOSE FOR WHICH THEY HAVE BEEN DEVELOPED AND PREPARED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS AND SPECIFICATIONS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

2. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE HERESY MADE II PART OF THESE DRAWINGS AND SPECIFICATIONS, AS WELL AS THE CONTRACT FOR CONSTRUCTION BY REFERENCE AND THEY SHALL LEGALLY ENFORCEABLE TO THE SAME DEGREE AND EXTEND AS IF THEY WERE REPRODUCED HEREON.

3. GENERAL CONTRACTOR/CONSTRUCTION MANAGER AND EACH SUBCONTRACTOR SHALL:

A. VISIT THE SITE, TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE SUBMITTING BIDS/PRICING AND REPORT TO THE ARCHITECT ANY DISCREPANCIES OR CONDITIONS WHICH MAY INTERFERE WITH THE EXECUTION OF THE DEPICTED WORK. EXTRAS WILL NOT ALLOWED FOR UNREPORTED DISCREPANCIES OR CONDITIONS.

B. COMPLY WITH ALL LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES COVERING THE WORK

C. COMPLY WITH ALL RULES AND REGULATIONS OF THE OWNER AND/OR BUILDING MANAGEMENT REGARDING SITE ACCESS, DISPOSAL CONTAINER LOCATION, SECURITY, ELEVATOR USE, ETC. AND PAY ASSOCIATES FEES.

D. PROVIDE ALL MATERIALS AND LABOR WHETHER STATED OR IMPLIED TO COMPLETE THE WORK AS DESCRIBED ON THESE DRAWINGS AND SPECIFICATIONS.

E. PERFORM ALL WORK IN A NEAT AND PROFESSIONAL MANNER TAKING CARE NOT TO DAMAGE OR WEAKEN BUILDING SYSTEM OR COMPONENTS BEING MAINTAIN.

F. IMMEDIATELY REPAIR ALL DAMAGE TO BUILDING SYSTEMS OR COMPONENTS BEING MAINTAINED AT NO COST TO THE OWNER.

G. GUARANTEE ALL WORK FOR ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION OF ALL WORK

FINISH NOTES:

1. ALL WALL AND CEILING MATERIALS SHALL BE NO LESS RESISTANT TO FLAME SPREAD THAN CLASS 1-; FLAME SPREAD RATING OF 25 TO 75 AND SMOKE DEVELOPED 450.

2. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR APPLICATION OF NEW FINISHES, EXCLUDING THE FLOOR.

3. FLOOR COVERING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL PREPARATION OF ALL SURFACES AS REQUIRED FOR INSTALLATION OF NEW BASE AND FLOOR COVERING.

4. ALL WALL AND COLUMN SURFACES EXCEPT AS NOTED OTHERWISE SHALL BE PAINTED WITH A SUITABLE PRIMER AND TWO COATS FLAT LATEX PAINT. REFER TO FINISH SCHEDULE FOR EXACT COLOR(S).

5. ALL WALL AND COLUMN SURFACES SCHEDULED TO RECEIVE WALL COVERINGS SHALL FIRST BE PAINTED WITH ONE COAT OF AN APPROPRIATE PRIMER. ALL SURFACES SHALL BE DRY, CLEAN AND FREE OF BUMPS AND DEPRESSIONS PRIOR TO INSTALLATION.

6. ALL CLOSET SHELVING AND MISCELLANEOUS ITEMS AS DETERMINED SHALL BE PAINTED TO MATCH COLOR SELECTED FOR FINISH OF ADJACENT WALLS.

7. ALL WALLS AND COLUMNS SHALL RECEIVE BASEBOARD - SEE FINISH FLOOR PLANS FOR FURTHER SPECIFICATION. VINYL BASE SHALL BE STRAIGHT IN AREAS TO BE CARPETED AND COVED IN AREAS TO BE TILED.

8. CARPET CONTRACTOR SHALL INSTALL CARPET AS INDICATED ON THE CONSTRUCTION PLAN. DIRECT GLUE DOWN INSTALLATION SHALL BE USED UNLESS NOTED OTHERWISE. REFER TO FINISH SCHEDULE FOR EXACT SPECIFICATION.

9. VINYL COMPOSITE TILE (VCT) SHALL BE INSTALLED AS INDICATED ON THE CONSTRUCTION PLAN. CONSTRUCTION MANAGER TO CONTACT OWNER FOLLOWING INSTALLATION SO ARRANGEMENTS CAN BE MADE TO SEAL AND WAX IT. APPROPRIATE TRANSITION STRIPS SHALL BE INSTALLED AT CHANGE OF FLOOR FINISH LOCATIONS. REFER TO FINISH SCHEDULE FOR EXACT SPECIFICATIONS.

MILLWORK NOTES:

1. ALL MILLWORK SHALL COMPLY WITH THE APPROPRIATE SPECIFICATIONS OF THE "ARCHITECTURAL QUALITY STANDARDS ILLUSTRATED" OF THE ARCHITECTURAL WOODWORK INSTITUTE (AWI) FOR "CUSTOM" GRADE MILLWORK.

2. MILLWORK CONTRACTOR SHALL VERIFY ALL DIMENSIONS AFFECTING HIS WORK IN THE FIELD PRIOR TO FABRICATION.

3. MILLWORK CONTRACTOR SHALL FURNISH AND INSTALL ALL INDICATED CABINETS, COUNTERTOPS, HARDWARE AND REQUIRED IN WALL BLOCKING WHERE REQUIRED.

4. ALL WOOD BLOCKING AND FRAMING SHALL BE FIRE RETARDANT TREATED.

5. ALL COUNTER AND VANITY TOPS SHALL BE 3/4" THICK WITH 1-1/2" THICK FASCIA. HIGH DENSITY PARTICLE BOARD SHIMMED AND SECURED TO UNDERCOUNTER CABINETS AND/OR CLEATED TO WALLS AND SEALED TO SAME WITH CLEAR SILICON CAULK.

6. ALL CABINETS SHALL HAVE 3/4" THICK FLUSH OVERHANG TYPE DOORS.

7. CABINET WALLS AND ALL FACE, FILLER AND BACKUP PANELS SHALL BE 3/4" THICK.

8. CABINET HARDWARE SHALL INCLUDE ACCURIDE FULL EXTENSION DRAWER SLIDES, STANLEY SELF CLOSING CONCEALED DOOR HINGES, AND STANLEY "U" PULLS WITH FINISH TO MATCH THAT OF THE DOOR HARDWARE. FOLLOWING INSTALLATION, ALL DOORS SHALL BE PROPERLY ADJUSTED AND ALL HARDWARE CHECKED FOR PROPER OPERATION.

9. ALL CABINET SHELVES SHALL BE ADJUSTABLE ON RECESSED PILASTER STANDARDS AND CLIPS.

10. CLOSET SHELVES SHALL BE 3/4" THICK HIGH DENSITY PAINT GRADE PARTICLE BOARD WITH A 1/4" HARDWOOD EDGE HUNG ON CONTINUOUS WALL CLEATS AND PAINTED TO MATCH ADJACENT WALL SURFACE.

REFLECTED CEILING NOTES:

1. MECHANICAL AND ELECTRICAL CONTRACTORS SHALL VERIFY CONDITIONS IN THE FIELD AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS REPRESENTED.

2. MECHANICAL CONTRACTOR SHALL LOCATE AND SIZE ALL OUTLETS AND RETURNS, DETERMINE DUCT-RK LAYOUT, THERMOSTAT LOCATIONS AND OTHERWISE DESIGN THE HVAC SYSTEM AND PREPARE ANY REQUIRED DOCUMENTS. THE ENTIRE HVAC SYSTEM SHALL CONFORM TO ALL APPLICABLE CODES.

3. ACOUSTICAL CEILING SHALL BE BUILDING STANDARD AMSTRONG OR EQUAL 2 x 4' LAYIN GRID SUSPENSION SYSTEM. TILES SHALL BE KERFERD AT ALL INTERIOR PARTITION AS DETAIL.

4. LIGHT FIXTURES SHALL BE AS SPECIFIED ON THE LIGHT FIXTURE SCHEDULE. REFER TO REFLECTED CEILING PLAN FOR TYPE OF MOUNTING (I.E. DRYWALL CEILING, LAYIN, ETC.).

5. EXIT SIGNS SHALL BE LOCATED AS SHOWN ON EMERGENCY EXIT PLAN - SEE SCHEDULE FOR EXACT SPECIFICATIONS.

6. ALL EXIT SIGNS, DOWNLIGHTS, SPEAKERS, ETC. LOCATED IN THE CEILING SHALL BE INSTALLED IN THE CENTER OF THE CEILING TILE INDICATED UNLESS DIMENSIONED OTHERWISE.

7. ALL SUPPLY OR EXHAUST DIFFUSERS SHOWN ON THE REFLECTED CEILING PLAN ARE FOR LOCATION ONLY. MECHANICAL CONTRACTOR SHALL MAKE FINAL DETERMINATIONS.

8. ALL SWITCHES SHALL BE MOUNTED VERTICALLY AT THE BUILDING STANDARD HEIGHT.

POWER AND TELEPHONE NOTES:

1. ELECTRICAL CONTRACTOR SHALL VERIFY CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES FROM WHAT IS INDICATED.

2. ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES.

3. DIMENSIONS LOCATING OUTLETS ARE TO THE CENTERLINES OF THE DEVICES.

4. WHERE FLOOR OUTLETS ARE GRAPHICALLY SHOWN ADJACENT TO A WALL, THEY SHALL BE WITHIN SIX INCHES OF THE WALL.

5. ALL FLOOR OUTLETS SHALL BE PIPED THROUGH THE CEILING OF THE SPACE BELOW TO THE DETERMINED LOCATION UNLESS CHANNELING OF THE FLOOR IS DETERMINED TO BE A BETTER AND LESS EXPENSIVE OPTION. ELECTRICAL CONTRACTOR TO INCLUDE IN HIS PRICE WHATEVER CHANNELING OR SCAFFOLDING IS NECESSARY TO DO THE WORK.

6. ALL WALL OUTLETS SHALL BE MOUNTED HORIZONTALLY TWELVE INCHES ABOVE THE FINISHED FLOOR UNLESS OTHERWISE NOTED.

7. ELECTRICAL CONTRACTOR SHALL PROVIDE A CONDUIT STUB (SIZE TO BE DETERMINED) FROM THE CEILING AT THE LOCATION OF THE TELEPHONE PANEL.

8. ALL REQUIREMENTS FOR SPECIAL POWER AND/OR DEVICES AS INDICATED IN DRAWINGS OR OTHERWISE NOTED SHALL BE VERIFIED BY THE ELECTRICAL CONTRACTOR PRIOR TO SUBMITTING PRICE.

9. ALL WALL ELECTRICAL AND TELEPHONE OUTLET COVERPLATES SHALL BE LEVITON OR EQUAL, WITH WHITE FINISH.



MATERIAL SPECIFICATIONS

BUILDING RENOVATION FOR:

CHRIS WINOGRADZKI  
ARCHITECTS, LTD  
115 Oakwood Ave., Des Plaines, IL 60016  
email: chris@cw-architects.com  
phone: 847-468-1114 fax: 847-218-3993

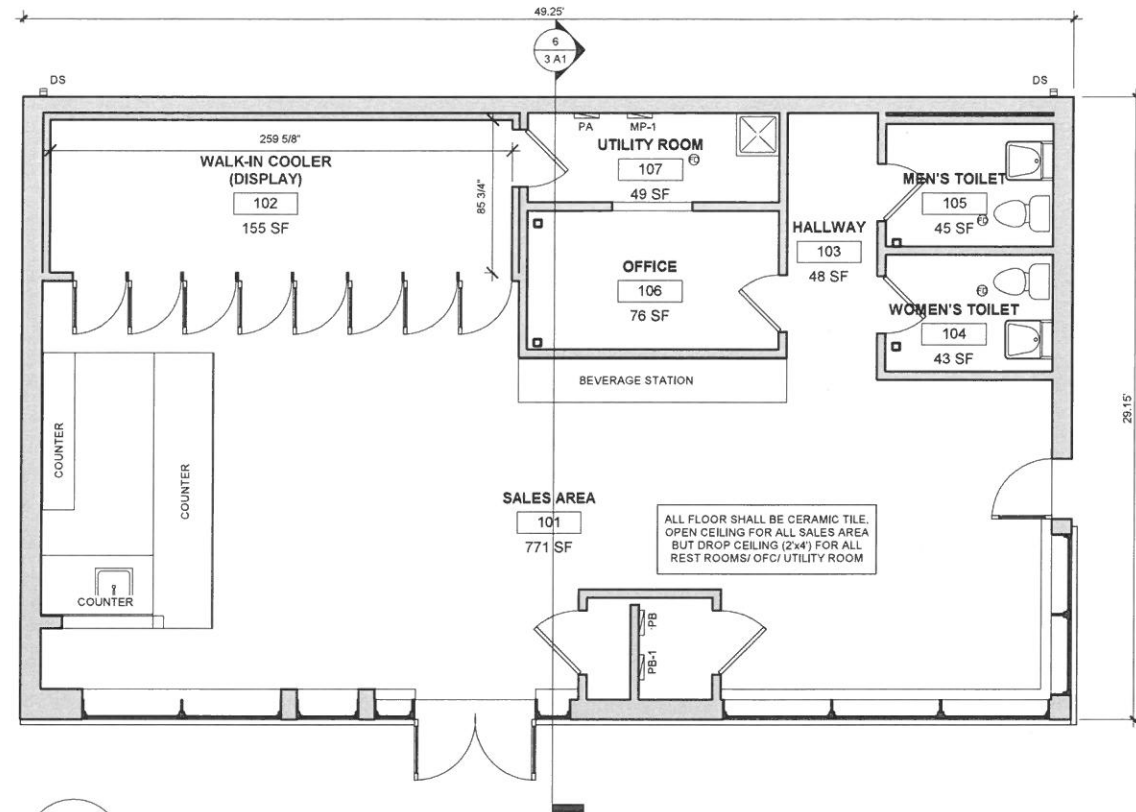
LINCOLNWOOD GAS AND  
FOOD, INC  
1301 W. IRVING PARK ROAD, BENSENVILLE, IL 60106

Date:	10-11-2017
Scale:	
Drawn:	AGNES
Check:	C.W.
Job:	217030
Sheet:	2 C2
of	4

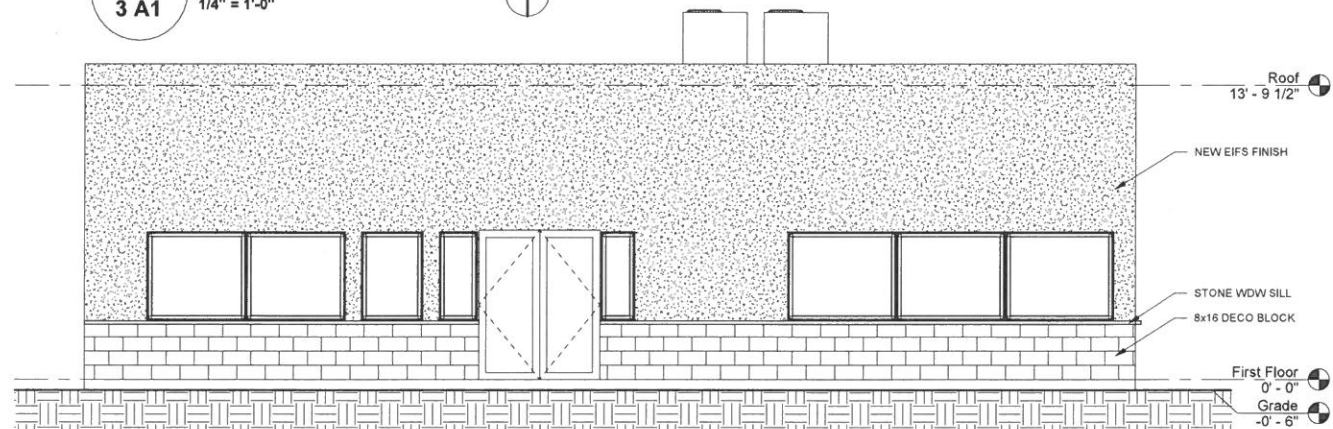
Revision Schedule		
Revision Number	Revision Date	Issued by

The above drawings and specifications, and ideas, design and arrangements represented thereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others or used in the connection with any work or project other than the specific project for which they have been prepared without the written consent of the Architect. Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions. Written annotations on these drawings shall have precedence over scaled dimensions and shall be used in the construction of the building. All work shall be done in accordance with the conditions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding. 2015 CHRIS WINOGRADZKI ARCHITECTS, LTD

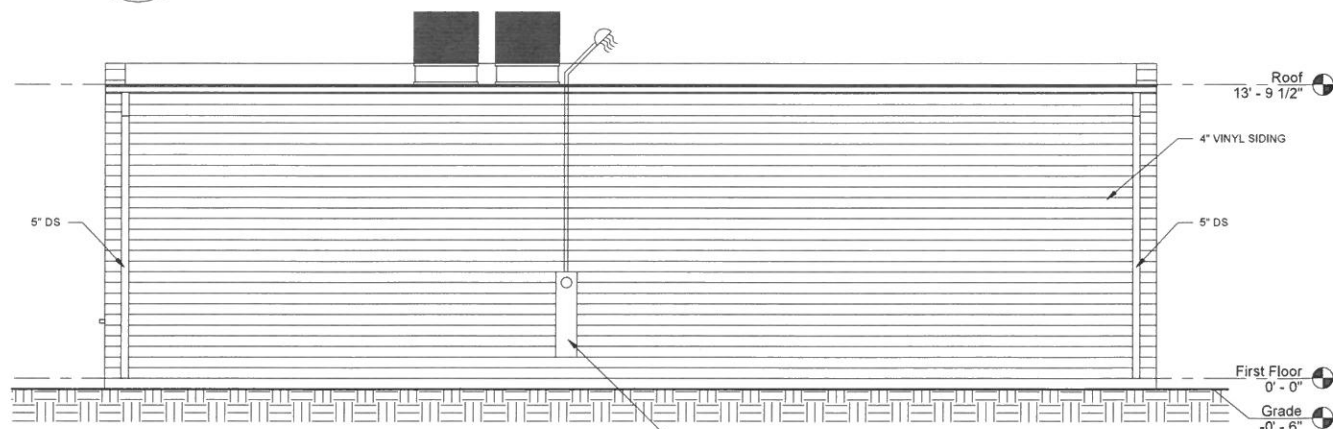




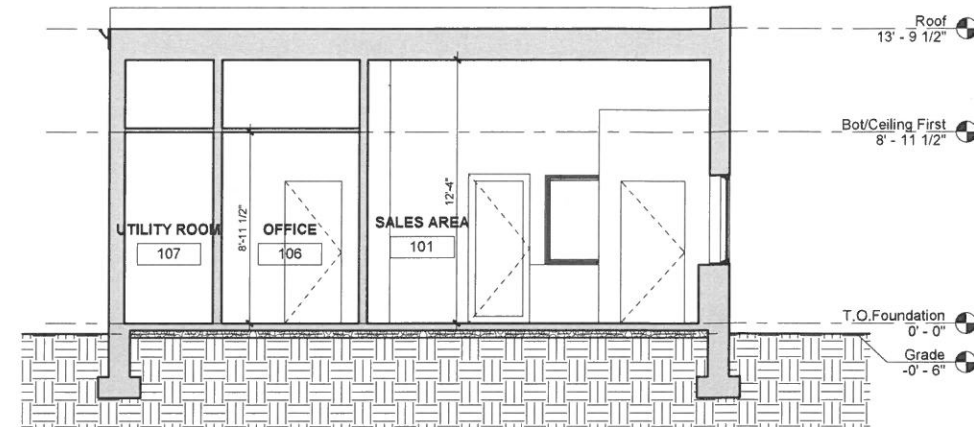
**1 FIRST FLOOR PLAN**  
3 A1 1/4" = 1'-0"



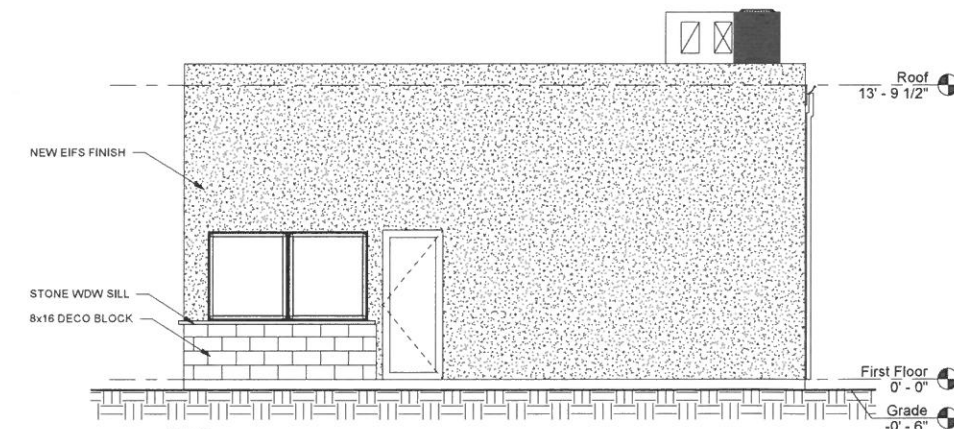
**2 SOUTH ELEVATION**  
3 A1 1/4" = 1'-0"



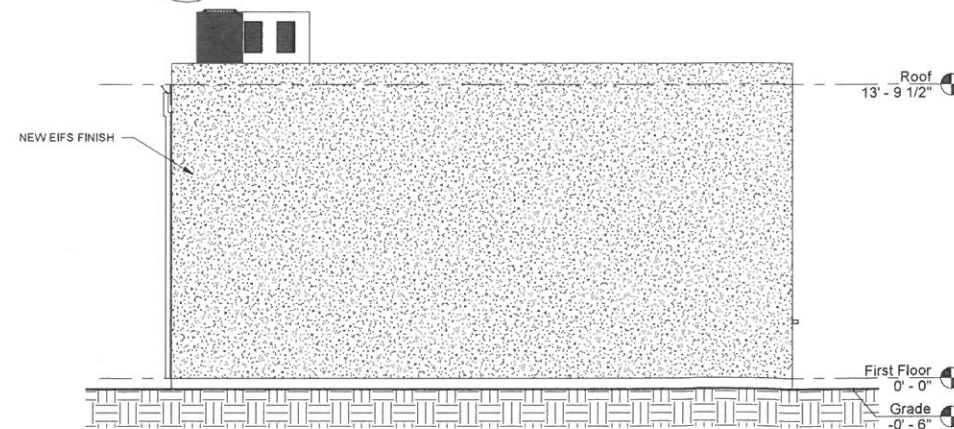
**3 NORTH ELEVATION**  
3 A1 1/4" = 1'-0"



**6 BUILDING SECTION 1**  
3 A1 1/4" = 1'-0"



**4 EAST ELEVATION**  
3 A1 1/4" = 1'-0"



**5 WEST ELEVATION**  
3 A1 1/4" = 1'-0"



BUILDING RENOVATION FOR:

**LINCOLNWOOD GAS AND FOOD, INC**  
1301 W. IRVING PARK ROAD, BENSENVIEW, IL 60106

**FIRST FLOOR PLAN & ELEVATIONS**

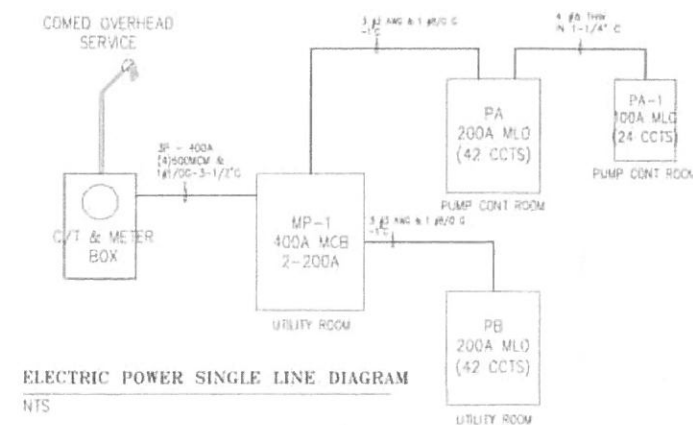
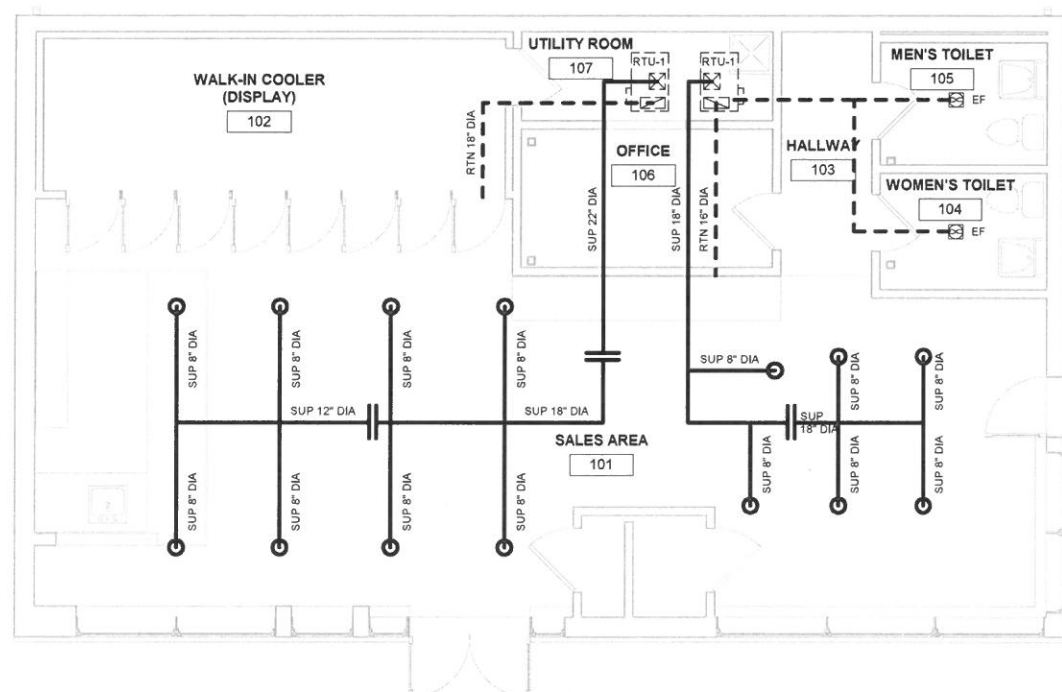
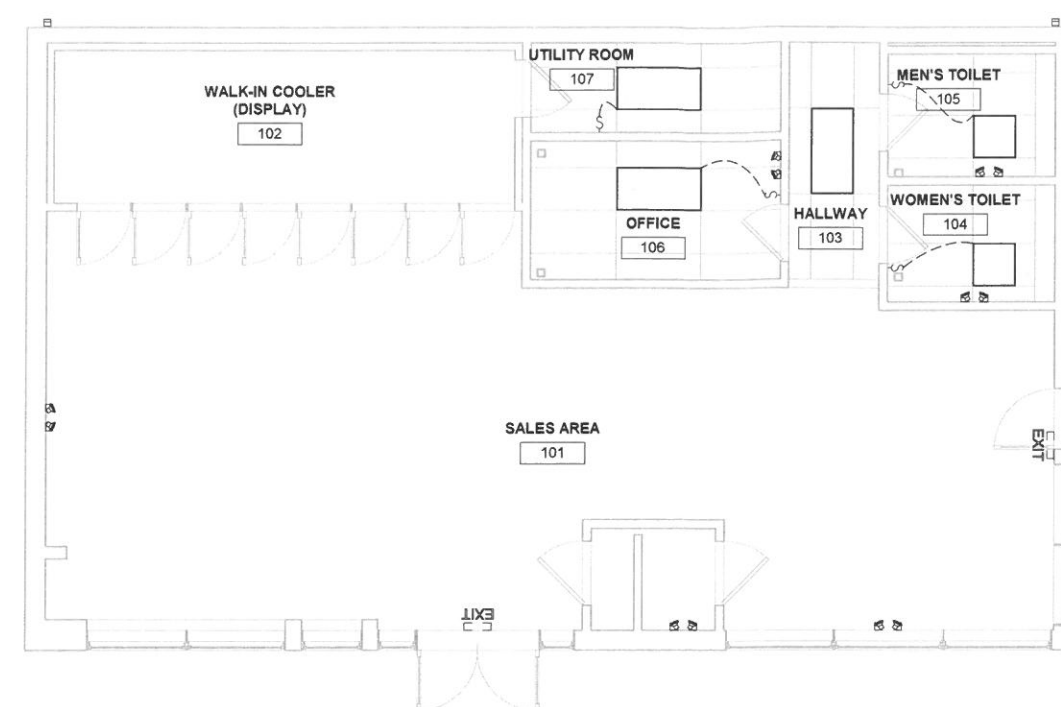
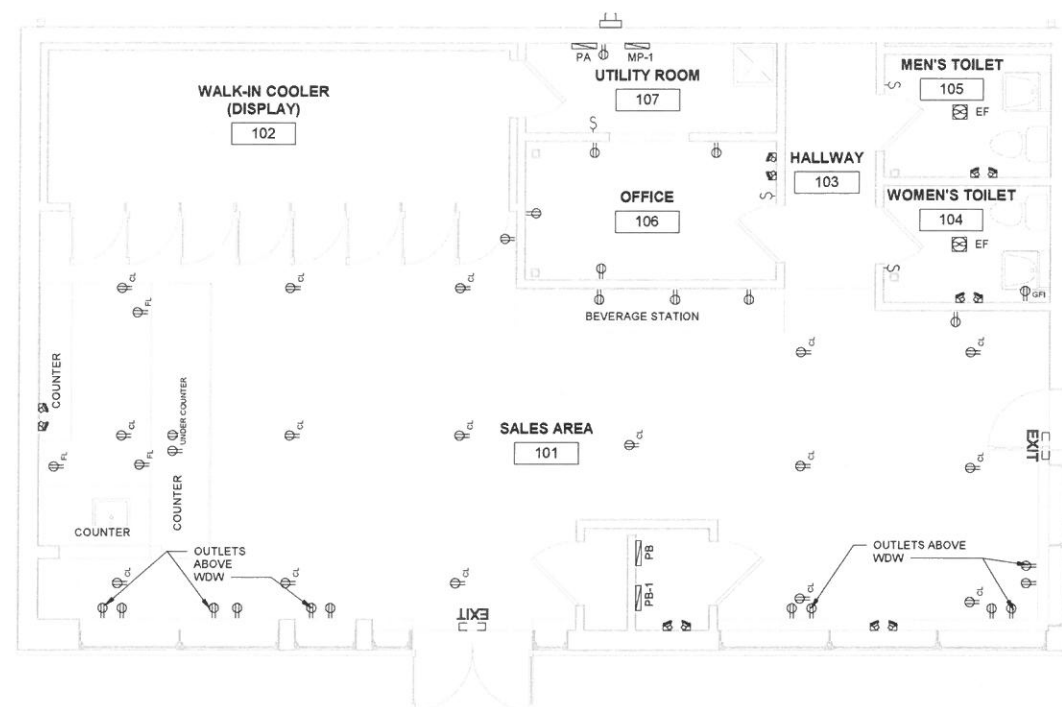
**CHRIS WINOGRADZKI ARCHITECTS, LTD**  
115 Oakwood Ave., Des Plaines, IL 60016  
e-mail: chris@cw-architects.com  
phone: 847-688-4114

Date:	10-11-2017
Scale:	1/4" = 1'-0"
Drawn:	AGNES
Check:	C.W.
Job:	217030
Sheet:	3 A1
of	4

Revision Schedule		
Revision Number	Revision Date	Issued by

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RTU ROOF TOP PACKAGED UNIT SCHEDULE																	
UNIT NO	LOCATION	MANUFACTURER	CAT. NO.	Htg. INPUT (MBH)	Htg. OUTPUT (MBH)	COOLING (MBH)	CFM	BLOWER MOTOR	BLOWER RPM	E.S.P. (IN W.C.)	FLUE SIZE (INCH)	W/T (LB)	ELEC. REQ'D (AMP) MCH/NOCT	NO. OF COMP	REFRIGERANT	WT. REFRIGERANT (LB-02)	REMARKS
RTU-1 (EXST)	ROOF	RHEEM	RKKA-A060CK13E	135	116	60	1600	208/230-3	1075	0.59*	N/A	573	27.3 / 35	1	R-22	6-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.
RTU-2 (EXST)	ROOF	RHEEM	RKKA-AQ36CK13E	109	98	36	1200	208/230-3	1075	0.59*	N/A	436	20.8 / 30	1	R-22	6-10	W/PROGRAMMABLE THERMOSTAT & ECONOMIZER PKG.

STATE OF ILLINOIS  
CHRIS W. WINOGRADSKI  
014465  
LICENSED ARCHITECT

Revision Schedule		
Revision Number	Revision Date	Issued by

The above drawings and specifications, and ideas, Design and arrangements represented thereby are and shall remain the property of the Architect and no part thereof shall be copied, disclosed to others or used in the connection with any work or project other than the specific project for which they have been prepared without the written consent of the Architect.

Visual contact with these drawings or specifications shall constitute conclusive evidence of acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions shown on these drawings and shall be held responsible for any variations from the dimensions and conditions shown by these drawings.

Shop details must be submitted to this office for approval before proceeding.

2015 CHRIS WINOGRADZKI ARCHITECTS, LTD

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## ELECTRICAL & MECHANICAL PLANS

**CHRIS WINOGRADZKI  
ARCHITECTS, LTD**

115 Oakwood Ave., Des Plaines, IL 60016  
e-mail: cwinogr@cw-architects.com  
phone: 847-4398-4114 fax: 847-219-3993

## BUILDING RENOVATION FOR: LINCOLNWOOD GAS AND FOOD, INC

1301 W. IRVING PARK ROAD, BENSenville, IL 60106

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Date:	10-11-2017
Scale:	1/4" = 1'-0"
Drawn:	AGNES
Check:	C.W.
Job:	217030
Sheet:	4 E-M1

of
4





# Jas. D. Ahern Signs SIGN COMPANY

Design • Fabrication • Installation • Maintenance

3257 S Harding Ave. Chicago, IL.  
tel 773-254-0717 fax 773-254-1403  
email ahernsigns@att.net  
www.ahernsigns.com

## PROJECT:

1301 W. Irving Park  
(gas station)

## CUSTOMER APPROVAL:

DATE **12.21.2017**

AUTHORIZED SIGNATURE

REPRESENTATIVE

DRAWN BY

DATE

SCALE

SHEET NO. 1 of 1

WORK ORDER

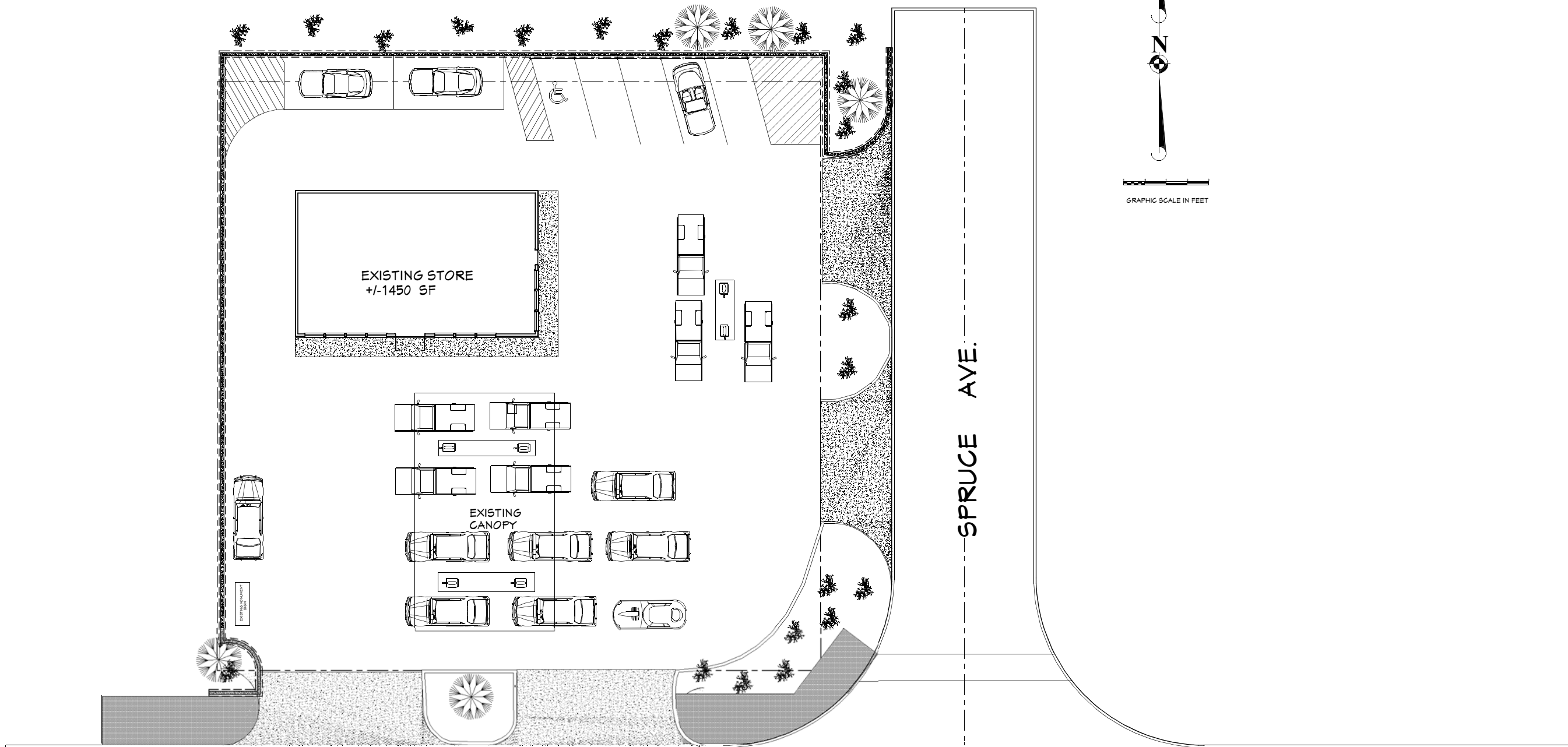
FILE NAME

## REVISIONS:

- 4.08.13
- 
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- 

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.





GRAPHIC SCALE IN FEET

REVISION TABLE		
NUMBER	DATE	REVISION BY DESCRIPTION

STACKING EXHIBIT

LINCOLNWOOD GAS & FOOD, INC.  
1301 W. Irving Pk. Rd.  
Bensenville Illinois 60106

DRAWINGS PROVIDED BY:  
**Woods Design Group**  
246 Dalewood Ave.  
Wood Dale, IL 60191  
630-936-5163  
all rights reserved

DATE:

6/13/2018

SCALE:

As Noted

SHEET:

EX-1

Irving Pk Rd. (RT 19)

SPRUCE AVE.

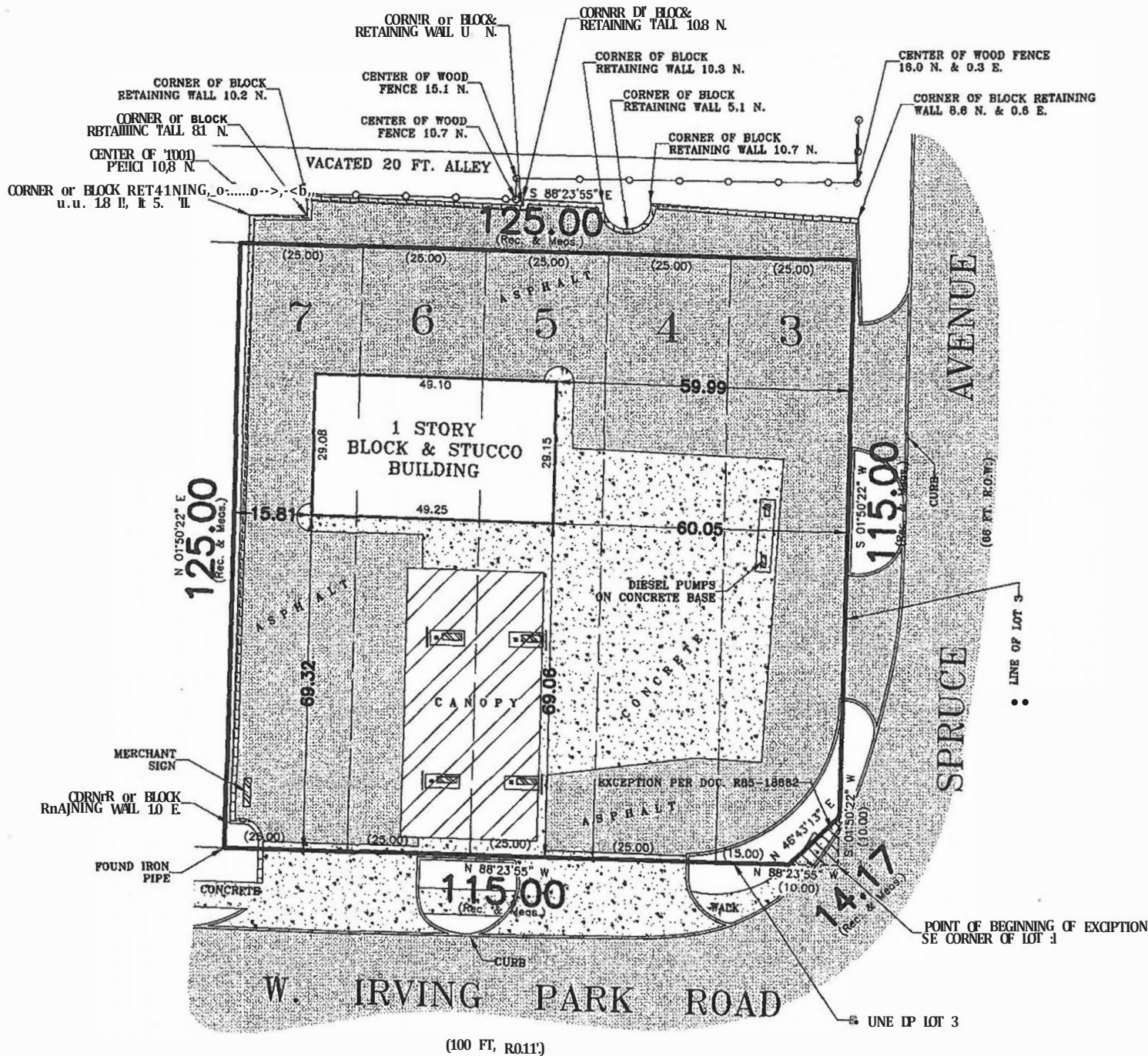


**of**

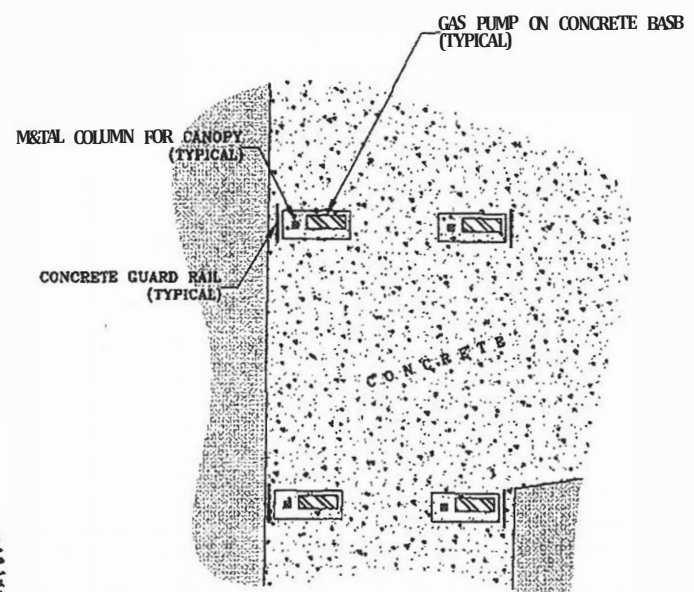
ADDRESS: 1301 1/2 IRVING PARK ROAD, BENSENVILLE, ILLINOIS



SCALE: 1"=30'



- 1) THE LEGAL DESCRIPTION HAS BEEN PROVIDED BY THE CLIENT OR THEIR AGENT.
- 2) THIS SURVEY SHOWS THE BUILDING LINES AND EASEMENTS AS INDICATED BY THE RECORDED PLAT. THIS PLAT DOES NOT SHOW ANY RESTRICTIONS ESTABLISHED BY LOCAL ORDINANCES UNLESS SUPPLIED BY THE CLIENT.
- 3) BASIS OF BEARING FOR THIS SURVEY IS AS THE NORTH ARROW INDICATES, AND IS SHOWN TO INDICATE THE ANGULAR RELATIONSHIP OF THE BOUNDARY LINES.
- 4) MONUMENTS, IF SET, DURING THIS SURVEY, REPRESENT THE TRUE CORNERS OF THIS DESCRIPTION AS SURVEYED.
- 5) LOCATION OF SOME FEATURES MAY BE EXAGGERATED FOR CLARITY. NO INTERPOLATIONS MAY BE MADE FROM THE INFORMATION SHOWN HEREON.
- 6) ONLY COPIES WITH AN ORIGINAL SIGNATURE AND SEAL ARE OFFICIAL LEGAL DOCUMENTS. ALL SURVEYS ARE COPYRIGHTED MATERIALS WITH ALL RIGHTS RESERVED.



PUMP DETAIL  
(NOT TO SCALE)

STATE OF ILLINOIS )  
COUNTY OF COOK ) S.S.

**SURVEY ORDERED BY:** EFFECTIVE DESIGN CONSULTING, L.L.C.

1. MICHAEL J. LOPEZ, AS AN EMPLOYEE OF PREFERRED SURVEY INC., DO HEREBY STATE THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARD FOR A BOUNDARY SURVEY. PROPERTY CORNERS HAVE BEEN SET OR NOT IN ACCORDANCE WITH CLIENT AGREEMENT. DIMENSIONS ARE SHOWN IN FBET AND DBCMAL PARTS THEREOF AND ARE CORRBCTBD TO A TEMPERATURE OF 68 DEGREES FARRENRRIT.

GIVEN UNDER MY HAND AND SEAL THIS  
20TH DAY OF MARCH A.D. 2014

MY LICENSE EXPIRES ON 11/30/14

P.S.I. NO. 14103298



Professional Design Registration #184-002795

PREFERRED SURVEY, INC.

7846 •, 7DTH STREBT, BRIDGmn, IL, 80456

Phone 708-468-7771 / Fax 708-458-7866

[www.psleurvey.com](http://www.psleurvey.com)

field Work Completed	03 / 19 / 14	no CREW	CD / CZ
Land Area Surveyed	15,574.6 Sq. Ft.	CAD	SR