

COMMUNITY DEVELOPMENT COMMISSION

Village of Bensenville

VILLAGE HALL

April 3, 2018 6:30 PM

I. Call Meeting to Order

II. Roll Call and Quorum

III. Pledge of Allegiance

IV. Public Comment

V. Approval of Minutes

March 6, 2018 Community Development Commission Minutes

VI. Action Items:

1. Consideration of a Conditional Use Permit (Recycling centers) for Leyva Recycling Inc., located at 334 Evergreen Street.
2. Consideration of a Conditional Use Permit (Dry cleaner and laundry drop off stations and laundromats) for DLJ Laundromat, Inc., located at 1204 W. Irving Park Road.
3. Consideration of Planned Unit Development and Conditional Use Permit Amendments to Ordinance Nos. 9 – 2013, 42 - 2014 and 13 – 2016 to allow for the construction of a parking lot for Global CFS Inc., located at 525 Meyer Road.

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

TYPE:Minutes**SUBMITTED BY:**Corey Williamsen**DEPARTMENT:**Village Clerk's Office**DATE:**April 3, 2018**DESCRIPTION:**March 6, 2018 Community Development Commission Minutes**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****REQUEST:****SUMMARY:****RECOMMENDATION:****ATTACHMENTS:**

Description

Upload Date

Type

DRAFT_180306_CDC_MInutes**3/28/2018****Cover Memo****DRAFT_180306_CDC_Minutes_Exhibit_A****3/28/2018****Cover Memo**

Village of Bensenville
Board Room
12 South Center Street
DuPage and Cook Counties
Bensenville, IL, 60106

MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION

March 6, 2018

CALL TO ORDER: The meeting was called to order by Chairman Rowe at 6:30p.m.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Czarnecki, Marcotte, Moruzzi, King
Absent: Ciula, Rodriguez
A quorum was present.

STAFF PRESENT: K. Pozsgay, C. Williamsen,

JOURNAL OF PROCEEDINGS: The minutes of the Community Development Commission Meeting of February 6, 2018 were presented.

Motion: Commissioner Moruzzi made a motion to approve the minutes as presented. Commissioner Marcotte seconded the motion.
All were in favor. Motion carried.

PUBLIC COMMENT: There was no Public Comment

Public Hearing: CDC Case Number 2018-03
Petitioner: 17 Gateway LLC
Location: 17 Gateway Road
Request: Zoning Map Amendment,
C-4 Regional PUD Commercial to I – 2 Light Industrial
Municipal Code Sections 10 – 7D and 10 – 9B.

Motion: Commissioner Moruzzi made a motion to open CDC Case No. 2018-03. Commissioner King seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Czarnecki, Marcotte, Moruzzi, King
Absent: Ciula, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:33 p.m.

Chairman Rowe swore in Village Planner, Kurtis Pozsgay.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on February 15, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on February 16, 2018. Mr. Pozsgay stated on February 16, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is seeking a Zoning Map Amendment. Mr. Pozsgay stated the property is currently zoned C – 4 Regional PUD Commercial. Mr. Pozsgay stated the proposed zoning is I – 2 Light Industrial. Mr. Pozsgay stated the applicant has been working to sell the property and in the process of having an appraisal done. Mr. Pozsgay stated the bank preparing the appraisal had issues with the C – 4 designation since there is a sunset in the current ordinance (July 2, 2021) where all new industrial uses become non-conforming. Mr. Pozsgay stated the zoning change to I – 2 allows the current industrial use of the property to continue.

Mr. Minko Gankov, owner of 17 Gateway LLC was present and sworn in by Chairman Rowe. Mr. Gankov stated he is trying to sell his property to Al Warren Oil Company but the bank will not give them the loan because of the sunset provision set in the C-4 District.

Commissioner King asked what the nature of business is going to be for the new owner. Mr. Gankov stated it would be an expansion of their current operation taking place next door.

Public Comment:

Anthony Antonaitis was present and sworn in by Chairman Rowe. Mr. Antonaitis stated he was present on behalf of Al Warren Oil and that they are in favor with the proposed zoning amendment.

Mr. Pozsgay reviewed the approval criteria for requested zoning amendment consisting of:

1. Compatible with Use or Zoning: The uses permitted under the proposed district are compatible with existing uses or existing zoning of property in the environs; or

Applicant Response: Presently the site is used for industrial purposes including warehousing. Our intended use for the facility will be warehousing and distribution, which is similar to the uses of the properties to the west of the site.

2. Supported By Trend Of Development: The trend of development in the general area since the original zoning was established supports the proposed classification; or

Applicant Response: The trend of industrial development for the surrounding area is Class A warehouse. These new developments require higher image aesthetically, as well as increased employee parking and dock door counts, which is consistent with our proposed use.

3. Consistent with Village Plans: The proposed classification is in harmony with objectives of the general development plan and other applicable Village plans as viewed in light of any changed conditions since their adoption.

Applicant Response: The proposed development will be consistent with the Village's intent to convert the site from C-4 to 1-2 zoning as it will continue to align the use in harmony with the surrounding uses while dramatically improving the image of York Road through Bensenville.

4. Furthers Public Interest: The proposed zoning classification promotes the public interest does not solely further the interest of the applicant.

Applicant Response: The proposed redevelopment of the property will enhance the appearance not only of the property, but also the image of Bensenville's industrial properties along the future tollway extension. This will increase property values and attract more Class A development in the future.

5. Public Services Available: Adequate public services, such as water supply, sewage disposal, fire protection and street capacity, are anticipated to be available to support the proposed classification by the anticipated date of issuance of a certificate of occupancy.

Applicant Response: All the required public services such as water, sanitary sewer, road capacity, and fire protection exist to serve the site and will allow the building to function properly without additional Village resources.

Mr. Pozsgay stated Staff recommends the approval of the findings of fact as they appear above and therefor recommend approval of the proposed request.

There were no questions from the Commissioners.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2018-03. Commissioner King seconded the motion.

ROLL CALL: Ayes: Rowe, Czarnecki, Marcotte, Moruzzi, King

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:40 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact for CDC Case No. 2018-03 as presented by Staff and to approve the Zoning Amendment, C-4 Regional PUD Commercial to I – 2 Light Industrial Municipal Code Sections 10 – 7D and 10 – 9B. Commissioner King seconded the motion.

ROLL CALL: Ayes: Rowe, Czarnecki, Marcotte, Moruzzi, King

Nays: None

All were in favor. Motion carried.

Public Hearing: CDC Case Number 2018-04
Petitioner: Chinese Bible Church of Oak Park
Location: 631 N IL Route 83
Request: Conditional Use Permit, Churches and religious institutions
Municipal Code Section 10 – 8B – 3

Motion: Commissioner Moruzzi made a motion to open CDC Case No. 2018-04. Commissioner Marcotte seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Czarnecki, Marcotte, Moruzzi, King
Absent: Ciula, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:41 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on February 15, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on February 16, 2018. Mr. Pozsgay stated on February 16, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours. Mr. Pozsgay stated the Petitioner is seeking a Conditional Use Permit for a Church at 631 IL Route 83. Mr. Pozsgay stated the applicant intends to lease the entire third floor of the property owned by Faith International LLC. Mr. Pozsgay stated Staff had received a floor plan for the property that outlines seating on site. Mr. Pozsgay stated Staff has also received a letter of intent from the property owner to address code violation on site prior to the Church taking occupancy.

Mr. Frank Johnson, Elder of the Chinese Bible Church of Oak Park was present and sworn in by Chairman Rowe. Mr. Johnson stated the Church has been in Oak Park for over thirty years. Mr. Johnson stated this is a temporary location until they can construct a new facility in the area.

Chairman Rowe asked what kind of hours would the Church operate. Mr. Johnson stated the Church will mainly operate on Sunday morning to mid afternoons. Mr. Johnson stated they would be a class at the Church once a week at night with a minimum of 5 to 10 people.

Public Comment:

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed request consisting of:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: There will be no adverse impact on traffic in the industrial park where 631 Busse Road is located. Majority of our church's activities will be on Sunday and most of the industrial and commercial use buildings in the surrounding neighborhood are off on the weekends.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: There will not be any environmental nuisance since our activities involve only church gatherings. The impact on environment would not be different from any historical use of this commercial building. Noise would not be an issue since our services are conducted indoors and this commercial building is located over 250 feet from any residential building.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed use will fit harmoniously with the existing character of the industrial park. All services of our church are held indoors so there will not be any change to the external character of the building. Our presence during the weekend in an otherwise empty Industrial neighborhood would enhance the security and value of the surrounding area.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The proposed use will not put a strain or disproportionate strain on public services since we only have a very small staff (four or less) during weekdays. Our demand on utilities are highest during the weekend when the utilities consumptions of our neighbors are at their minimum.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The Village of Bensenville is working to keep its industrial and commercial buildings occupied. While the sister building located at 611 Busse is still completely empty at this moment, we will be occupying over 11,710 square feet (45%) of commercial office space in 631 Busse in Bensenville. Our church attendees are from both the areas in the neighborhood and the suburbs of the metropolitan, the immediately benefitted businesses would be gas stations and restaurants. Other businesses should also be benefitted when we visit Bensenville on a regular basis. On top of this, one of the greater benefit would be the spiritual enrichment of the residents and their friends.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: Our church has one hundred and ten years of history in the Chicago/Oak Park area. We believe in and strive to be good neighbors to the community we serve.

Mr. Pozsgay stated Staff recommends the approval of the findings of fact as they appear above and therefor recommend approval of the request with the following conditions:

- 1) Applicant must submit a floor plan that details seating or meeting space; and
- 2) Applicant must prove there is enough parking available to handle the increased need. A parking and traffic study may be required; and
- 3) Applicant/owner must clear up any outstanding inspections. All inspections must be passed prior to occupancy; and
- 4) Current fire alarm, fire sprinkler and backflow preventer reports are needed prior to occupancy; and
- 5) An occupant load number will need to be provided; and
- 6) The required number of accessible parking spaces must be provided; and
- 7) Applicant must demonstrate, through their own capacity needs and those of the other tenants, that enough parking exists on site.

There were no questions from the Commissioners.

Motion: Commissioner King made a motion to close CDC Case No. 2018-04. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Czarnecki, Marcotte, Moruzzi, King

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 6:51 p.m.

Motion: Commissioner King made a combined motion to approve the Findings of Fact for CDC Case No. 2018-04 as presented by Staff and to approve the Conditional Use Request, Churches and religious institutions, Municipal Code Section 10-8B-3. Commissioner Marcotte seconded the motion.

ROLL CALL: Ayes: Rowe, Czarnecki, Marcotte, Moruzzi, King

Nays: None

All were in favor. Motion carried.

Public Hearing: CDC Case Number 2016-16
Petitioner: Valinvest Holding, LLC/Amerifreight
Location: 720 East Green Street
Request: An Amendment to Preliminary Planned Unit Development and Final Planned Unit Development

Motion: Commissioner Moruzzi made a motion to open CDC Case No. 2016-16. Commissioner Marcotte seconded the motion.

ROLL CALL : Upon roll call the following Commissioners were present:
Rowe, Czarnecki, Marcotte, Moruzzi, King
Absent: Ciula, Rodriguez
A quorum was present.

Chairman Rowe opened the Public Hearing at 6:53 p.m.

Village Planner, Kurtis Pozsgay, was present and previously sworn in by Chairman Rowe. Mr. Pozsgay stated a Legal Notice was published in the Bensenville Independent on February 15, 2018. Mr. Pozsgay stated a certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours. Mr. Pozsgay stated Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on February 16, 2018. Mr. Pozsgay stated on February 16, 2018 Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. Mr. Pozsgay stated an affidavit of mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

Mr. Pozsgay stated the applicant, Valinvest Holding, LLC is requesting a Planned Unit Development (PUD) to operate a truck and passenger car fueling station, truck stop, truck wash and truck parking within an 8-acre site located at 720 E. Green Street. Mr. Pozsgay stated the applicant was previously approved for a Conditional Use and preliminary PUD, Ordinance No. 50-2014. Mr. Pozsgay stated the property in question is currently vacant and is located within the I-3 Heavy Industrial Zoning District. Mr. Pozsgay stated the proposed plan has 95 tractor trailer parking stalls, 20 tractor stalls, and 25 car stalls identified as well as 7 truck fueling positions, 12 passenger fueling positions, an approximately 3,300 SQFT truck wash, and an approximately 9,120 SQFT convenience building. Mr. Pozsgay stated the convenience building includes a retail store, fast food restaurant, trucker's lounge, showers, laundry, and video gaming. Mr. Pozsgay stated a truck wash and a scale are also proposed. Mr. Pozsgay stated the southern portion of the property includes a single turn-around area for any trucks on site. Detention is depicted on the southernmost portion.

Mr. Ron Ambrose of Ambrose Design was present and sworn in by Chairman Rowe. Mr. Ambrose stated his client was in front of the Commission before and has taken their comments into consideration for the proposed site plan. Mr. Ambrose reviewed the proposed layout and entrances/exits to the property. Mr. Ambrose stated his client currently operates a facility in Northlake. Mr. Ambrose submitted picture of his clients' operation on Northlake to the Commission. They have been attached to the minutes as "Exhibit A".

Chairman Rowe asked if the operation would be 24/7. Mr. Ambrose stated the operation would be 24/7.

Chairman Rowe asked if the proposed wash was for trucks or cars. Mr. Ambrose stated the wash is only for trucks.

Chairman Rowe asked if there would be repairs taking place. Mr. Ambrose stated there would be no repairs on site.

Commissioner Moruzzi asked if certain materials would be restricted on site and how will the operator monitor what materials are on site. Mr. Rumen Valnev, owner of Valinvest Holding, LLC was present and sworn in by Chairman Rowe. Mr. Valnev stated he understood Mr. Moruzzi's question but stated there is no way for him to know what is being stored in what container. Mr. Valnev stated this operation would be no different that what is taking place at other sites throughout Illinois and those sites have no restrictions. Mr. Valnev stated all State Regulations would be followed. Mr. Valnev stated he has never had an issue at his Northlake location.

Commissioner Moruzzi asked if a traffic and noise study has been completed. Mr. Valnev stated they completed one in 2016 when they first approached the Village and would provide Staff with an updated version if needed.

Commissioner Moruzzi asked if there would be restrictions on parking time on site. Mr. Valnev stated there would be no restrictions and each spot is a paid spot.

Commissioner Moruzzi asked if there would be liquor sales on site. Mr. Valnev stated there will not be any liquor sales on site.

Chairman Rowe asked what is going to be done to prevent cars and trucks from mixing up on site. Mr. Ambrose stated proper signage will be installed to eliminate confusion.

Chairman Rowe asked for clarification of stacking of trucks on site. Mr. Ambrose reviewed truck stacking on site and stated while one truck is fueling, two trucks can stack behind without any issues.

Public Comment:

Chairman Rowe asked if there was any member of the Public that would like to speak on behalf of the case. There were none.

Mr. Pozsgay reviewed the approval criteria for the proposed Planned Unit Development request consisting of:

1. **Superior Design:** The PUD represents a more creative approach to the unified planning of development and incorporates a higher standard of integrated design and amenity than could be achieved under otherwise applicable regulations, and solely on this basis modifications to such regulations are warranted.

Applicant's Response: The Exterior Building design will be based on using Aluminum panels and glass to create a sleek and modern appearance. The Aluminum panel colors will be silver, white red and yellow which will be used on the Buildings and Fueling Canopies. The site has been developed to maximize the potential use of the property while adhering strictly to the wetlands criteria, creeks and other engineering design features the property presents.

2. **Meet PUD Requirements:** The PUD meets the requirements for planned unit developments set forth in this Title, and no modifications to the use and design standards otherwise applicable are allowed other than those permitted herein.

Applicant's Response: We are not seeking any modifications to the use and design standards as required. The site provides the necessary setbacks for all proposed structures. There is ample on-site circulation for the proposed truck and vehicle traffic anticipated for this use.

3. **Consistent with Village Plan:** The PUD is generally consistent with the objectives of the Village general development plan as viewed in light of any changed conditions since its adoption.

Applicant's Response: This site is located in the I-3 Heavy Industrial Zoning District. This use will fit in well with the Industrial Park properties surrounding this site. Our facility with its uniquely genuine Building and Canopy Architecture will bring an upscale feel to the site and enhance this vacant property.

4. **Public Welfare:** The PUD will not be detrimental to the public health, safety or general welfare.

Applicant's Response: By building this proposed facility we will be cleaning up a vacated old industrial site. This Use will incorporate all the most current safety design features required for Truck fueling and Gas facilities of this type. New curb cuts and site lighting will also enhance the safety and general welfare of the development.

5. **Compatible with Environs:** Neither the PUD nor any portion thereof will be injurious to the use and enjoyment of other properties in its vicinity, seriously impair property values or environmental quality in the neighborhood, nor impede the orderly development of surrounding property.

Applicant's Response: Development of this site as it is being proposed adds a clean and modern facility to the Industrial neighborhood. We expect that the Truck Fueling, Gas Fueling and Convenience Store will add a Use that will greatly benefit the area and provide an offering that is currently not immediately available.

6. **Natural Features:** The design of the PUD is as consistent as practical with preservation of any natural features such as flood plains, wooded areas, natural drainage-ways or other areas of sensitive or valuable environmental character.

Applicant's Response: We have worked closely with staff and DuPage County to meet the criteria for detention, wetlands and natural drainage ways. The shape of this property presented the possibility to make the best use of this site but to also work through all the engineering design challenges without sacrificing in the site design intent. All the major drainage and wetland issues have been addressed in the south portion of the site where we can make the best use of our engineering design. By improving this drainage and wetland area we anticipate any future growth adjacent to this site will gain those benefits of the work we are proposing.

7. **Circulation:** Streets, sidewalks, pedestrian-ways, bicycle paths and off-street parking and loading are provided as appropriate to planned land uses. They are adequate in location, size, capacity and design to ensure safe and efficient circulation of automobiles, trucks, bicycles, pedestrians, fire trucks, garbage trucks and snow plows, as appropriate, without blocking traffic, creating unnecessary pedestrian-vehicular conflict, creating unnecessary through traffic within the PUD or unduly interfering with the safety or capacity of adjacent streets.

Applicant's Response: The proposed site development will revise the existing access to this property. We plan to install three separate access points along Green Street. The drive furthest to the west will be intended for Car Traffic and the Fuel truck bringing product to the site. This drive will be 35'-0" wide to allow access for the Tanker truck. These trucks are generally 55'-0" to include cab and trailer. The next drive to the east or middle drive will be an approach for trucks marked to be Entrance Only for vehicles entering from the east or west. This drive will be 44'-0" to allow for the larger 73'-0" trucks to enter the site. The far East approached will be marked as Exit Only allowing trucks to travel east or west. This drive will be 42'-0" allowing for right and left turns out of the site.

Sidewalks currently exist along Green street and we will upgrade these areas with the relocation of the above-mentioned driveways. parking has been provided as sufficient for the Convenience Store and Car fueling area. truck parking will be provided to the South end of the property. The site has been designed to provide separate circulation areas for Cars and Trucks. The truck flow is anticipated to travel in a North-South direction in a clockwise movement. This allows the circulation as needed for this facility.

8. **Open Spaces and Landscaping:** The quality and quantity of common open spaces or landscaping provided are consistent with the higher standards of design and amenity required of a PUD. The size, shape and location of a substantial portion of any common open space provided in residential areas render it usable for recreation purposes.

Applicant's Response: The site has provided open space and green space to meet the requirements of the PUD Ordinance. The landscape plan has been developed following the criteria for wetland areas along with the standard requirements of the village Code. Decorative retaining walls and Landscape pavers are elements included in the design plans.

9. **Covenants:** Adequate provision has been made in the form of deed restrictions, homeowners or condominium associations or the like for:
- a. The presentation and regular maintenance of any open spaces, thoroughfares, utilities, water retention or detention areas and other common elements not to be dedicated to the Village or to another public body.
 - b. Such control of the use and exterior design of individual structures, if any, as is necessary for continuing conformance to the PUD plan, such provision to be binding on all future ownerships.

Applicant's Response: All required utility and drainage easements will be included as part of the Final Engineering Design plans. We have reviewed these issues with staff and are in agreement as to providing the necessary documentation to Bensenville.

10. **Public Services:** The land uses, intensities and phasing of the PUD are consistent with the anticipated ability of the Village, the school system and other public bodies to provide and economically support police and fire protection, water supply, sewage disposal, schools and other public facilities and services without placing undue burden on existing residents and businesses.

Applicant's Response: The site will have updated utilities for Water, Sanitary and Storm so that no undue burden would be placed on any existing Village Utilities.

11. **Phasing:** Each development phase of the PUD can, together with any phases that preceded it, exist as an independent unit that meets all of the foregoing criteria and all other applicable regulations herein even if no subsequent phase should ever be completed.

Applicant's Response: The projected Phasing of the project would begin with clearing the existing site and prepping for installation of all drainage and utilities. Upon completion of the infrastructure the site and building construction would continue until completion of the project.

Mr. Pozsgay reviewed the approval criteria for the proposed Conditional Use Permit request consisting of:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The proposed site development will revise the existing access to this property. We plan to install three separate access points along Green Street. The drive furthest to the west will be intended for Car Traffic and the Fuel truck bringing product to the site. This drive will be 35'-0" wide to allow access for the Tanker truck. These trucks are generally 55'-0" to include cab and trailer. The next drive to the east or middle drive will be an approach for trucks marked to be Entrance Only for vehicles entering from the east or west. This drive will be 44'-0" to allow for the larger 73'-0" trucks to enter the site. The far East approached will be marked as Exit Only allowing trucks to travel east or west. This drive will be 42'-0" allowing for right and left turns out of the site.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: We are proposing large green areas along the frontage of Green Street for various types of landscape in these areas. The truck fueling will be located as far off Green Street as possible but still allowing trucks enough circulation area to exit out to the east curb cut on Green street. All the Canopy lighting is intended to be LED so as to minimize the light levels beyond the Canopy. The entire site is to be paved in concrete and asphalt. Our Civil Engineering plans have gone into great detail to incorporate all the drainage requirements of DuPage County.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: This site is located in the 1-3 Heavy Industrial Zoning District. This use will fit in well with the Industrial Park properties surrounding this site. Our facility with its uniquely genuine Building and Canopy Architecture will bring an upscale feel to the site and enhance this vacant site.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The proposed development will be designed with use of the existing Utilities already located around the property. The development will not alter the proportionate use of Sanitary and Water demand then what has been utilized for many years at this location. Storm water detention will be provided to further assist the effectiveness of the existing storm sewers. Based on the re-development of the site and the requirements for storm water run-off we will be greatly improving the site in this regard. The Truck wash will be designed to utilize a water reclaim system so as to minimize the amount of fresh water being needed for each truck wash.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The development will provide a convenience to the community and area which currently does not exist. Truck fueling will be available for the Industrial area as well as the large volume of trucks that traverse Green Street on a daily basis. The Gas fueling and Convenience Store offerings will be beneficial to the public and all who utilize this site as there are no such type facilities in this industrial section of town.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: In such a large industrial area with vast amounts of Truck traffic this project would expect to be a boon for the Village of Bensenville and provide amenities that are important to the general public. This development has the ability to bring the Village of Bensenville a larger generation of tax dollars than this vacant site is currently generating.

Mr. Pozsgay stated Staff recommends the approval of the findings of fact as they appear above and therefor recommend approval of the requests with the following conditions:

1. The Conditional Use Permit for Outdoor Storage be granted solely to Valinvest Holding, LLC/Amerifreight and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of change in tenancy of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit; and
2. The property be developed in substantial compliance with the plans submitted A Design Group, LLC revised 11.10.15; and
3. Final plans must be submitted within 12 months of approval. A development schedule should be submitted to staff at that time; and
4. Final signage plans should be submitted and approved by staff to not include the 40 foot High Rise Sign and to correct the canopy signage; and
5. Final Site Plan should be submitted and approved by staff that shows a solution for the turning movement into the truck scale; and
6. Gambling or gaming machines shall not be allowed; and
7. Final architectural plans should be submitted and approved by staff; and
8. Final landscaping should be submitted and approved by staff; and

9. Overhead utility lines along Green Street shall be buried.

Commissioner Moruzzi asked if there are any concerns or restrictions the Village could make for conceal and carry on site. Mr. Pozsgay stated the Police Department did not raise any concerns with conceal and carry for the proposed site.

Motion: Commissioner Marcotte made a motion to close CDC Case No. 2016-16. Commissioner King seconded the motion.

ROLL CALL: Ayes: Rowe, Czarnecki, Marcotte, Moruzzi, King

Nays: None

All were in favor. Motion carried.

Chairman Rowe closed the Public Hearing at 7:26 p.m.

Motion: Commissioner Marcotte made a combined motion to approve the Findings of Fact for CDC Case No. 2016-16 as presented by Staff and to approve the proposed request. Commissioner King seconded the motion.

ROLL CALL: Ayes: Rowe, **Czarnecki, Marcotte, **Moruzzi, King

Nays: None

All were in favor. Motion carried.

*** Commissioners Czarnecki and Moruzzi announced they voted aye with the reservation on Staff to ensure everything properly done and built as proposed.*

Report from Community

Development: Mr. Pozsgay reviewed both recent CDC cases along with upcoming cases.

ADJOURNMENT: There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner King seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 7:31 p.m.

Ronald Rowe, Chairman
Community Development Commission





TYPE:Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**04.03.18**DESCRIPTION:**

Consideration of a Conditional Use Permit (Recycling centers) for Leyva Recycling Inc., located at 334 Evergreen Street.

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☐*Enrich the lives of Residents*

X

*Major Business/Corporate Center**Vibrant Major Corridors***REQUEST:**

Conditional Use Permit, Recycling centers

Municipal Code Section 10 – 9B – 3

SUMMARY:

1. The Petitioner is seeking a Conditional Use Permit for a Recycling Center at 334 Evergreen Street.
2. The applicant intends to purchase and sort non-ferrous metals i.e. copper, brass, wires, batteries, etc.

RECOMMENDATION:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for Leyva Recycling Inc, with the following conditions:

- 1) The Conditional Use Permit be granted solely to Leyva Recycling Inc and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;
- 2) Client will limit hours of operation, including deliveries, to 7 AM and 8 PM;
- 3) Electronic purchases as outlined in Section 3 of the Illinois Recyclable Metal Purchase Registration Law must be entered into LEADSONLINE Metal Theft Investigation System;
- 4) No outdoor storage allowed;
- 5) Applicant must provide parking strategy to be approved by staff prior to the Village Board Committee of the Whole review. The case will be continued to next CDC meeting date.

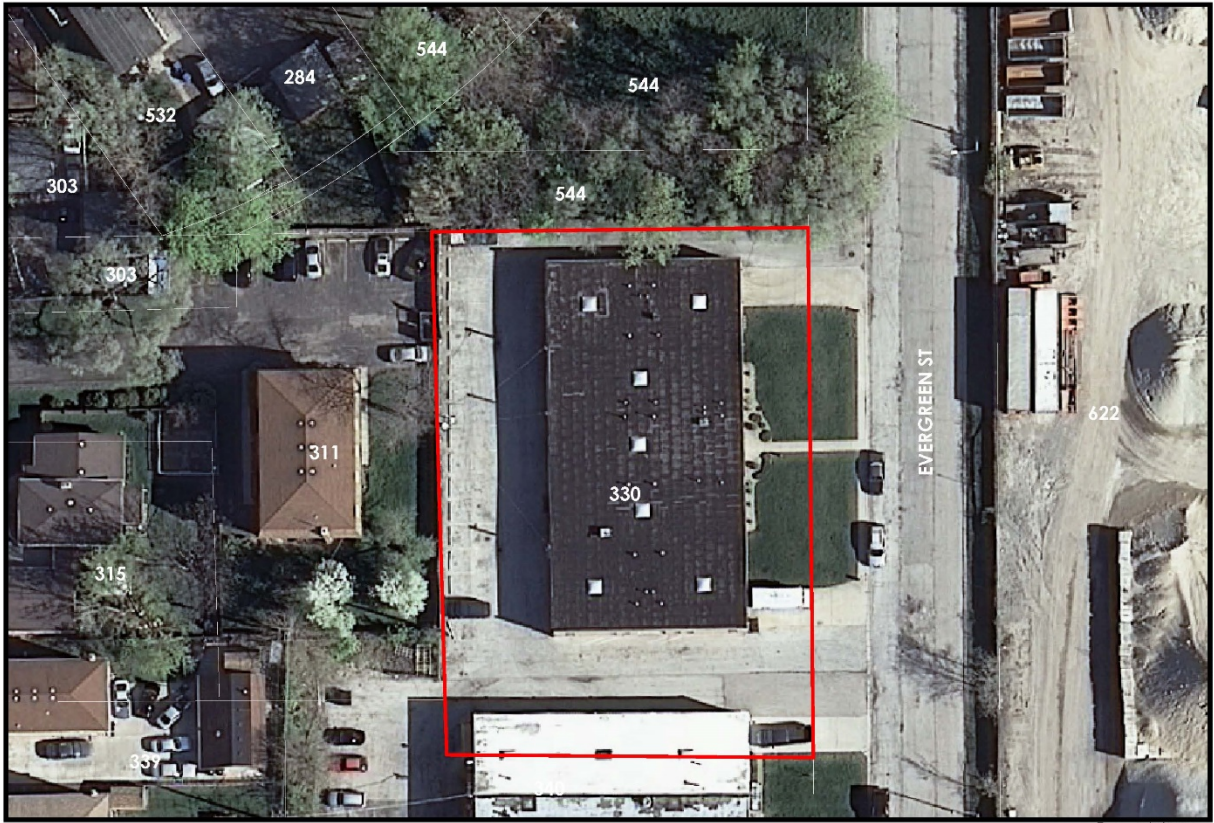
ATTACHMENTS:

Description	Upload Date	Type
Aerial & Zoning Maps	3/27/2018	Backup Material
Legal Notice	3/27/2018	Backup Material
Application	3/27/2018	Backup Material
Staff Report	3/28/2018	Executive Summary
Plat of Survey	3/27/2018	Backup Material



Village of Bensenville

334 S Evergreen

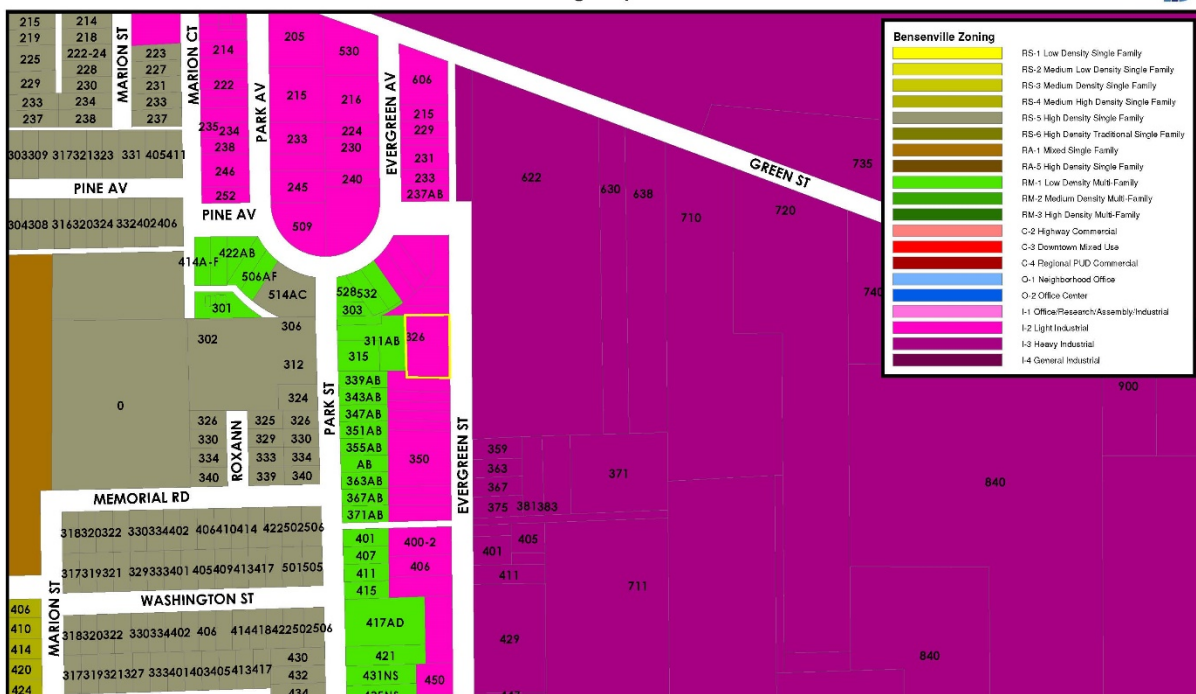


Date: 3/2/2018



Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, April 3, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 05 to consider a request for:

Conditional Use Permit, Recycling centers
Municipal Code Section 10 – 9B – 3.

334 Evergreen Street is in an I – 2 Light Industrial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOT 14 IN LATORIA’S SUBDIVISION OF PART OF LOTS 3 AND 4 IN SUBURBAN ACRES ADDITION TO BENSENVILLE, A SUBDIVISION OF PART OF SECTIONS 13 AND 24, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 334 Evergreen Street, Bensenville, IL 60106.

Michael Hermanson of 513 Kenilworth Drive, Schaumburg, IL 60193 is the owner and Leyva Recycling Inc. of 621 W. Wood Street, Bensenville, IL 60106 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant’s application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through April 3, 2018 until 5:00 P.M.

Office of the Village Clerk
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT
March 15, 2018**



For Office Use Only

Date of Submission:

MUNIS Account #:

7889

CDC Case #:

2018-05

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address:

334 Evergreen Ave, Bensenville, IL 60106

Property Index Number(s) (PIN):

03-24-110-023

A. PROPERTY OWNER:

Name

Michael Hermanson

Corporation (if applicable)

Street

513 Kenilworth Drive

City

Schaumburg

State

IL

Zip Code

60193

Contact Person

Michael Hermanson

Telephone Number & Email Address

312-543-7001

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature:

Michael Hermanson

Date:

10/22/18

B. APPLICANT:

☐ Check box if same as owner

Name

Jorge Leyva

Corporation (if applicable)

Leyva Recycling inc.

Street

621 W. Wood St.

City

Bensenville

State

IL

Zip Code

60106

Contact Person

Jorge Leyva

Telephone Number & Email Address

(630) 290-7650

jorgeleyva630@gmail.com

Relationship of Applicant to subject property

Same person

Applicant Signature:

Jorge Leyva

Date:

2/19/18

C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☒ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development**
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

*Item located within this application packet.

**See staff for additional information on

PUD requests

SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☐ Affidavit of Ownership* (signed/notarized)
- ☐ Application*
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit*
- ☐ Digital Submission of all application materials (CD)

Brief Description of Request(s): (Submit separate sheet if necessary)

Purchase and sorting of non-ferrous metals.
Copper, brass, wires, batteries, etc.

D. PROJECT DATA:

1. General description of the site: Recycling Center

2. Acreage of the site: _____ Building Size (if applicable): _____

3. Is this property within the Village limits? (Check applicable below)

☒ Yes

☐ No, requesting annexation

☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.

4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:		Multitenant Commercial Bldgs.	
North:		Industrial	
South:		Industrial	
East:		Industrial	
West:		Industrial + Residential	

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: _____

Telephone: _____

Email: _____

ENGINEER:

Name: _____

Telephone: _____

Email: _____

ATTORNEY

Name: _____

Telephone: _____

Email: _____

OTHER

Name: _____

Telephone: _____

Email: _____

F. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

STAFF REPORT

HEARING DATE: April 3, 2018
CASE #: 2018 – 05
PROPERTY: 334 Evergreen Street
PROPERTY OWNER: Michael Hermanson
APPLICANT: Leyva Recycling Inc.
SITE SIZE: 26,136 SF
BUILDING SIZE: 9,800 SF
PIN NUMBER: 03-24-110-023
ZONING: I – 2 Light Industrial
REQUEST: Conditional Use Permit, Recycling centers
Municipal Code Section 10 – 9B – 3

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday March 15, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday March 15, 2018.
3. On Friday March 16, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250’ of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is seeking a Conditional Use Permit for a Recycling Center at 334 Evergreen Street. The applicant intends to purchase and sort non-ferrous metals i.e. copper, brass, wires, batteries, etc.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	I – 2	Industrial	Industrial	Village of Bensenville
North	I – 2	Industrial	Industrial	Village of Bensenville
South	I – 2	Industrial	Industrial	Village of Bensenville
East	I – 3	Industrial	Commercial/Industrial Flex	Village of Bensenville
West	M – 1	Residential	Multiple-Family Residential	Village of Bensenville

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

No account set up for this address.

Police:

- 1) A police concern is the proximity of the apartment building located directly west of the property at 311 Park Street. The unloading of the trucks in the back of the property will have associated noise that will most likely result in complaints from the residents of the apartment building that overlooks the yard. These complaints may become more of a problem if the hours of operation are not limited.
- 2) Another concern that the police have is the use of scrap yards/recycling centers by metal thieves. Therefore, the conditional use permit should include a section that the permit would be revoked if the business violates any portion of the Illinois Recyclable Metal Purchase Registration Law and that the electronic purchases as outlined in section 3 must be entered into LEADSONLINE Metal Theft Investigation System which is utilized by the Bensenville police department for investigations into metal thefts and does not cost the business for the program.

Engineering and Public Works:

Public Works:

The plat is outdated and doesn't show the improvements.

Engineering:

No engineering related comments as long as all waste is dumped directly into the dumpsters and not stored outside. We don't want anything washing into the storm sewers.

Community & Economic Development:

Economic Development:

- 1) Generally supportive of this conditional use.
- 2) In addition to filling a vacancy in a multiple-tenant building, a recycling use aids in the Village's goal of attracting more environmentally conscious/green businesses.
- 3) While the conditional use permit did not specify, it would be safe to assume that the tenant will also provide a small number of jobs for local residents.

Fire Safety:

- 1) The Code has restrictions for the storage of batteries.
 - a. We need to know what type and how many?
 - b. We may require specific building modifications depending on those answers.

Building:

- 1) Building will need to know the type of batteries that will be stored on site, how the batteries will be stored and how many batteries will be stored.
- 2) If electrical wiring is to be recycled there, how will the wire insulation be removed?
- 3) Will any vehicles be parked inside the building? (triple basin)

Planning:

- 1) The 2015 Comprehensive Plan indicates “Industrial” for this property.
- 2) This is a multiple-tenant industrial building. Other tenants include:
 - a. 326 S EVERGREEN ST MICRO WEST, LTD.
 - b. 328 S EVERGREEN ST TOP INSTALLATIONS INC.
 - c. 330 S EVERGREEN ST KAPP WOODWORKING COMPANY
 - d. 332 S EVERGREEN ST AMAZING RESTORATION, INC.
 - e. 336 S EVERGREEN ST CABINET DIMENSIONS
 - f. 338 S EVERGREEN ST Q. I. X.
- 3) No parking plan was submitted.
- 4) Staff has concerns the property meets the parking requirements of all tenants.
- 5) With the residential property so close to the rear of the site, there are noise concerns particularly as it relates to hours of operation.
- 6) There are also concerns with what will be done with the waste materials.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant’s Response: Our business would not create any issues with the traffic flow considering that our clients would go the back of the warehouse. Cars/trucks would enter through one side of the warehouse and exit through the other side therefore keeping the flow of traffic steady. We will not be using large semis so the traffic on Evergreen Ave should not be affected.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant’s Response: We don’t plan on using heavy machinery in the warehouse other than typical power tools. We plan on organizing our material as we receive them in their corresponding box so that we can avoid having a mess. All the material we will be receiving will be clean material therefore odor and dust shouldn’t be a problem.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: Leyva Recycling will not affect any other business in the village of Bensenville considering that our usage in the property will be no different then any other industrial use. We will do our best to minimize any type of issues with the village, landlord, and surrounding businesses.

- 4. Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: We will not require any public service in the facility other then what is normally provided.

- 5. Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: We feel that our business will be convenient for local public and businesses so that they can recycle their used materials. With this approval the Village of Bensenville will have a new business that isn't commonly seen in Bensenville therefore the public and businesses have a local place to go to instead of driving to other towns.

- 6. Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: We don't see any other factors that we feel will have any affect. Only improvement we will make to the building will be some light replacements.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic	X	
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity	X	
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for Leyva Recycling Inc, with the following conditions:

- 1) The Conditional Use Permit be granted solely to Leyva Recycling Inc and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor

contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit;

- 2) Client will limit hours of operation, including deliveries, to 7am and 8pm;
- 3) Electronic purchases as outlined in section 3 of the Illinois Recyclable Metal Purchase Registration Law must be entered into LEADSONLINE Metal Theft Investigation System;
- 4) No outdoor storage allowed;
- 5) Applicant must provide parking strategy to be approved by staff prior to the Village Board Committee of the Whole review. The case will be continued to next CDC if not completed.

Respectfully Submitted,
Department of Community
& Economic Development

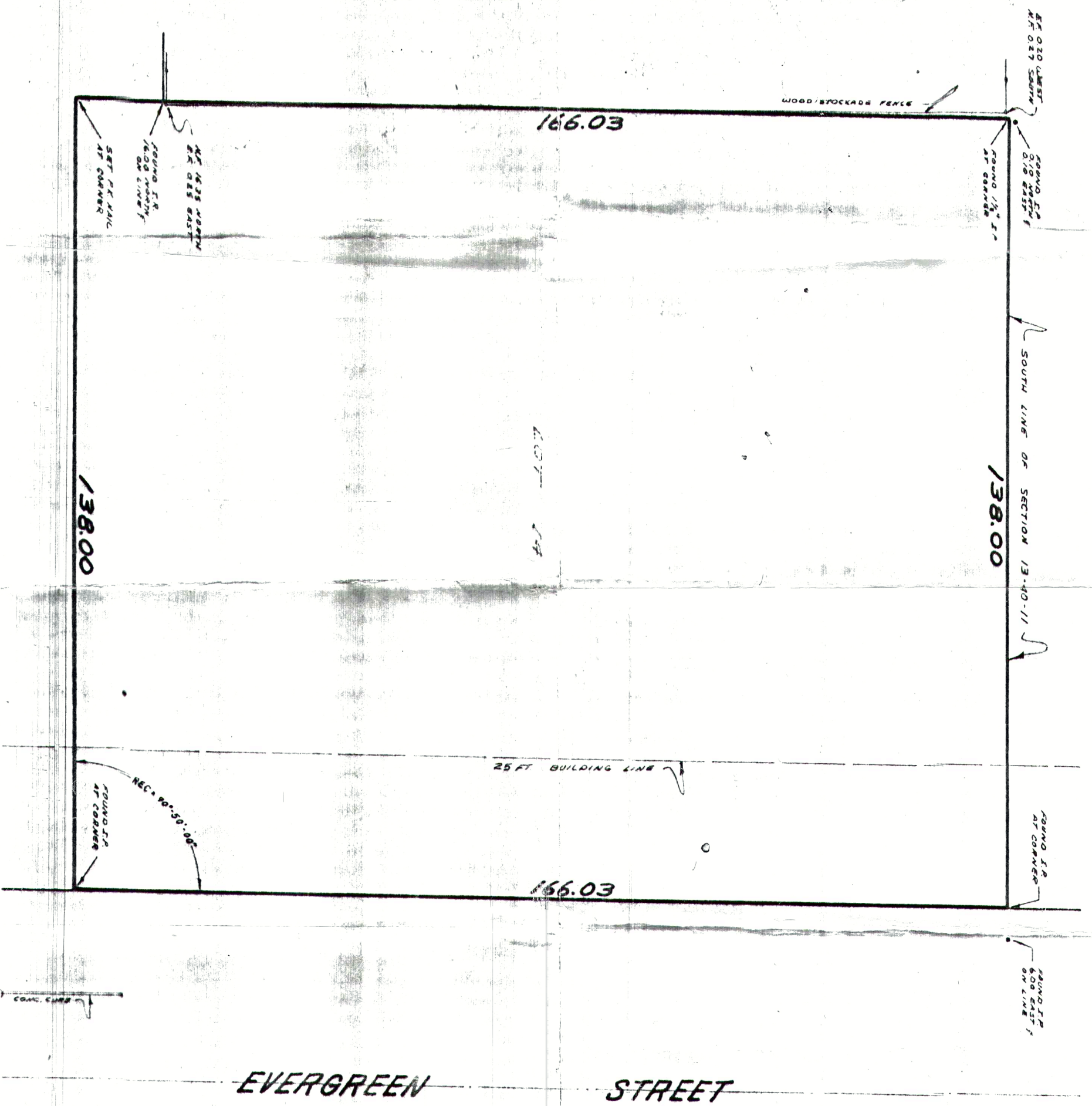
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329 331 342
329 331 342

PLAT OF SURVEY

JOHN D. MCTIGUE
REGISTERED LAND SURVEYOR

3458 N. CICCERO AVE CHICAGO IL 60641
PHONE: (312) 736-1344

LOT 14 IN LATORIA'S RESUBDIVISION OF PART OF LOTS 3 AND 4 IN SUBURBAN ACRES ADDITION TO
BENSENVILLE, A SUBDIVISION OF PART OF SECTIONS 13 AND 24, TOWNSHIP 40 NORTH, RANGE 11,
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN DU PAGE COUNTY, ILLINOIS.



LEGEND:

— FENCE

WD. = WOOD — C.L. = CHAIN LINK

N.F. = NORTH FACE — S.F. = SOUTH FACE

I.P. = IRON PIPE — I.R. = IRON ROD

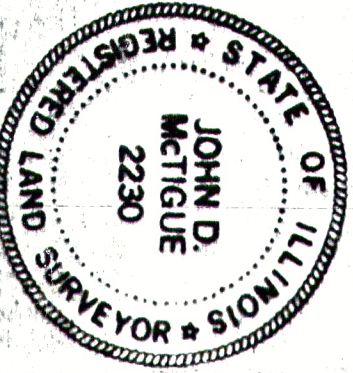
SCALE: 1 INCH EQUALS 20 FEET
DISTANCES ARE MARKED IN FEET AND DECIMAL PARTS THEREOF

ORDERED BY: VIKING ERECTORS INC.

DRAWN BY: J.D.M.

SURVEYED BY: J.D.M.

ORDER NO.: 85-691



STATE OF ILLINOIS } S.S.
COUNTY OF COOK

I, JOHN D. MCTIGUE, AN ILLINOIS REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY.

CHICAGO, ILLINOIS, DATED THIS 24 DAY OF JANUARY, A.D. 19 86
BY: J.D.M. REGISTERED LAND SURVEYOR NO. 2230

TYPE:Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**04.03.18**DESCRIPTION:**

Consideration of a Conditional Use Permit (Dry cleaner and laundry drop off stations and laundromats) for DLJ Laundromat, Inc., located at 1204 W. Irving Park Road.

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☐*Enrich the lives of Residents**Major Business/Corporate Center*

X

*Vibrant Major Corridors***REQUEST:**

Conditional Use Permit, Dry cleaner and laundry drop off stations and laundromats

Municipal Code Section 10 – 7B – 3

SUMMARY:

1. The Petitioner is seeking a Conditional Use Permit for a Laundromat and Dry Cleaner at 1204 W Irving Park Road.
2. The applicant intends to purchase the property.
3. Both, the laundromat and dry cleaning will occupy the entire building.
4. The proposed space is about 5,741 square feet.
5. The laundromat will be open from 6 AM to 11 PM, 7 days a week.
6. The dry cleaner will be pick up and delivery only.
7. The cleaning process for dry cleaner will be conducted off the site.

RECOMMENDATION:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for Leyva Recycling Inc, with the following conditions:

- 1) The Conditional Use Permit be granted solely to DLJ Laundromat, Inc. and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit; and
- 2) Applicant must remedy all outstanding billing and service issues; and
- 3) Applicant must submit a Final Landscape plan for staff approval; and
- 4) Applicant must provide a Final Site Lighting plan for staff approval.

ATTACHMENTS:

Description	Upload Date	Type
Aerial & Zoning Maps	3/27/2018	Backup Material
Legal Notice	3/27/2018	Backup Material
Application	3/27/2018	Backup Material

Plat of Survey	3/27/2018	Backup Material
Floor Plans	3/27/2018	Backup Material
Machine Specs	3/27/2018	Backup Material
Staff Report	3/30/2018	Cover Memo



Village of Bensenville

1204-1208 W Irving Park Rd



Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, April 3, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 06 to consider a request for:

Conditional Use Permit, Dry cleaner and laundry drop off stations and laundromats
Municipal Code Section 10 – 7B – 3.

1204 W. Irving Park Road is in a C – 2 Highway Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOT 5 (EXCEPT THE EAST 2 FEET) AND LOTS: 6, 7, 8, 9, 10, 11 IN BLOCK "B" IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTION 10, 11, 14 AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213044 IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 1204-1214 West Irving Park Road, Bensenville, IL 60106.

Roxy Properties of 6645 N Oliphant Avenue, Chicago, IL 60631 is the owner and DLJ Laundromat, Inc. of 409 Greenbriar Drive, Glendale Heights, IL 60139 the applicant for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through April 3, 2018 until 5:00 P.M.

Office of the Village Clerk
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT
March 15, 2018**

For Office Use Only		
Date of Submission: <u>3-5-18</u>	MUNIS Account #: <u>7915</u>	CDC Case #: <u>2018-06</u>

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 1204 W. Irving Park Rd., Bensenville

Property Index Number(s) (PIN): 0315232007/0315232004/0315232005/0315232006/0315232008

A. PROPERTY OWNER:

Name: NICOLE GEROUIS / ROXY PROPERTIES LLC Corporation (if applicable)

Street: 6045 N Oliphant

City: Chicago State: IL Zip Code: 60631

Contact Person: NICOLE - 312-498-3466 / DMO - 773-719-7355 Telephone Number & Email Address: ngeroulis@yahoo.com

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Property Owner Signature: Nicole Geroulis Date: 2/6/2018

B. APPLICANT: ☐ Check box if same as owner

Name: DENNY VO Corporation (if applicable): DLJ LAUNDROMAT, INC

Street: 409 GREENBRIAR DR

City: GLENDALE HEIGHTS State: IL Zip Code: 60139

Contact Person: DENNY VO Telephone Number & Email Address: 630-461-5882 vodenny2000@yahoo.com

Relationship of Applicant to subject property: Applicant has a pending sale contract to purchase subject property

Applicant Signature: [Signature] Date: 02-11-18

C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☒ Conditional Use Permit
- ☐ Master Sign Plan
- ☐ Planned Unit Development**
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

*Item located within this application packet.

**See staff for additional information on PUD requests

SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☐ Affidavit of Ownership* (signed/notarized)
- ☐ Application*
- ☐ Approval Criteria
- ☒ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit*
- ☐ Digital Submission of all application materials (CD)

Brief Description of Request(s): (Submit separate sheet if necessary)

Please read an additional page.

D. PROJECT DATA:

- General description of the site: Irving Park Rd Corridor in Commercial District
- Acreage of the site: 0.496 acre Building Size (if applicable): 5,741 sq. ft
- Is this property within the Village limits? (Check applicable below)
☒ Yes
☐ No, requesting annexation
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
- List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)
tbd.
- Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	<u>C-2</u>	<u>Commercial</u>	<u>Village of Bensenville</u>
North:	<u>C-2</u>	<u>Commercial</u>	<u>all in Village of Bensenville</u>
South:	<u>C-2</u>	<u>Commercial</u>	<u>all in Village of Bensenville</u>
East:	<u>C-2</u>	<u>Commercial</u>	<u>all in Village of Bensenville</u>
West:	<u>C-2</u>	<u>Commercial</u>	<u>all in Village of Bensenville</u>

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: tbd
 Telephone: _____
 Email: _____

ENGINEER

Name: tbd
 Telephone: _____
 Email: _____

ATTORNEY

Name: Thomas McGowen
 Telephone: 847-899-9161
 Email: thomas@mcgowenlaw.com

OTHER

Name: _____
 Telephone: _____
 Email: _____

F. APPROVAL CRITERIA:

The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the Approval Criteria. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

Brief Description of Request:

I am seeking a Conditional Use Permit to allow for a laundromat with onsite pick up and deliveries at 1204 W Irving Park Rd. I am also seeking a Conditional Use for a dry cleaning services which will be a part of the laundromat, the same, only for pick up and deliveries. The cleaning process for dry cleaner will be conducted off the site.

Both, the laundromat and dry cleaning will occupy the whole building. The proposed space is about 5,741 square feet.

The laundromat will be opened from 6am to 11pm, 7 days a week. I estimate roughly 280 customers per week for the laundromat and 140 customers for the dry cleaning.

The equipment investment will be approximately \$250,000 for washers and dryers, which are all state of the art and around \$130,000 will be spent for remodeling. The overall investment to the property, including the built out and the equipment is estimated to be around \$380,000.

Equipment Specifications:

Number of machines: 86 total including:

- 50 - 30 lb Stack Dryers
- 36 - Front Load Washers. These have various load capabilities:
 - 8 – 60 lb washer model ICN060KCF
 - 8 – 40 lb washer model ICN040KCF
 - 8 - 30 lb washer model ICN030KCF
 - 10 - 20 lb washer model BFNBC13
 -

Projected drain outflow:

- 60 lb washer; 50 gallons per minute
- 40 lb washer; 40 gallons per minute
- 30 lb washer; 30 gallons per minute
- 20 lb washer; 8.19 gallons per minute

The property will have a security system of minimum 16 cameras inside and outside and be staffed throughout the operating hours.

Site improvements:

Besides the whole building being completely rehabbed, the land will go through many improvements such as:

- Lighting will be upgraded with more lights installed to increase security and nice appearance.
- Landscaping improvements will include more bushes, flowers and plants
- Parking Lot will get a new paint including handicapped parking spaces and improved layout.



12.5'

CONSTRUCTION AND LAND SURVEYORS
P.O. BOX 412 WAUCONDA, IL 60084
TEL: (773) 450-9321 FAX: (773) 504-9321
ACCURATEA@ATT.NET

R & R Surveyor S. L. D.

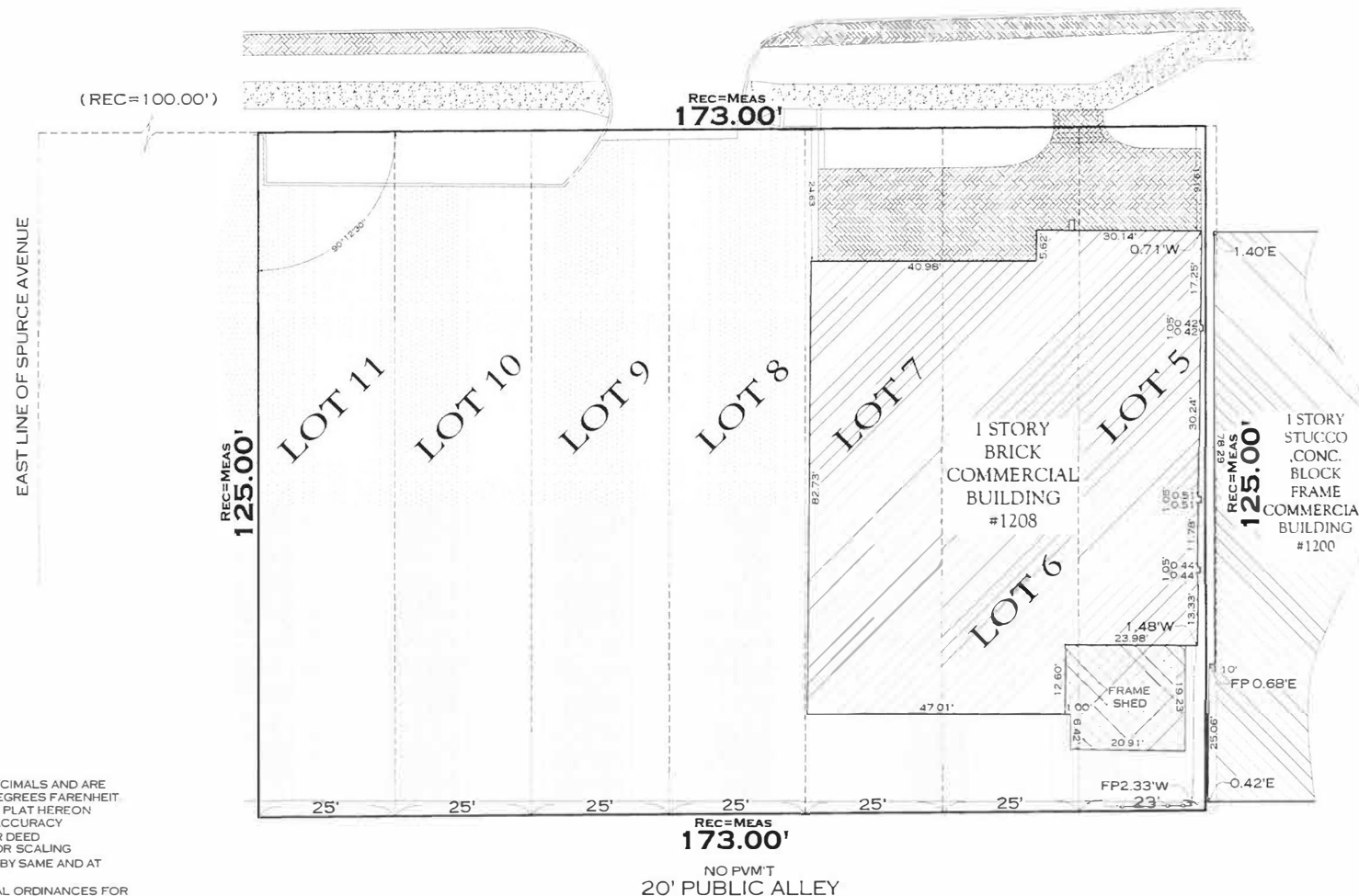
PLAT OF SURVEY

LOT 5 (EXCEPT THE EAST 2 FEET) AND LOTS 6,7,8,9,10,11 IN BLOCK "B" IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTION 10,11,14 AND 15, TOWNSHIP 40 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 7, 1926 AS DOCUMENT 213044 IN DUPAGE COUNTY, ILLINOIS.

COMMONLY KNOWN AS: 1204-12124WEST IRVING PARK ROAD,BENSENVILLE, ILLINOIS.

IRVING PARK ROAD

Exhibit A



NOTE.

- DIMENSIONS ARE SHOWN IN FEET AND DECIMALS AND ARE CORRECTED TO A TEMPERATURE OF 68 DEGREES FAHRENHEIT.
- THE LEGAL DESCRIPTION SHOWN ON THE PLAT HEREON DRAWN IS A COPY OF THE ORDER A FOR ACCURACY SHOULD BE COMPARED WITH THE TITLE OR DEED.
- DIMENSIONS ARE NOT TO BE ASSUMED FOR SCALING
- COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES
- REFER TO DEED, TITLE POLICY, AND LOCAL ORDINANCES FOR BUILDING RESTRICTIONS
- COMPARE ALL POINTS BEFORE BUILDING BY SAME AND AT ONCE REPORT ANY DIFFERENCES

ORDER# 14-4827
DATE 1/17/2014
ORDERED BY VITO

STATE OF ILLINOIS } ss
COUNTY OF McHENRY }
I, ROY G. LAWNICZAK
DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY HAS BEEN
SURVEYED UNDER MY SUPERVISION IN THE MANNER REPRESENTED ON
THE PLAT HEREON DRAWN THIS PROFESSIONAL SERVICE CONFORMS TO THE
CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

CARY, ILLINOIS APRIL/29/2014
(DATE)

BY: _____
ROY G. LAWNICZAK III, REG. LAND SURVEYOR NO. 2290

20 lb washers

30 lb washers

40 lb Washers

60 lb Washers

30 lb Stack Dryers

30 lb Stack Dryers


Main Entrance

formance.

Drain Information						
Specification	20	30	40	60	80	100
Drain connection size, in. [mm]	2 [51]	2 [51]	3 [76]*	3 [76]*	3 [76]*	3 [76]*
Overflow drain connection size, in. [mm]	1.5 [457]	1.5 [457]	1.5 [457]	1.5 [457]	2.25 [686]	2.25 [686]
Number of drain outlets	1	1	1	1	1	1
Drain flow capacity, gal/min [l/min]	25 [95]	30 [114]	40 [151]	50 [189]	55 [208]	55 [208]
Maximum discharge (level 30), gal [l]	8.24 [31.2]	9.72 [36.8]	10.30 [39]	17.98 [68.1]	26.98 [102.1]	32.16 [121.7]
Recommended drain pit size, ft ³ [l]	2.0 [57]	2.5 [71]	3.5 [128]	5.7 [161]	8.0 [221]	9.5 [269]
*Also works with 3 in. [76 mm] OD PVC pipe if connected to inside of drain tee connector.						

Table 20

Water Connection Requirements



WARNING

To prevent personal injury, avoid contact with inlet water temperatures higher than 125° Fahrenheit [51° Celsius] and hot surfaces.

W748

The maximum water inlet temperature for vended models is 125°F [51°C] and the recommended maximum water inlet temperature for on-premises models is 150°F [66°C] (standard models) or 140°F [60°C] (WRAS approved models).

Connections should be supplied by a hot and a cold water line of at least the sizes shown in *Water Supply Line Sizing*. Installation of additional machines will require proportionately larger water lines.

Connections should be supplied by a hot and a cold water line per national and local codes and in accordance with AS/NZS 3500.1.

To connect water service to a machine with hoses, use the following procedure:

1. Before installing hoses, flush the building's water system at the machine connection valves for at least two (2) minutes.
2. Check filters in the machine's inlet hoses for proper fit and cleanliness before connecting.

3. Hang hoses in a large loop; do not allow them to kink.

If additional hose lengths are needed or using hoses other than those supplied by manufacturer, flexible hoses with screen filters are required.

IMPORTANT: Use only new hoses supplied with the machine. Do not reuse old hoses.

Cabinet Hardmount Water Supply Information		
Specification	Model	Requirement
Water inlet connection size, in. BSP [mm]	20-100	3/4 [19]
Thread pitch, GHT [BSPP]	20-100	3/4 x 11.5 [3/4 x 14]
Number of water inlets	20-100	2

Table 21 continues...

NOTE: Longer fill hoses are available (as optional equipment at extra cost) if the hoses (supplied with the washer) are not long enough for the installation. Order hoses as follows:

- No. 20617 Fill Hose: 8 feet [2.44 m]
- No. 20618 Fill Hose: 10 feet [3.05 m]

Risers

Risers (or air cushions) may have to be installed if the pipes knock or pound when flow of water stops. The risers are more efficient when installed as close as possible to the water supply faucets. Refer to *Figure 7*.

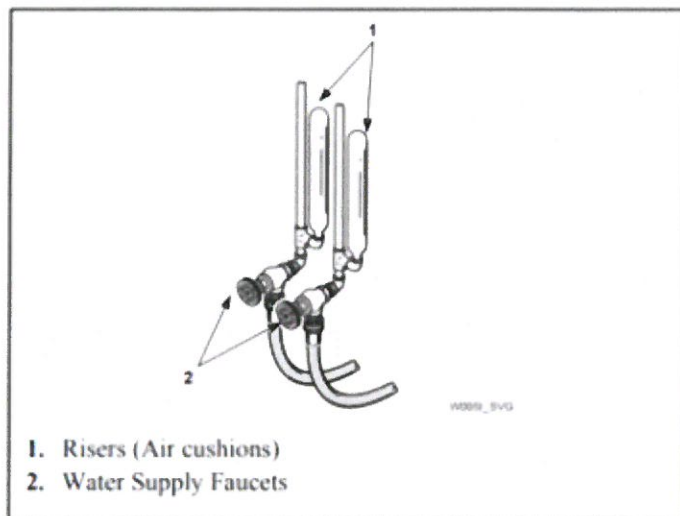


Figure 7

Non-Gravity Drain Models - Connect Drain Hose to Drain Receptacle

Remove the drain hose from its shipping position on the rear of the washer by removing the shipping tape.

IMPORTANT: Drain receptacle must be capable of handling a minimum of 1-3/8 inch [35 mm] outside diameter drain hose.

Drain Flow Rate	
Drain Height	Flow Rate gallons per minute [liters per minute]
3 ft. [0.9 m]	8.19 [31]
5 ft. [1.5 m]	7.27 [27.5]
6 ft. [1.8 m]	6.31 [23.9]
7 ft. [2.1 m]	4.89 [18.5]

Drain Flow Rate	
Drain Height	Flow Rate gallons per minute [liters per minute]
8 ft. [2.4 m]	2.79 [10.6]

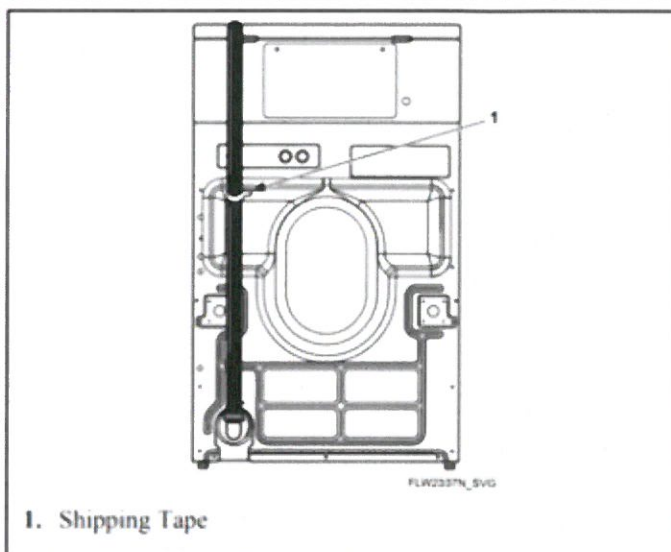


Figure 8

Standpipe Installation

1. Place the drain hose into the standpipe.
2. Remove the beaded tie-down strap from accessories bag and place around standpipe and drain hose and tighten strap to hold hose to standpipe. Refer to *Figure 9*. This will prevent the drain hose from dislodging from drain receptacle during use.

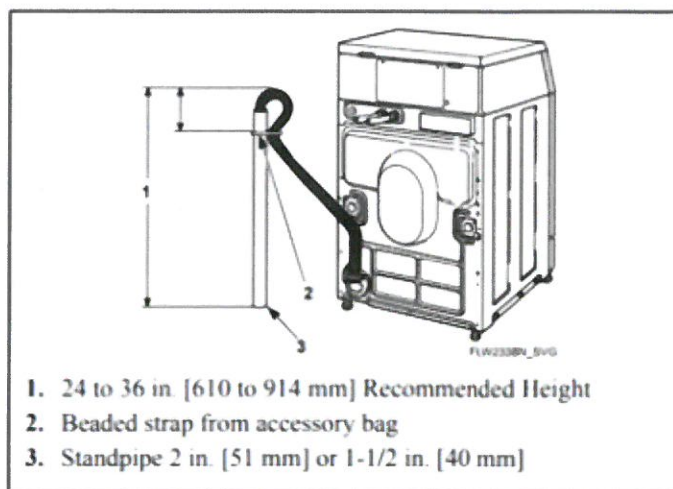


Figure 9

STAFF REPORT

HEARING DATE: April 3, 2018
CASE #: 2018 – 06
PROPERTY: 1204 W. Irving Park Road
PROPERTY OWNER: Roxy Properties
APPLICANT: DLJ Laundromat, Inc.
SITE SIZE: 21,625 SF
BUILDING SIZE: 5,741 SF
PIN NUMBERS: 03-15-232-004, 005, 006, 007, and 008
ZONING: C – 2 Highway Commercial District
REQUEST: Conditional Use Permit, Dry cleaner and laundry drop off stations and laundromats
Municipal Code Section 10 – 7B – 3

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday March 15, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday March 15, 2018.
3. On Friday March 16, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is seeking a Conditional Use Permit for a Laundromat and Dry Cleaner at 1204 W Irving Park Road. The applicant intends to purchase the property. Both, the laundromat and dry cleaning will occupy the entire building. The proposed space is about 5,741 square feet. The laundromat will be opened from 6am to 11 pm, 7 days a week. The dry cleaner will only be pick up and deliveries. The cleaning process for dry cleaner will be conducted off the site.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 2	Commercial	Local Commercial	Village of Bensenville
North	C – 2	Commercial	Local Commercial	Village of Bensenville
South	n/a	Railroad ROW	n/a	Metra MD-W/CP
East	C – 2	Commercial	Local Commercial	Village of Bensenville
West	C – 2	Commercial	Local Commercial	Village of Bensenville

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

- 1) Large past due balance.
- 2) They removed a meter without an authorization from the Village.

Police:

No police issues.

Engineering and Public Works:

Public Works:

- 1) Would like more information about discharge rates.
- 2) The plat of survey is out of date.

Engineering:

- 1) No comments.
- 2) Checked with the wastewater people and they indicated no sanitary backup issues in this part of town.

Community & Economic Development:

Economic Development:

- 1) Generally supportive of the use.
- 2) While the site had previously been built out as a restaurant, it has sat vacant for an extended period.
- 3) There are no other laundromats along this section of Irving Park Road in Bensenville, so this will provide a service for the community.

Fire Safety:

No issues.

Building:

- 1) The alteration of the existing building will have to meet all code requirements. This includes the Illinois Accessibility Code.
- 2) Permit review will/ may have additional comments.

Planning:

- 1) The 2015 Comprehensive Plan indicates "Local Commercial" for this property.
- 2) In the 2013 CEDS this property falls in the "Mid-Town/Irving Park Road" corridor.
- 3) A guiding principal in CEDS for Mid-Town is to "Serve as the retail and commercial corridor for community."
- 4) Staff would like to see a landscape plan.
- 5) Staff would like to see a Site lighting plan for the parking lot.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

1. **Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant's Response: The proposed use will not create any adverse impact on traffic or parking. This property has 26 available parking spaces on the property.

2. **Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: There will be no environmental nuisance as a result of the laundromat or dry cleaner. I expect to use approximate 900,000 gallons of water per year, which will be similar to the annual water usage in my laundromat in Bellwood. There will not be any adverse effect on noise, glare, odor, dust or waste disposal as a result of the approval of the Condition Use, as all services are contained indoors and the dry cleaning process will be conducted by the third party off the site.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed laundromat and dry cleaner will fit harmoniously with the existing business located at Irving Park Rd Commercial Corridor. The new business will not compete with the other business, but will draw additional people to the other business. A typical customer may do some shopping or eating at an existing business while doing their laundry.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The proposed use will not put a burden or disproportionate demand on public services beyond what is normally provided for in a C-2 Commercial District. Even the water usage may be comparable with the previous property usage, which was a large restaurant. The washers currently in use are very efficient regarding the water waste. Currently, I have 60lb, 40lb and 30lb washers in my laundromat at 1704 St. Charles Rd in Bellwood and my average water bill shows usage of 68,000 gallons.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The proposed laundromat and dry cleaning services will be a great addition to the Village of Bensenville. This new, state of the art facility will be able to meet the need of the public for the proposed services, especially the community of the surrounding apartment buildings. The customer friendly additions like multiple large, flat screen TVs and vending machines will complete the high quality service provided by my business to the public.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: The proposed business will be filing a vacancy, improve the building and increase the safety in this area. The building, which I intend to purchase, was foreclosed and boarded years ago. I want to bring it back to the Village of Bensenville as a nicely restored property and a great and much needed service to the community. My business will produce a good volume of people from not only Bensenville but also surrounding towns.

Conditional Use Approval Criteria	Meets Criteria	
	Yes	No
1. Traffic	X	
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity	X	
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for DLJ Laundromat, Inc, with the following conditions:

- 1) The Conditional Use Permit be granted solely to DLJ Laundromat, Inc. and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of the sale or lease of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit; and
- 2) Applicant must remedy all outstanding billing and service issues; and
- 3) Applicant must submit a Final Landscape plan for staff approval; and
- 4) Applicant must provide a Final Site Lighting plan for staff approval.

Respectfully Submitted,
Department of Community
& Economic Development

TYPE:Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**04.03.18**DESCRIPTION:**

Consideration of Planned Unit Development and Conditional Use Permit Amendments to Ordinance Nos. 9 – 2013, 42 - 2014 and 13 – 2016 to allow for the construction of a parking lot for Global CFS Inc., located at 525 Meyer Road.

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☐*Enrich the lives of Residents*

X

*Major Business/Corporate Center**Vibrant Major Corridors***REQUEST:**

A Planned Unit Development Amendment and Conditional Use Permit Amendment to Ordinance Nos. 9 – 2013, 42 - 2014 and 13 – 2016 to allow for the construction of a parking lot on site, Municipal Code Sections 10 – 7D – 2 and 10 – 10 – 6.

SUMMARY:

1. The Petitioner is seeking to amend 3 previously approved ordinances which granted a Planned Unit Development and Conditional Use Permit for a parking lot at 525 Meyer Road.
2. The applicant intends to expand the lot to the north.
3. The addition will more than double the number of parking spaces adding 28 for a total of 51 (including 2 handicap).
4. Additional detention is proposed, along with landscaping.

RECOMMENDATION:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Conditional Use Permit for Leyva Recycling Inc, with the following conditions:

- 1) The Conditional Use Permit for Outdoor Storage be granted solely to Global CFS/PC Properties, LLC and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of change in tenancy of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit.
- 2) The property be developed in substantial compliance with the plans submitted Petrungaro & Associates, Inc. dated 03.09.18.
- 3) All outstanding inspections for previous work be completed prior to permits being issued for the proposed updates.
- 4) A landscape plan shall be submitted for the entire site for staff review and approval prior to the Committee meeting.

ATTACHMENTS:

Description	Upload Date	Type
Aerial & Zoning Maps	3/27/2018	Backup Material
Legal Notice	3/27/2018	Backup Material
Application	3/27/2018	Backup Material
Plans	3/27/2018	Backup Material
Staff Report	3/30/2018	Cover Memo

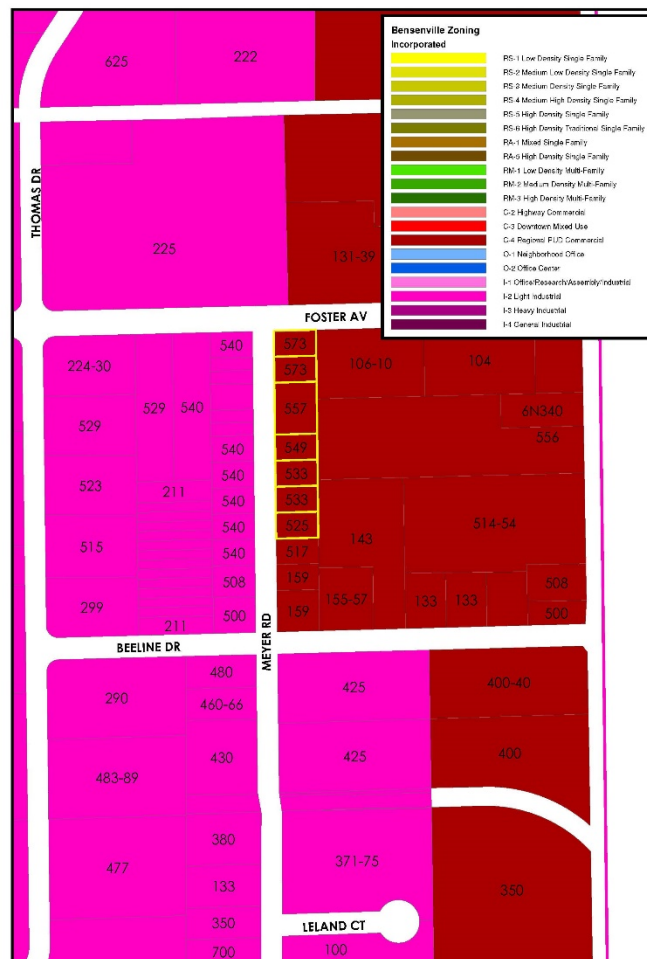
Village of Bensenville

525 N Meyer & Parcels North



Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, April 3, 2018 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2018 – 07 to consider a request for:

A Planned Unit Development Amendment and Conditional Use Permit Amendment to Ordinance Nos. 9 – 2013, 42 - 2014 and 13 – 2016 to allow for the construction of a parking lot on site, Municipal Code Sections 10 – 7D – 2 and 10 – 10 – 6.

For the property located at 525, 533, 549, 557 and 573 Meyer Road in an existing C – 4 Regional Destination PUD Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 1, 2, 3, 4, 5, 6, 7 AND 8 IN MEYER BROS' RESUBDIVISION OF PART OF LOT 3 OF MOHAWK ACRES, A SUBDIVISION IN THE SOUTHEAST ¼ OF SECTION 11, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT OF SAID MEYER BROS' RESUBDIVISION RECORDED OCTOBER 11, 1949 AS DOCUMENT 578082, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 525, 533, 549, 557 and 573 Meyer Road, Bensenville, IL 60106.

PC Properties Inc. is the owner and Global CFS Inc. is the applicant, both located at 860 Foster Avenue, for the subject property.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, IL 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through April 3, 2018 until 5:00 P.M.

Office of the Village Clerk
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT
March 15, 2018**

COMMUNITY DEVELOPMENT COMMISSION APPLICATION

Address: 525 MEYER RD Bensenville, IL 60106

Property Index Number(s) (PIN): 03-11-402-001, 002, 003, 004, 005, 006, 007

A. OWNER: PC PROPERTIES LLC

Name Corporation (if applicable)

860 Foster Ave

Street

Bensenville IL. 60106

City State Zip Code

Steve Panzarella SR. spanzarella7@aol.com

Contact Person Telephone Number & Email Address

If Owner is a Land Trust, list the names and addresses of the beneficiaries of the Trust.

Owner Signature: [Signature] Date: 2-6-18

B. APPLICANT: ☒ Check box if same as owner

Name Corporation (if applicable)

Street

City State Zip Code

Contact Person Telephone Number & Email Address

Relationship of Applicant to subject property

Applicant Signature: [Signature] Date: 2-9-18

C. ACTION REQUESTED (Check applicable):

- ☐ Annexation
- ☒ Conditional Use Permit
- ☐ Master Sign Plan
- ☒ Planned Unit Development*
- ☐ Plat of Subdivision
- ☐ Rezoning (Map Amendment)
- ☐ Site Plan Review
- ☐ Variance

*See staff for additional information on PUD requests

**Item located within this application packet.

SUBMITTAL REQUIREMENTS (1 original & 1 copy of each):

- ☒ Affidavit of Ownership** (signed/notarized)
- ☒ Application**
- ☐ Approval Criteria
- ☐ Legal Description of Property
- ☐ Plat of Survey
- ☐ Site Plan
- ☐ Building Plans & Elevations
- ☐ Engineering Plans
- ☐ Landscape Plan
- ☐ Review Fee (Application Fee + Escrow)
- ☐ Escrow agreement and deposit**
- ☐ Digital Submission of all application materials (CD)

Brief Description of Request(s): (Submit separate sheet if necessary)

EXTENSION OF EXISTING PARKING LOT.

D. PROJECT DATA:

1. General description of the site: 533, 549, 525, 557 & 573 MEYER RD.
2. Acreage of the site: 2 ACRES Building Size (if applicable): 0
3. Is this property within the Village limits? (Check applicable below)
☒ Yes
☐ No, requesting annexation
☐ No, it is under review by another governmental agency and requires review due to 1.5 mile jurisdiction requirements.
4. List any controlling agreements (annexation agreements, Village Ordinances, site plans, etc.)

5. Character of the site and surrounding area:

	Zoning	Existing Land Use	Jurisdiction
Site:	<u>C-4</u>	<u>COMMERCIAL</u>	<u>VILLAGE</u>
North:	<u>C-4</u>	<u>COMMERCIAL</u>	<u>VILLAGE</u>
East:	<u>C-4</u>	<u>STORAGE</u>	<u>VILLAGE</u>
South:	<u>C-4</u>	<u>COMMERCIAL</u>	<u>VILLAGE</u>
West:	<u>I-2</u>	<u>COMMERCIAL</u>	<u>VILLAGE</u>

E. DEVELOPER'S STAFF (if applicable):

ARCHITECT

Name: PETRUNARO & ASSOCIATES, INC.
Telephone: 847-304-1441
Email: JOSEPH.PETRUNARO@CSBCGLOBAL.NET

ENGINEER:

Name: PETRUNARO & ASSOCIATES, INC.
Telephone: _____
Email: _____

ATTORNEY

Name: DIMONTE & LIZAK
Telephone: 847-698-9600
Email: EDIMONTE@dimontelaw.com

OTHER

Name: _____
Telephone: _____
Email: _____

F. APPROVAL CRITERIA:

1. Select the "Approval Criteria" from the list(s) found on the pg. 6 – 7 pertaining to the applicant's request(s).
2. The applicant must compose a letter describing how the request(s) specifically meets the individual criteria from the list. The CDC will be unable to recommend approval of a request without a response to the pertinent "Approval Criteria."

SITE IMPROVEMENTS
—AT—
525 MEYER ROAD, BENSENVILLE
(PROPOSED PARKING LOT EXPANSION)
DuPAGE COUNTY, ILLINOIS

GENERAL NOTES

- 1.) CITY OF BENSENVILLE SHALL BE NOTIFIED IN WRITING AT LEAST (3) FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2.) THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR EXISTING UTILITIES IN CONFORMANCE WITH THE AFFECTED UTILITY COMPANIES REQUIREMENTS AS MAY BE REQUIRED TO PERFORM THE WORK OF THIS CONTRACT.
- 3.) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LINE AND GRADES SHOWN ON THE CONTRACT DRAWINGS, IF THERE ARE ANY DISCREPANCIES FROM WHAT IS SHOWN ON THE CONTRACT DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE OWNER PRIOR TO PERFORMING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK AS REQUIRED.
- 4.) ALL ELEVATIONS SHOWN ON THE CONTRACT DRAWINGS ARE U.S.G.S. DATUM UNLESS OTHERWISE SPECIFIED.
- 5.) ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS, WHICH ARE HEREBY MADE A PART HEREOF:
A. "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION IN ILLINOIS", AS PREPARED BY IDOT.
B. "STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS".
C. CITY OF BENSENVILLE STANDARDS.
- 6.) THE CONTRACT DOCUMENTS ARE NOT INTENDED TO SHOW EVERY AND ALL DETAILS OF WORK TO BE PERFORMED OR EQUIPMENT TO BE SUPPLIED. THE INTENT OF THE CONTRACT DOCUMENTS IS TO ILLUSTRATE THE CONCEPTUAL DESIGN AND LAYOUT. THE CONTRACTOR SHALL BE KNOWLEDGEABLE AND REGULARLY ENGAGED IN THE TYPE OF WORK DESCRIBED BY THESE CONTRACT DOCUMENTS, AND SHALL BE RESPONSIBLE FOR UNDERSTANDING THEIR INTENT. ANY WORK TO BE PERFORMED OR ITEM OF EQUIPMENT TO BE SUPPLIED WHICH IS NOT SPECIFICALLY CALLED FOR BY THESE CONTRACT DOCUMENTS BUT WHICH IS NECESSARY TO PROVIDE A COMPLETE AND SUCCESSFUL WORKING SYSTEM SHALL BE INCLUDED IN THE CONTRACTOR'S SCOPE OF WORK AT NO ADDITIONAL COST TO THE OWNER.
- 7.) IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALL MATERIAL QUANTITIES AND APPRAISE HIMSELF/HERSELF OF ALL CONDITIONS, THE CONTRACT PRICE SUBMITTED BY THE CONTRACTOR SHALL BE CONSIDERED AS THE TOTAL COST FOR THE COMPLETE PROJECT. NO CLAIMS FOR EXTRA WORK WILL BE RECOGNIZED DUE TO THE CONTRACTOR'S FAILURE TO UNDERSTAND THE SCOPE OF WORK.
- 8.) 100 YEAR FLOOD ELEVATION IN THE AREA OF CONCERN IS SHOWN WHEN APPLICABLE.
- 9.) THE WORK PERFORMED UNDER THIS CONTRACT SHALL IN NO WAY INTERFERE WITH THE NORMAL OPERATION OF ANY EXISTING UTILITY SERVICE. THE CONTRACTOR SHALL FURNISH ALL NECESSARY ITEMS OF EQUIPMENT REQUIRED TO MAINTAIN SUCH NORMAL OPERATION AT NO ADDITIONAL COST TO THE OWNER. THE COST ASSOCIATED FOR THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE COST OF THE CONTRACT.
- 10.) ORIENTATION OF PIPING, CONDUITS, EQUIPMENT, ETC. MAY VARY. CONTRACTOR TO COORDINATE SAME WITH THE OWNER.
- 11.) ANY AND ALL DEWATERING REQUIRED TO KEEP EXCAVATIONS DRY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- 12.) CERTAIN INFORMATION SHOWN ON THESE DRAWINGS HAS BEEN OBTAINED FROM DRAWINGS OF RECORD. CONTRACTOR SHALL VERIFY SUCH INFORMATION PRIOR TO ACTUAL START OF WORK. WHERE DISCREPANCIES ARE DISCOVERED THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE. FAILURE BY THE CONTRACTOR TO IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF SUCH DISCREPANCIES SHALL RESULT IN THE CONTRACTOR BEARING THE FULL BURDEN OF ALL RISKS/COSTS ATTRIBUTED TO THE DISCOVERED DISCREPANCY.
- 13.) SOIL EROSION PROTECTION SHALL BE IN ACCORDANCE WITH IEPA STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. ALL DISTURBED AREAS (NOT IMPERVIOUS IN NATURE) SHALL BE FINE GRADED, TOP SOIL RESTORED (MIN. 6 INCHES) AND SEED/MULCH APPLIED UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- 14.) PROPERTY OWNER MUST OBTAIN AN NPDES PERMIT FORM THE IEPA PRIOR TO OCCUPANCY IF REQUIRED.
- 15.) CONTRACTOR WORKING IN THE RIGHT-OF-WAY WILL BE REQUIRED TO SUBMIT INSURANCE CERTIFICATES AND A PERMIT BOND.

LEGEND

- “ —“ — EXISTING STORM SEWER
- EXISTING CATCHBASIN
- Ⓢ EXISTING STORM MANHOLE
- ‘ —‘ — EXISTING SANITARY SEWER
- Ⓢ EXISTING SANITARY MANHOLE
- v —v — EXISTING WATER MAIN
- ⚡ EXISTING FIRE HYDRANT
- ⚡ EXISTING VALVE VAULT
- 657--- EXISTING CONTOUR
- FENCE
- ☼ LIGHT POLE
- TRAFFIC SIGN
- UTILITY MANHOLE
- EXISTING TREE
- WOOD POST
- UTILITY POLE
- CONCRETE
- BITIMINOUS PAVEMENT

SURFACE WATER DRAINAGE STATEMENT

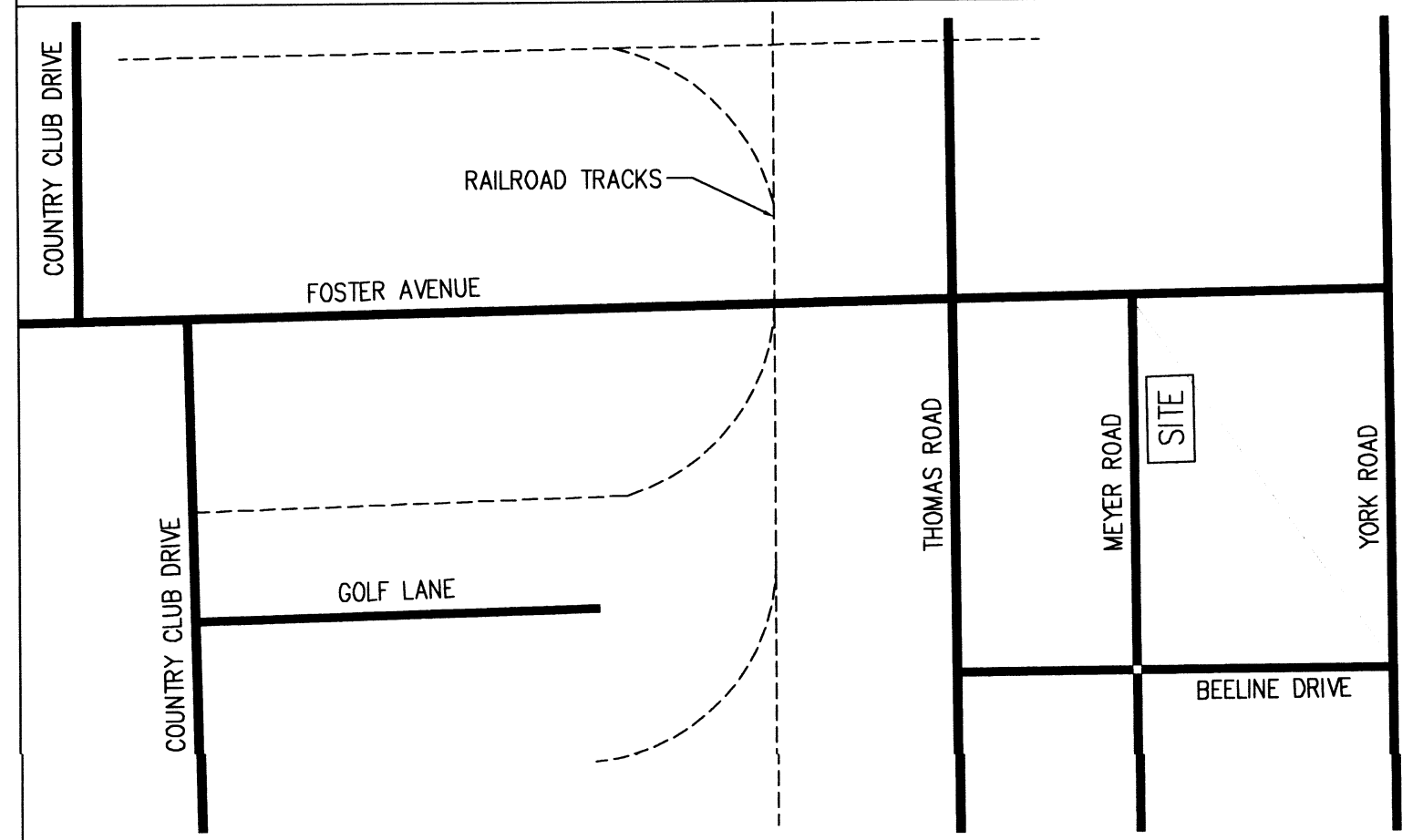
STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF SUCH SUBDIVISION/DEVELOPMENT OR ANY PART THEREOF. OT THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, ADEQUATE PROVISION HAS BEEN MADE FOR COLLECTION, DIVERSION, AND DISCHARGE OF SUCH WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE SUBVIDER/DEVELOPER HAS THE RIGHT TO USE AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF SUBSTANTIVE DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE SUBDIVISION/DEVELOPMENT.

DATED THIS _____ DAY OF _____, 20____

OWNER OR ATTORNEY

VICINITY MAP



J.U.L.I.E. INFORMATION

J.U.L.I.E. TELEPHONE No. : 1-800-892-0123
(CALL 48 HOURS BEFORE YOU DIG. - EXCLUDING SAT., SUN. AND HOLIDAYS)

COUNTY : DuPAGE
CITY / TOWNSHIP : BENSENVILLE / ADDISON TWP.
1/4 SECTION : SW. 1/4 OF SECTION 11-T40N.-R11E.

PERMITS REQUIRED

DuPage County Stormwater Management

Approved _____ 20 ____

Village of Bensenville

Approved _____ 20 ____

BENCHMARKS

PROJECT BENCHMARK
DUPAGE COUNTY BENCHMARK #AD14002
DISK MONUMENT ESTABLISHED IN CONCRETE HEADWALL OF THE ILL. RT. 83 (ROBERT KINGERY HWY.)
DUAL PURPOSE BRIDGE OVER SAID INTERSTION.
DATUM IS NGVD29 USGS
SUBTRACT 0.30' TO OBTAIN NAVD 88 DATUM

ELEVATION=717.6146

SITE BENCHMARK
1) RIM OF SANITARY MANHOLE SHOWN ON SHEET 2

ELEVATION=676.30

2) RIM OF SANITARY MANHOLE SHOWN ON SHEET 2

ELEVATION=671.94

INDEX OF SHEETS

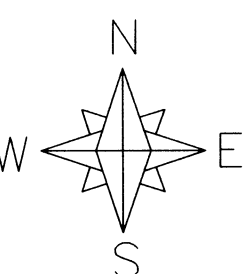
- C1 — COVER SHEET
- C2 — EXISTING CONDITIONS
- C3 — PROPOSED IMPROVEMENTS
- C4 — STANDARD DETAILS

REVISIONS

PETRUNGARO & ASSOCIATES, INC.
ARCHITECTS AND ENGINEERS

426 N. RAND ROAD, UNIT B
NORTH BARRINGTON, ILLINOIS 60010
(847) 304-1441 (847) 304-1436 FAX

SITE IMPROVEMENTS AT
525 MEYER DRIVE
BENSENVILLE, ILLINOIS



DATE: 03/09/18

SCALE: N/A

FILE: meyer--road

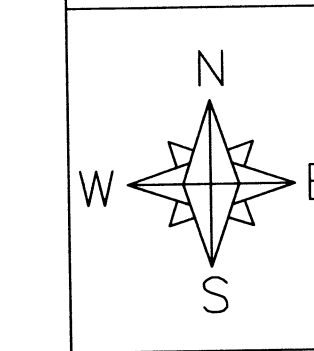
COVER SHEET

C1

REVISIONS

PETRUNGARO & ASSOCIATES, INC.
 ARCHITECTS AND ENGINEERS
 426 N. RAND ROAD, UNIT B
 NORTH BARRINGTON, ILLINOIS 60010
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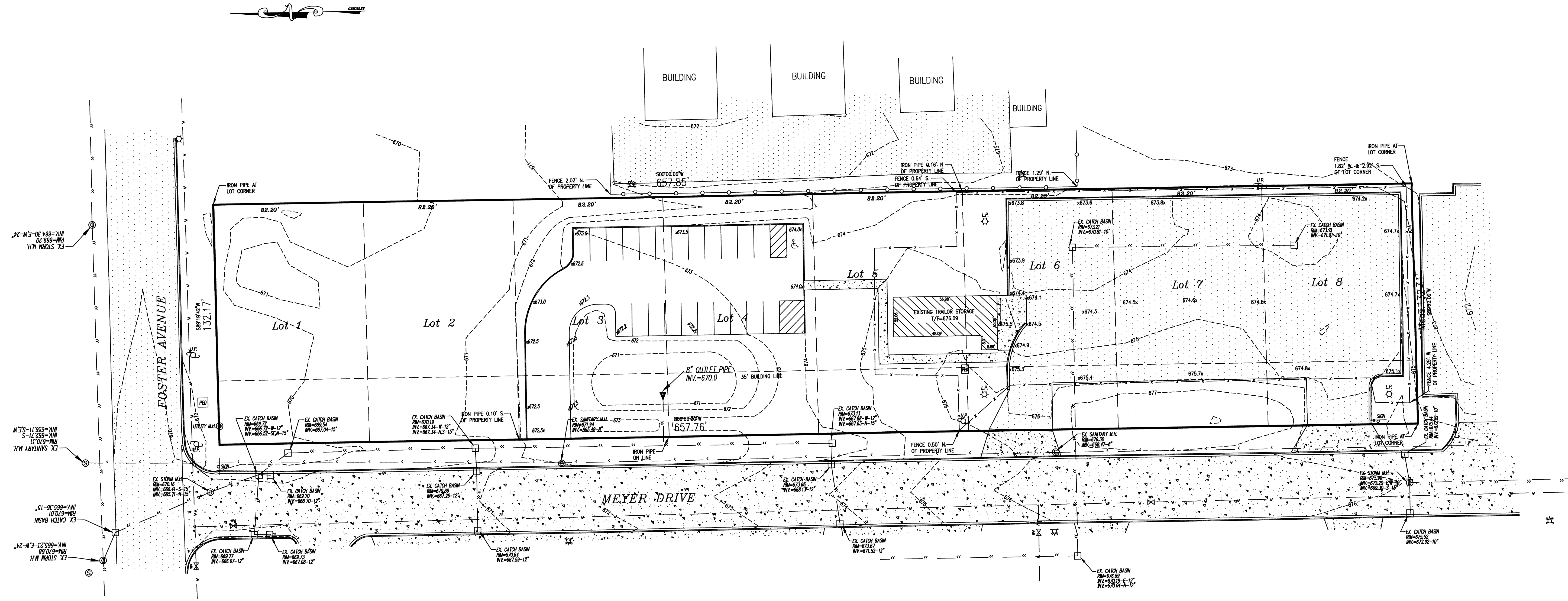
SITE IMPROVEMENTS AT
 525 MEYER DRIVE
 BENSENVILLE, ILLINOIS



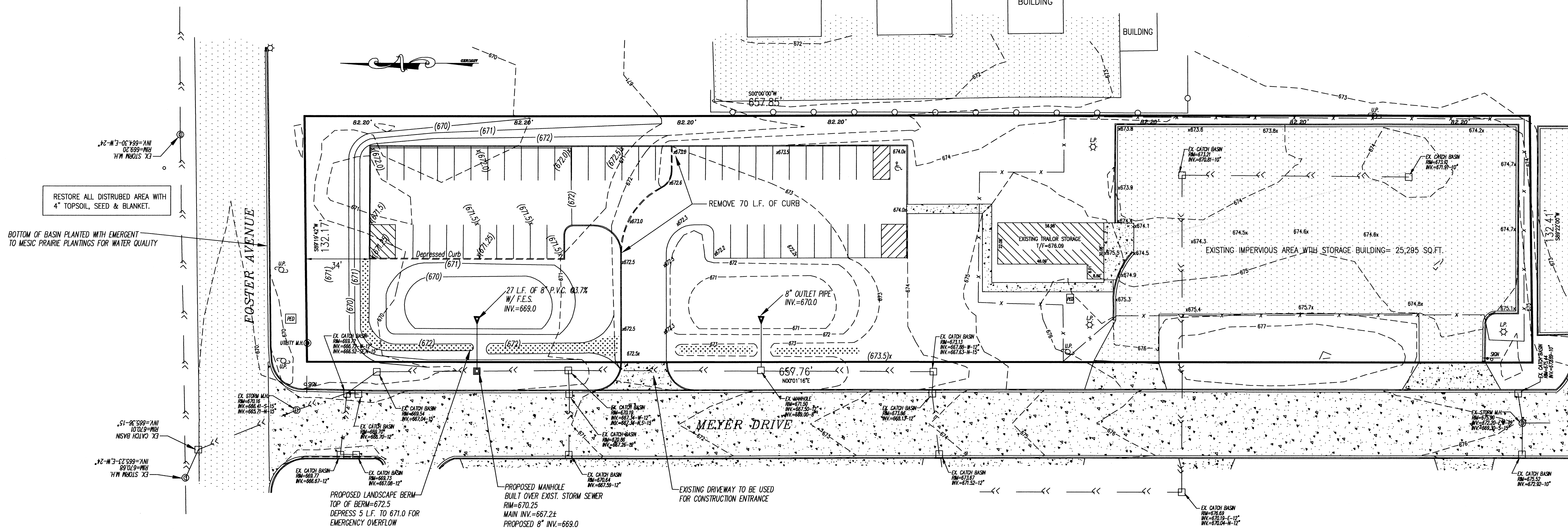
DATE: 03/09/18
 SCALE: 1"=30'
 FILE: meyer-road

EXISTING
 CONDITIONS

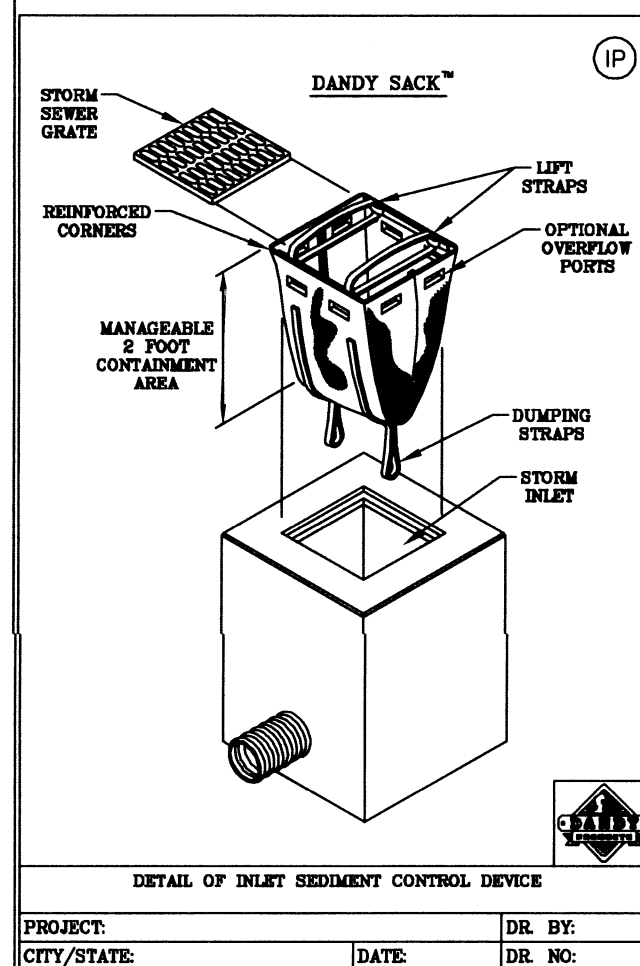
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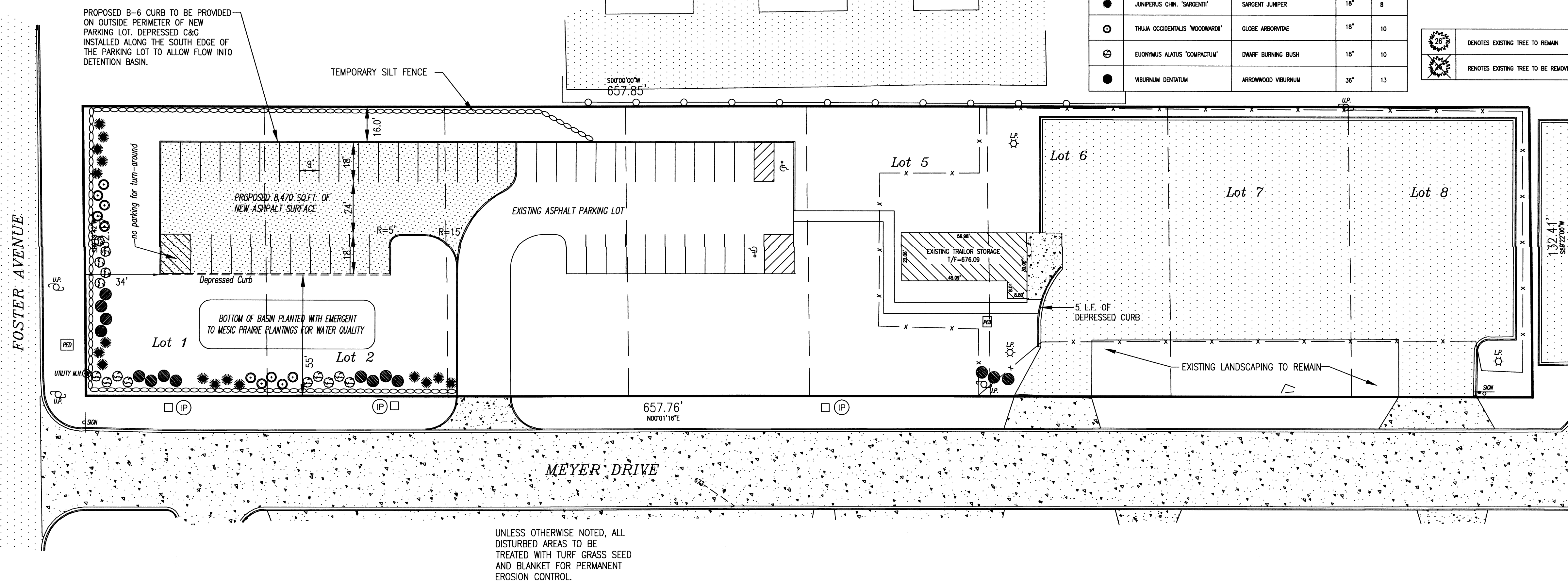
PROPOSED UTILITY & GRADING








PROPOSED SITE PLAN & LANDSCAPE PLAN
w/ EROSION CONTROL MEASURES





Mesic Prairie	Pounds/Ac
<i>Sporobolus heterolepis</i>	Prairie dropseed grass 1.500
<i>Andropogon scoparius</i>	Little blue stem 3.000
<i>Elymus virginicus</i>	Virginia wild rye 0.650
<i>Amorpha canescens</i>	Lead plant 0.188
<i>Baptisia leucophea</i>	Cream indigo 0.188
<i>Caenothus americanus</i>	New Jersey tea 0.125
<i>Coreopsis palmata</i>	Prairie coreopsis 0.188
<i>Coreopsis lanceolata</i>	Landcleaf coreopsis
<i>Tradescantia ohioensis</i>	Bluejacket
<i>Dodecatheon meadia</i>	Shooting star 0.088
<i>Eryngium yuccifolium</i>	Rattlesnake Master 0.250
<i>Gallium boreale</i>	Northern bedstraw 0.125
<i>Hypoxis hirsuta</i>	Yellow star grass 0.188
<i>Phlox pilosa</i>	Prairie phlox 0.188
<i>Ratibida pinnata</i>	Yellow coneflower 0.188
<i>Rudbeckia hirta</i>	Black-eyed susan 0.300
<i>Monarda fistulosa</i>	Wild bergemont 0.125
<i>Aster lanceolatus</i>	Panicked aster 0.125
<i>Petalostemum purpureum</i>	Purple prairie clover 0.125
<i>Avena sativa</i>	Oats 40.00



UNLESS OTHERWISE NOTED, ALL
DISTURBED AREAS TO BE
TREATED WITH TURF GRASS SEED
AND BLANKET FOR PERMANENT
EROSION CONTROL.

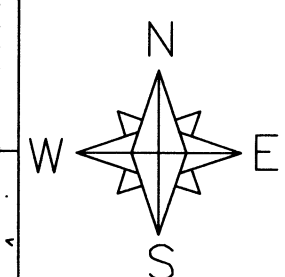
SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
TREES				
	ACER FREEMAN 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	2-1/2"	2
SHRUBS				
	JUNIPERUS CHIN. 'SARGENT'	SARGENT JUNIPER	18"	8
	THUJA OCCIDENTALIS 'WOODWARD'	GLOBE ARBOVITAE	18"	10
	ECHINOPS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	18"	10
	VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	36"	13

LANDSCAPING NOTES:
1) PLANT MATERIAL AND QUANTITIES SUBJECT TO FINAL APPROVAL OF PROJECT ARBORIST.
2) ALL PARKWAY TREES TO BE A MINIMUM OF 2-1/2" CALIPER.
3) SHRUBS DEPICTS ALONG WEST SIDE OF PROPOSED PARKING ARE TO PROVIDE AN 8' WIDE LANDSCAPING "FRONTAGE STRIP" PER VILLAGE CODE CHAPTER 12. THIS SHALL PROVIDE FOR A MINIMUM OF 2-1/2' TALL HEDGE ROW W/ 75% YEAR-ROUND OPACITY BY END OF SECOND GROWING SEASON.

	DENOTES EXISTING TREE TO REMAIN
	RENOTES EXISTING TREE TO BE REMOVED

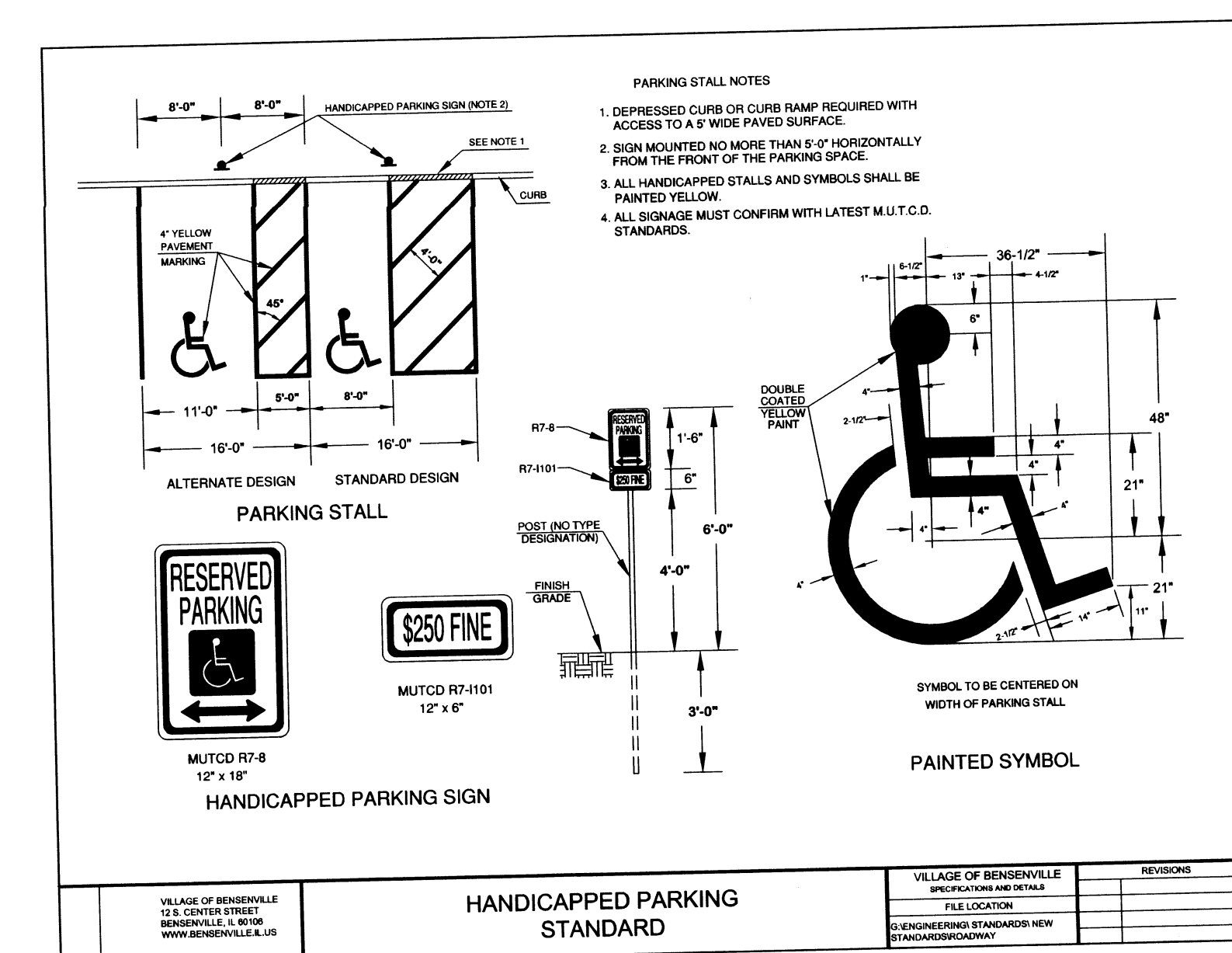
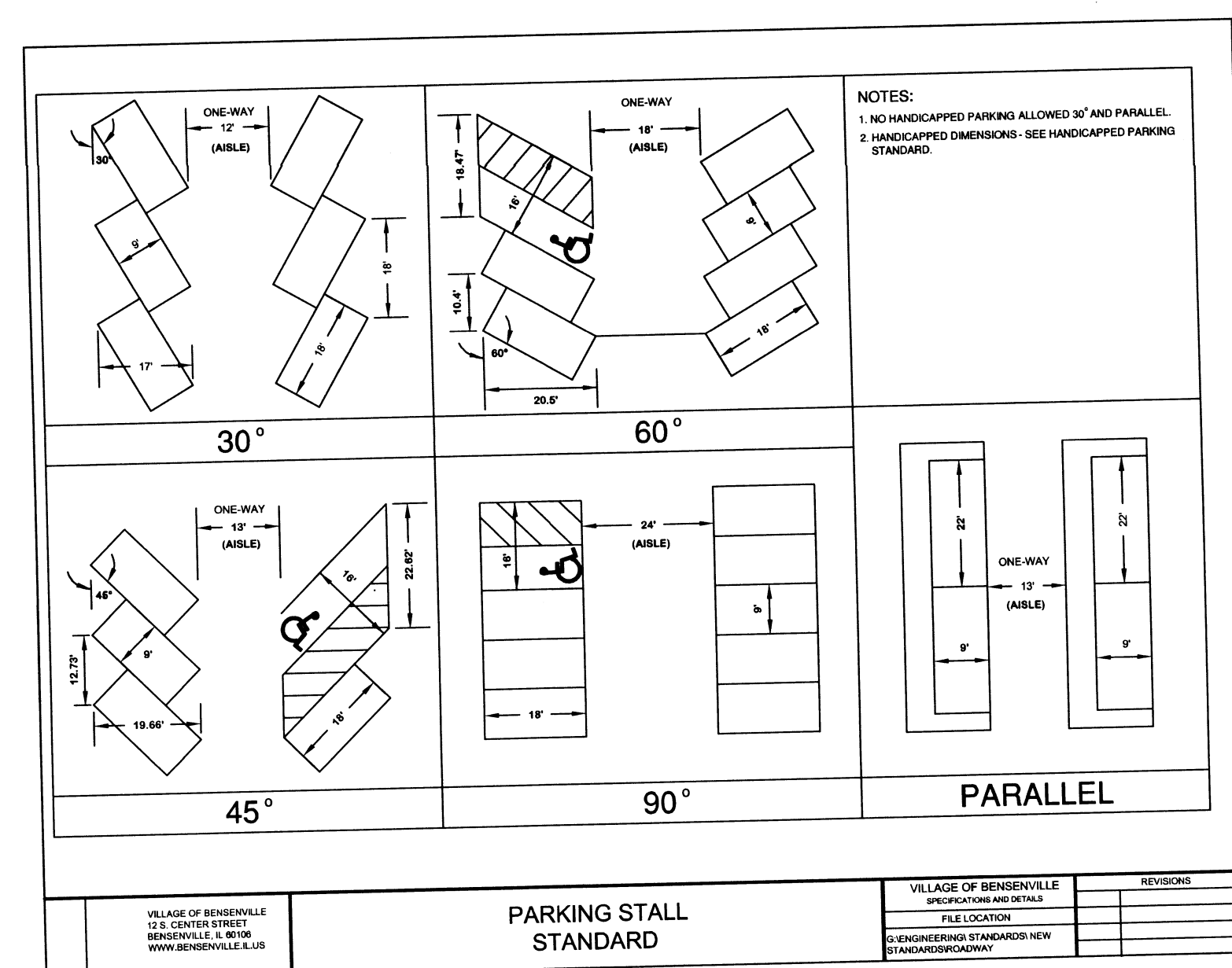
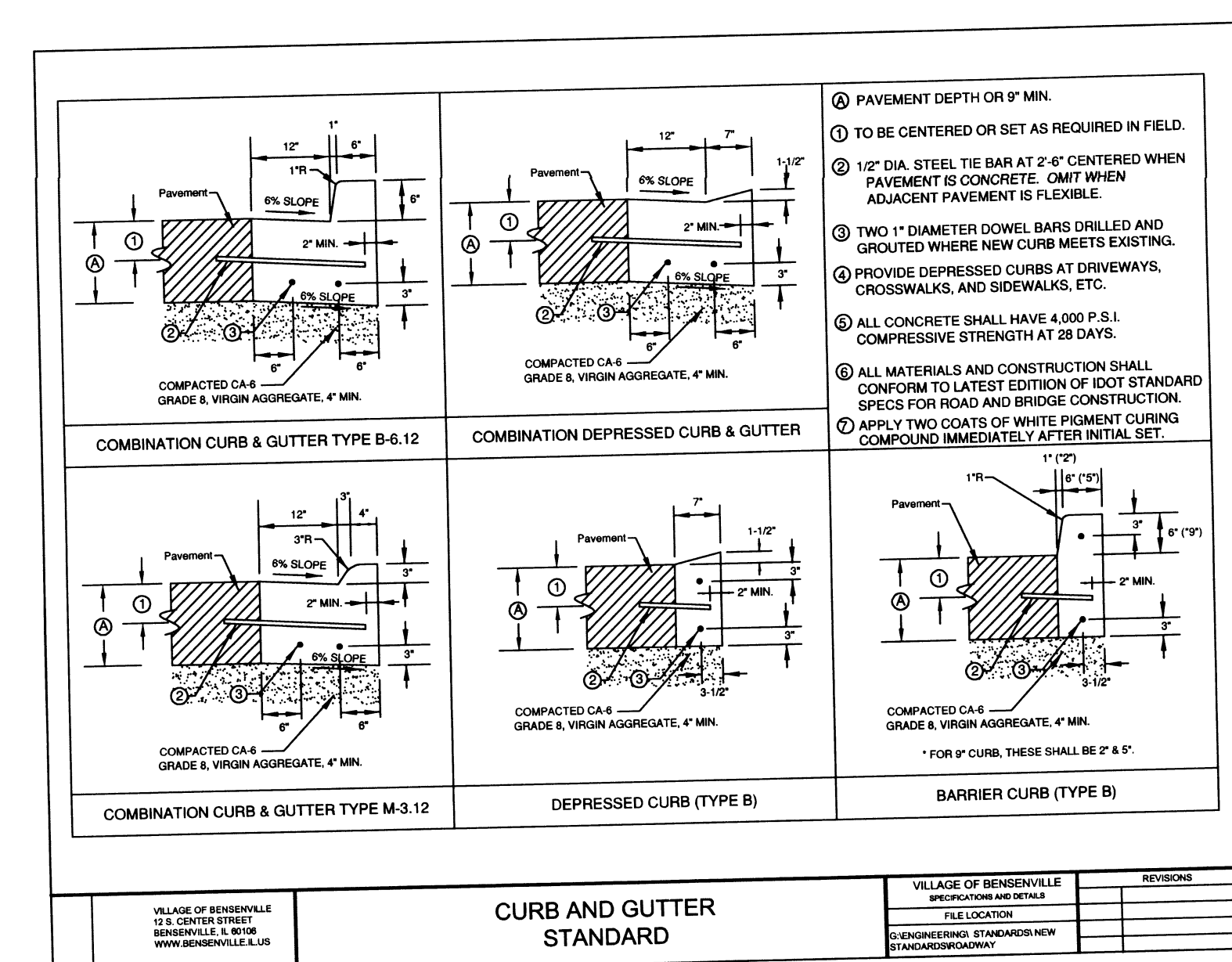
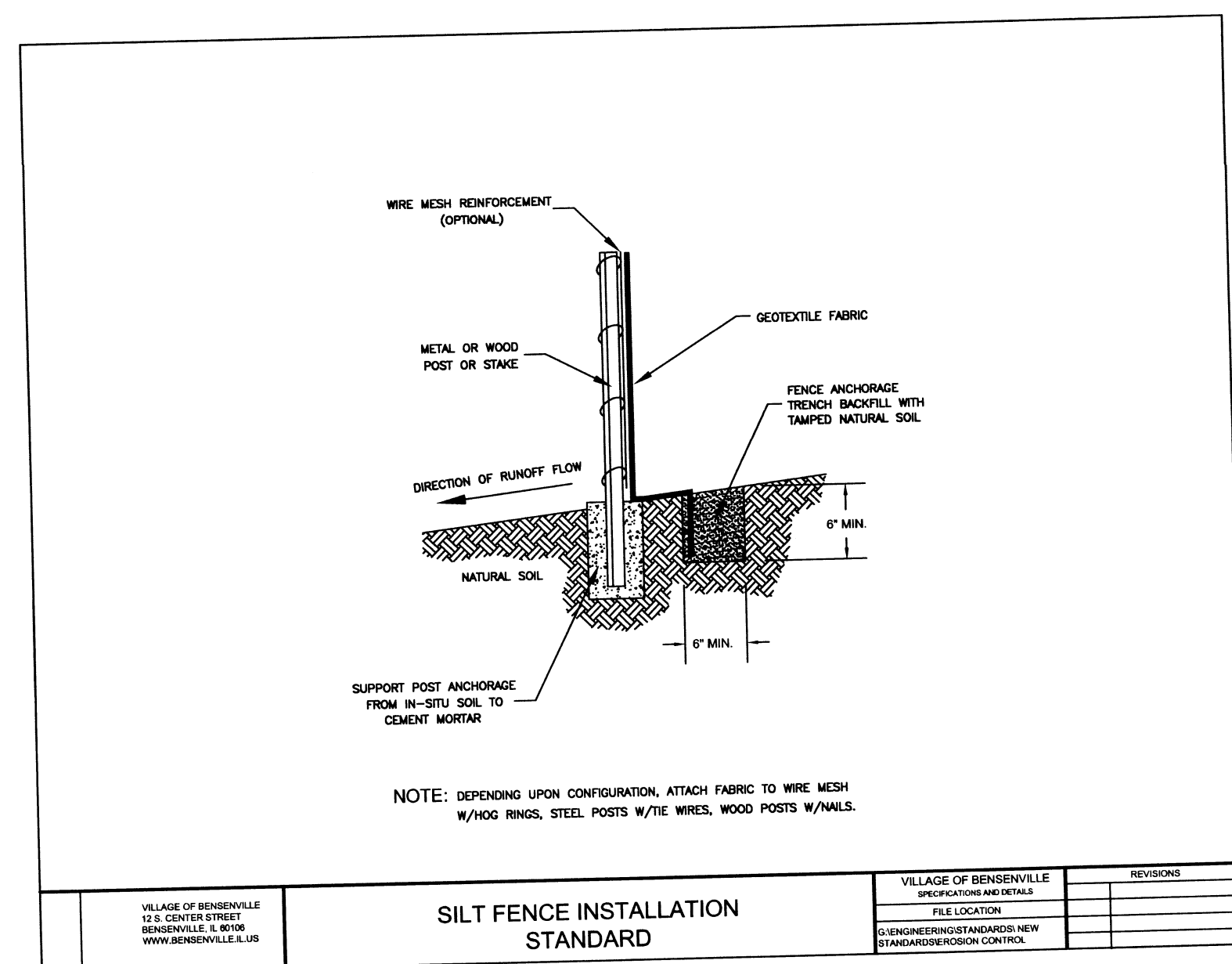
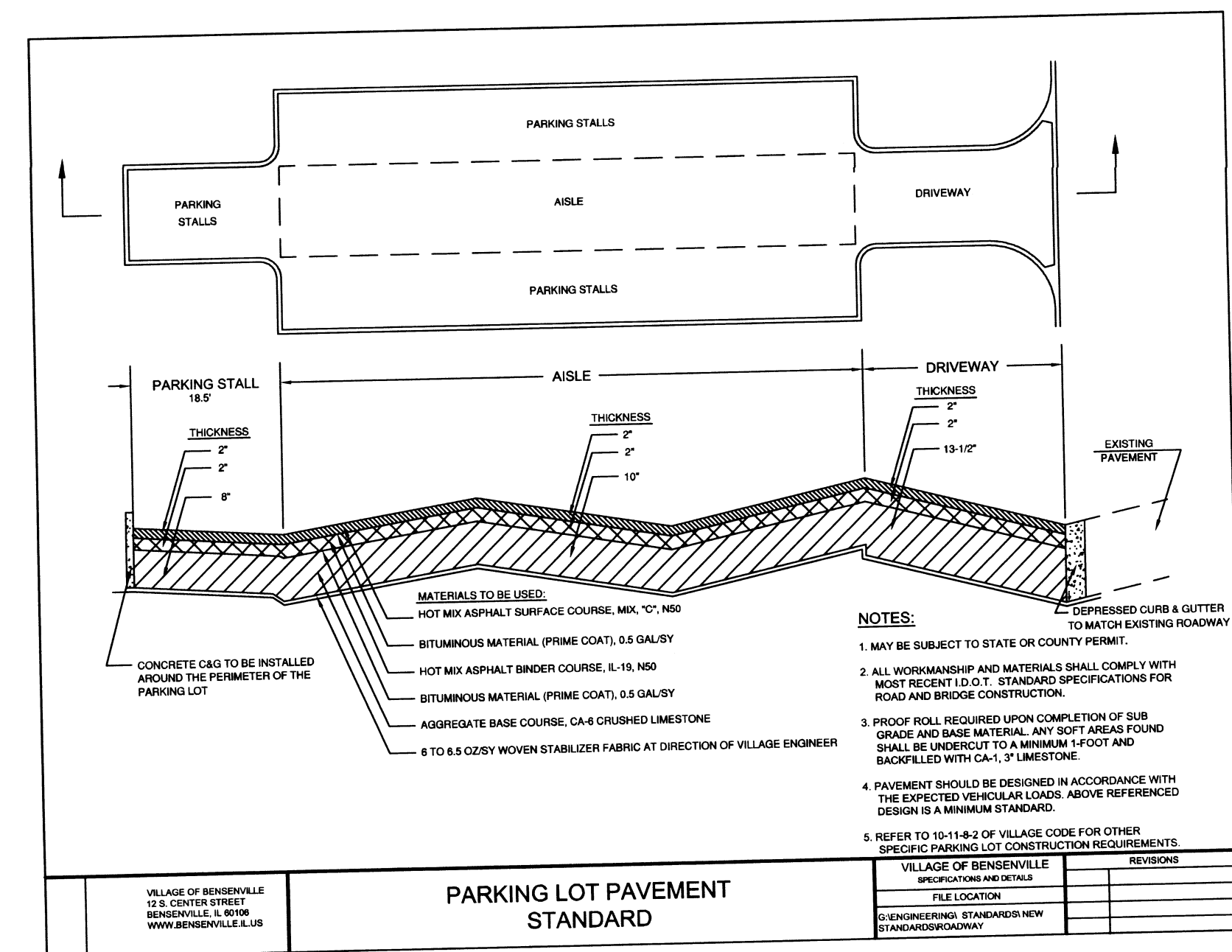
PETRUNGARO & ASSOCIATES, INC.
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(847) 304-1441
(847) 304-1435 FAX

SITE IMPROVEMENTS AT
525 MEYER DRIVE
BENSENVILLE, ILLINOIS



DATE: 03/09/18
SCALE 1"=30'
FILE: meyer-road
UTILITY/GRADING AND LANDSCAPE PLAN

C3



STAFF REPORT

HEARING DATE: April 3, 2018
CASE #: 2018 – 07
PROPERTY: 525 Meyer Road
PROPERTY OWNER: PC Properties Inc
APPLICANT: Global CFS Inc.
SITE SIZE: 86,684 SF
BUILDING SIZE: 1,300 SF
PIN NUMBERS: 03-11-402-032
ZONING: C – 4 Regional Destination PUD Commercial District
REQUEST: A Planned Unit Development Amendment and Conditional Use Permit Amendment to Ordinance Nos. 9 – 2013, 42 - 2014 and 13 – 2016 to allow for the construction of a parking lot on site, Municipal Code Sections 10 – 7D – 2 and 10 – 10 – 6.

PUBLIC NOTICE:

1. A Legal Notice was published in the Bensenville Independent on Thursday March 15, 2018. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted a Notice of Public Hearing sign on the property, visible from the public way on Thursday March 15, 2018.
3. On Friday March 16, 2018, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250’ of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

SUMMARY:

The Petitioner is seeking to amend 3 previously approved ordinances which granted a Planned Unit Development and Conditional Use Permit for a parking lot at 525 Meyer Road. The applicant intends to expand the lot to the north. The addition will more than double the number of parking spaces adding 28 for a total of 51 (including 2 handicap). Additional detention is proposed, along with landscaping.

SURROUNDING LAND USES:

	Zoning	Land Use	Comprehensive Plan	Jurisdiction
Site	C – 4	Industrial	Commercial/Industrial Flex	Village of Bensenville
North	C – 4	Industrial	Commercial/Industrial Flex	Village of Bensenville
South	C – 4	Industrial	Commercial/Industrial Flex	Village of Bensenville
East	C – 4	Industrial	Commercial/Industrial Flex	Village of Bensenville
West	I – 2	Industrial	Industrial	Village of Bensenville

DEPARTMENT COMMENTS:

SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input checked="" type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

No active account – and no past due balance on old accounts.

Police:

No issues.

Engineering and Public Works:

- 1) A DuPage County Stormwater Management Certification will be required for this project as the total land disturbing activity exceeds 5,000 SF.
- 2) The stormwater detention has been previously deferred on this PUD as the impervious area threshold was under the existing (as of Feb 1992) plus additional 25,000 SF requirement per DuPage County Stormwater and Floodplain Ordinance. Previously, the applicant has constructed a storage building (lot 5) and parking on lots 3, 4, 6, 7, and 8 consisting of approximately 35,550 SF of impervious area. The pre-1992 impervious area on these lots was determined to be approximately 11,800 SF. With the proposed addition of 8,640 SF of parking lot extension, the total impervious area onsite (minus pre-1992) is approximately 32,220 SF. The applicant is now required to provide detention for the entire PUD.
- 3) All other DCSFO requirements will need to be satisfied including PCBMP/VCBMP. The applicant is proposing emergent planting at the bottom of the proposed detention basin to meet such requirements.
- 4) The applicant will be required to provide detention calculations as well as PCBMP/VCBMP calculations during final engineering process. A modified stormwater tab submittal will also be required for the entire PUD.
- 5) After reviewing the FIRM, it appears that there aren't floodplains on site. Per the National Wetland Inventory website, the site also does not contain any wetland or riparian areas; however, it is the responsibility of the applicant to identify any existing special management areas on site and properly mitigate them.
- 6) The applicant was previously granted (2015 & 2016) a PUD amendment that included a storage building, employee parking as well as existing parking lot modifications. Our records indicate those improvements have not received a final engineering approval. Record drawings have not been submitted to date.

Community & Economic Development:

Economic Development:

Generally supportive of the plan as it assists an existing business with their parking needs.

Fire Safety:

No issues.

Building:

While building has no comments about the parking lot itself, there are required items from each of the two prior approvals that remain undone.

- 1) The as-built grading for the first permit were never submitted to the Village.
- 2) When the second approval was granted, the Village created a condition that the unsubmitted required as-built plans could simply be added to the required as built plans for the improvements of the second approval. To date we still have not received them.
- 3) The second permit still has the following inspection open:
 - a. final grading
 - b. landscaping
 - c. storm sewer piping (piping was installed and backfilled without any inspections) I think the second permit from August of 2016 should be completed first.
- 4) These items should be corrected/completed prior to new work commencing.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Local Commercial” for this property.
- 2) In the 2013 CEDS this property falls in the “Northern Business District”.
- 3) The property in question is zoned C-4, all development in this District is required to be a Planned Unit Development (PUD).
- 4) The Zoning ordinance allows for “I – 2” type uses in the C – 4 District as Conditional Uses which allows the previously granted this the Outdoor Storage on-site.
- 5) The amendment to the PUD is based on the addition of a parking lot on the north side of the currently paved area.
- 6) No modifications are proposed for the existing building and storage area on site.
- 7) The applicant is proposing a detention facility on the western frontage to accommodate the impervious area generated by the proposed parking.
- 8) The proposed plans include a landscaped area to improve the aesthetics of the proposed parking lot.
- 9) Additional landscape on the corner will assist in creating the business park aesthetic envisioned in the Comprehensive Plan.
- 10) Conditions from previous approvals should be met prior to commencing additional / new work.

APPROVAL CRITERIA FOR CONDITIONAL USES:

The Community Development Commission shall not recommend approval of the Conditional Use Permit without determining that the request meets the following approval criteria and making certain findings of fact. The Applicant has provided the following Findings of Fact:

- 1. Traffic:** The proposed use will not create any adverse impact of types or volumes of traffic flow not otherwise typical of permitted uses in the zoning district has been minimized.

Applicant’s Response: The proposed use will not create any adverse impact on traffic or parking. This property has 26 available parking spaces on the property.

- 2. Environmental Nuisance:** The proposed use will not have negative effects of noise, glare, odor, dust, waste disposal, blockage of light or air or other adverse environmental effects of a type or degree not characteristic of the historic use of the property or permitted uses in the district.

Applicant's Response: There will be no environmental nuisance as a result of the laundromat or dry cleaner. I expect to use approximate 900,000 gallons of water per year, which will be similar to the annual water usage in my laundromat in Bellwood. There will not be any adverse effect on noise, glare, odor, dust or waste disposal as a result of the approval of the Condition Use, as all services are contained indoors and the dry cleaning process will be conducted by the third party off the site.

3. **Neighborhood Character:** The proposed use will fit harmoniously with the existing character of existing permitted uses in its environs. Any adverse effects on environmental quality, property values or neighborhood character beyond those normally associated with permitted uses in the district have been minimized.

Applicant's Response: The proposed laundromat and dry cleaner will fit harmoniously with the existing business located at Irving Park Rd Commercial Corridor. The new business will not compete with the other business, but will draw additional people to the other business. A typical customer may do some shopping or eating at an existing business while doing their laundry.

4. **Use of Public Services and Facilities:** The proposed use will not require existing community facilities or services to a degree disproportionate to that normally expected of permitted uses in the district, nor generate disproportionate demand for new services or facilities in such a way as to place undue burdens upon existing development in the area.

Applicant's Response: The proposed use will not put a burden or disproportionate demand on public services beyond what is normally provided for in a C-2 Commercial District. Even the water usage may be comparable with the previous property usage, which was a large restaurant. The washers currently in use are very efficient regarding the water waste. Currently, I have 60lb, 40lb and 30lb washers in my laundromat at 1704 St. Charles Rd in Bellwood and my average water bill shows usage of 68,000 gallons.

5. **Public Necessity:** The proposed use at the particular location requested is necessary to provide a service or a facility, which is in the interest of public convenience, and will contribute to the general welfare of the neighborhood or community.

Applicant's Response: The proposed laundromat and dry cleaning services will be a great addition to the Village of Bensenville. This new, state of the art facility will be able to meet the need of the public for the proposed services, especially the community of the surrounding apartment buildings. The customer friendly additions like multiple large, flat screen TVs and vending machines will complete the high quality service provided by my business to the public.

6. **Other Factors:** The use is in harmony with any other elements of compatibility pertinent in the judgment of the commission to the conditional use in its proposed location.

Applicant's Response: The proposed business will be filing a vacancy, improve the building and increase the safety in this area. The building, which I intend to purchase, was foreclosed and boarded years ago. I want to bring it back to the Village of Bensenville as a nicely restored property and a great and much needed service to the

community. My business will produce a good volume of people from not only Bensenville but also surrounding towns.

	Meets Criteria	
Conditional Use Approval Criteria	Yes	No
1. Traffic	X	
2. Environmental Nuisance	X	
3. Neighborhood Character	X	
4. Public Services and Facilities	X	
5. Public Necessity	X	
6. Other Factors	X	

RECOMMENDATIONS:

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Planned Unit Development Amendment and Conditional Use Permit Amendment for Global CFS Inc., with the following conditions:

- 1) The Conditional Use Permit for Outdoor Storage be granted solely to Global CFS/PC Properties, LLC and shall be transferred only after a review by the Community Development Commission (CDC) and approval of the Village Board. In the event of change in tenancy of this property, the proprietors shall appear before a public meeting of the CDC. The CDC shall review the request and in its sole discretion, shall either; recommend that the Village Board approve of the transfer of the lease and / or ownership to the new proprietor without amendment to the Conditional Use Permit, or if the CDC deems that the new proprietor contemplates a change in use which is inconsistent with the Conditional Use Permit, the new proprietor shall be required to petition for a new public hearing before the CDC for a new Conditional Use Permit.
- 2) The property be developed in substantial compliance with the plans submitted Petrungaro & Associates, Inc. dated 03.09.18.
- 3) All outstanding inspections for previous work be completed prior to permits being issued for the proposed updates.
- 4) A landscape plan shall be submitted for the entire site for staff review and approval prior to the Committee meeting.

Respectfully Submitted,
Department of Community
& Economic Development