

# **COMMUNITY DEVELOPMENT COMMISSION**

**Village of Bensenville**

**VILLAGE HALL**

**August 1, 2017 6:30 PM**

I. Call Meeting to Order

II. Roll Call and Quorum

III. Pledge of Allegiance

IV. Public Comment

V. Approval of Minutes

July 17, 2017 Community Development Commission Minutes

VI. Action Items:

1. Consideration of Variances for the construction of a 4-car garage for the applicant De Asti's Partners, located at 1410 W Irving Park Road.
2. Consideration of a Variance for the construction of a shed (size) for the applicant Holy Trinity Ukrainian Orthodox Church, located at 1009 South Church Road.
3. Consideration of Rezoning from RM-1 to RS-5 and Preliminary and Final Plat for the applicant Village of Bensenville, located at 514 E Pine Ave.
4. Consideration of Variances for the construction of a front porch for the applicant Pawel Gieraltowski, located at 44 Jacquelyn Drive.

VII. Report from Community and Economic Development

VIII. Adjournment

Any individual with a disability requiring a reasonable accommodation in order to participate in a Community Development Commission Meeting should contact the Village Clerk, Village of Bensenville, 12 S. Center Street, Bensenville, Illinois, 60106 (630-350-3404)

**TYPE:**Minutes**SUBMITTED BY:**Corey Williamsen**DEPARTMENT:**Village Clerk's Office**DATE:**August 1, 2017**DESCRIPTION:**July 17, 2017 Community Development Commission Minutes

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

**REQUEST:****SUMMARY:****RECOMMENDATION:****ATTACHMENTS:**

Description

**DRAFT\_170717\_CDC\_Minutes**

Upload Date

**7/25/2017**

Type

**Cover Memo**

Village of Bensenville  
Board Room  
12 South Center Street  
DuPage and Cook Counties  
Bensenville, IL, 60106

**MINUTES OF THE COMMUNITY DEVELOPMENT COMMISSION**

July 17, 2017

**CALL TO ORDER:** The meeting was called to order by Chairman Rowe at 6:36p.m.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, King, Marcotte, Moruzzi  
Absent: Rodriguez  
A quorum was present.

**STAFF PRESENT:** K. Pozsgay, S. Viger, C. Williamsen,

**JOURNAL OF PROCEEDINGS:**

The minutes of the Community Development Commission Meeting of June 19, 2017 were presented.

**Motion:** Commissioner Moruzzi made a motion to approve the minutes as presented. Commissioner Marcotte seconded the motion.

All were in favor. Motion carried.

**Continued Public Hearing:** CDC Case Number 2017-08  
**Petitioner:** De Asti's Partners  
**Location:** 1410 West Irving Park Road  
**Request:** Variances for construction of a 4-car garage.  
- Height, Municipal Code Section 10 – 14 – 13A  
- Location, Municipal Code Section 10 – 14 – 13B – 1c

**Motion:** Commissioner Marcotte made a motion to re-open CDC Case No. 2017-08. Commissioner King seconded the motion.

**ROLL CALL :** Upon roll call the following Commissioners were present:  
Rowe, Ciula, Czarnecki, King, Marcotte, Moruzzi  
Absent: Rodriguez  
A quorum was present.

Chairman Rowe re-opened the Public Hearing at 6:40 p.m.

**Motion:** Commissioner Marcotte made a motion to continue CDC Case No. 2017-08 until August 1, 2017. Commissioner King seconded the motion.

**ROLL CALL:** Ayes: Rowe, Ciula, Czarnecki, King, Marcotte, Moruzzi

Nays: None

All were in favor. Motion carried.

**Continued**

**Public Hearing:**

**Petitioner:**

**Address:**

**Request:**

CDC Case Number 2017-17

Holy Trinity Ukrainian Orthodox Church

1009 South Church Road

Variance for construction of a shed (size)

- Municipal Code Section 10 – 14 – 12

**Motion:** Commissioner Marcotte made a motion to re-open CDC Case No. 2017-17. Commissioner King seconded the motion.

**ROLL CALL :**

Upon roll call the following Commissioners were present:

Rowe, Ciula, Czarnecki, King, Marcotte, Moruzzi

Absent: Rodriguez

A quorum was present.

Chairman Rowe re-opened the Public Hearing at 6:43 p.m.

**Motion:** Commissioner Marcotte made a motion to continue CDC Case No. 2017-17 until July 17, 2017. Commissioner Moruzzi seconded the motion.

**ROLL CALL:** Ayes: Rowe, Ciula, Czarnecki, King, Marcotte, Moruzzi

Nays: None

All were in favor. Motion carried.

**Report from Community Development**

Mr. Pozsgay reviewed both recent CDC cases along with upcoming cases.

Mr. Pozsgay asked for the Commissioners participation for a Special Meeting on August 29, 2017 for training purposes.



**ADJOURNMENT:**

There being no further business before the Community Development Commission, Commissioner Marcotte made a motion to adjourn the meeting. Commissioner Moruzzi seconded the motion.

All were in favor. Motion carried.

The meeting was adjourned at 6:53 p.m.

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Ronald Rowe, Chairman  
Community Development Commission

**TYPE:**Public Hearing**SUBMITTED BY:**Kurtis R Pozsgay**DEPARTMENT:**CED**DATE:**08.01.17**DESCRIPTION:**

Consideration of Variances for the construction of a 4-car garage for the applicant De Asti's Partners, located at 1410 W Irving Park Road.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☐*Enrich the lives of Residents**Major Business/Corporate Center*☒ *Vibrant Major Corridors***REQUEST:**

Variances for construction of a 4-car garage.

- Height, Municipal Code Section 10 – 14 – 13A
- Location, Municipal Code Section 10 – 14 – 13B – 1c

**SUMMARY:**

The applicant is proposing to construct a 4-car detached garage to the rear of their multi-tenant commercial building. The garage is to the south of the vacated alley, partially built on existing parking area with an additional 8 feet built to the south into a current grassy area next to the railroad. The garage measures 42' x 26'. It encroaches into the required side yard by 6 inches at its west rear corner. The garage is roughly 18' tall, which exceeds the maximum mean height of 12'.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variances for De Asti's Partners with the following conditions:

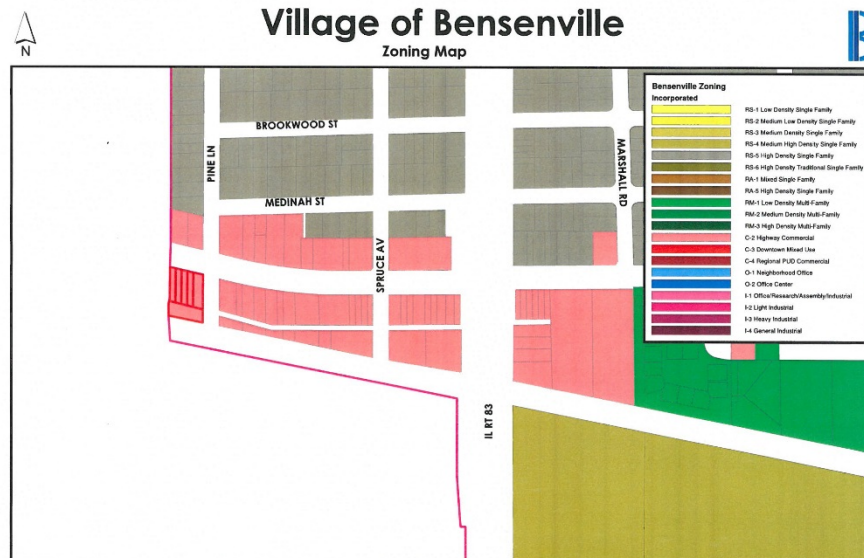
1. The plans and aesthetics of the garage to be in substantial compliance with the plans submitted with this application.
2. Building material should match as closely as possible the main commercial structure.
3. Contractors should maintain clearance of the railroad right of way during construction.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>5/31/2017</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>5/31/2017</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>5/31/2017</b>	<b>Executive Summary</b>
<b>Plans</b>	<b>5/31/2017</b>	<b>Backup Material</b>

CDC#2017 - 07

1410 West Irving Park Road  
Asti Deli  
Variances; Garage



**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Monday, May 15, 2017 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2017 – 08 to consider a request for:

Variances for construction of a 4-car garage:

- Height, Municipal Code Section 10 – 14 – 13A
- Location, Municipal Code Section 10 – 14 – 13B – 1c

1410 West Irving Park Road is in a C – 2 Highway Commercial District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 1, 2, 3, 4, 5 AND 13 IN BLOCK 48 IN THE FIRST ADDITION TO PERCY WILSON'S IRVING PARK MANOR, BEING A SUBDIVISION IN SECTIONS 10, 11, 14 AND 15, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED MAY 7, 1926 AS DOCUMENT 213044, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 1410 West Irving Park Road, Bensenville, IL 60106.

De Asti's Partners, 123 North Central Street, Wood Dale, IL 60191 is the owner and applicant for the subject property for this CDC Case No. 2017 - 08 and Public Hearing.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through May 15, 2017 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
April 27, 2017**



### STAFF REPORT

**HEARING DATE:** May 15, 2017  
**CASE #:** 2017 – 08  
**PROPERTY:** 1410 W. Irving Park Road  
**PROPERTY OWNER:** De Asti's Partners  
**APPLICANT:** Same  
**SITE SIZE:** .64 acres  
**BUILDING SIZE:** 1,092 SF  
**PIN NUMBERS:** 03-15-215-015, 016, 017, 018, 019, and 020  
**ZONING:** C – 2 Highway Commercial  
**REQUEST:** Variances for construction of a 4-car garage.  
- Height, Municipal Code Section 10 – 14 – 13A  
- Location, Municipal Code Section 10 – 14 – 13B – 1c

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday April 27, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on Tuesday April 25, 2017.
3. On Friday April 28, 2017, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The applicant is proposing to construct a 4-car detached garage to the rear of their multi-tenant commercial building. The garage is to the south of the vacated alley, partially built on existing parking area with an additional 8 feet built to the south into a current grassy area next to the railroad. The garage measures 42' x 26'. It encroaches into the required side yard by 6 inches at its west rear corner. The garage is roughly 18' tall, which exceeds the maximum mean height of 12'.

### **SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>North</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>South</b>	RR/R - G	Railroad/Residential	Moderate Density Single Family	City of Wood Dale
<b>East</b>	C – 2	Commercial	Local Commercial	Village of Bensenville
<b>West</b>	C – 3/I - 1	Commercial/Industrial	General Business	City of Wood Dale

**DEPARTMENT COMMENTS:**

***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input checked="" type="checkbox"/>	Vibrant Major Corridors

Finance:

No issues from finance.

Police:

No police issues.

Engineering and Public Works:

- 1) The garage is not encroaching into the Railroad ROW.
- 2) They do not need any stormwater permits. All the drainage goes to southeast and appears to be maintained with the proposed construction.
- 3) No other comments as long as they stay out of the Railroad ROW during construction.

Community & Economic Development:

Economic Development:

No comments

Code Compliance:

No comments.

Building:

No comments that cannot be addressed at permitting.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Local Commercial” for this property.
- 2) The garage is detached, and does not affect the multi-tenant commercial development.
- 3) The garage is being built south of the alley/drive.
- 4) Approximately 336 SF of pervious area will become impervious.
- 5) The garage encroaches into the required side yard by 6 inches at the west rear corner.
- 6) The garage is 18 feet tall as measured to the mean of the roof as defined by Code (12 foot maximum allowed) to allow for parking of commercial trucks.
- 7) Some concerns over loss of parking for employees. It is unlikely any customers utilize the space, but employees may be forced to park in customer spots.
- 8) Split-face block should be similar material to main commercial building.

**APPROVAL CRITERIA FOR VARIANCES:**

The Community Development Commission shall not recommend nor shall the Village Board grant a variance unless it shall make findings based upon the evidence presented to it in each specific case that:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.
2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.
3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.
4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.
5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.
6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.
7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.
8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.
9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

***Applicant's Response to Approval Criteria:***

Pursuant to Bensenville Municipal Code Section 10-3-3.B Approval Criteria for Variances, we at Asti Deli, 1410 Irving Park Road, Bensenville, IL 60106 are applying for a zoning variance for our property in order for us to construct a 3 car garage behind our existing facility. We are seeking a 4-foot height variance (to go up to 12 feet) from the existing norm of 8 feet. This additional height will allow for the secure garaging of our company delivery vans and equipment. This request does not alter in any way the character of the surrounding properties nor can it be readily evidenced from the main (Irving Park Road) street.

As a long-term Bensenville restaurant establishment, we are hoping for your favorable consideration of this request and stand ready to answer any additional questions you may have concerning this matter.

<b>Variances Approval Criteria</b>	<b>Meets Criteria</b>	
	<i>Yes</i>	<i>No</i>
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variance Needed	X	

**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variances for De Asti's Partners with the following conditions:

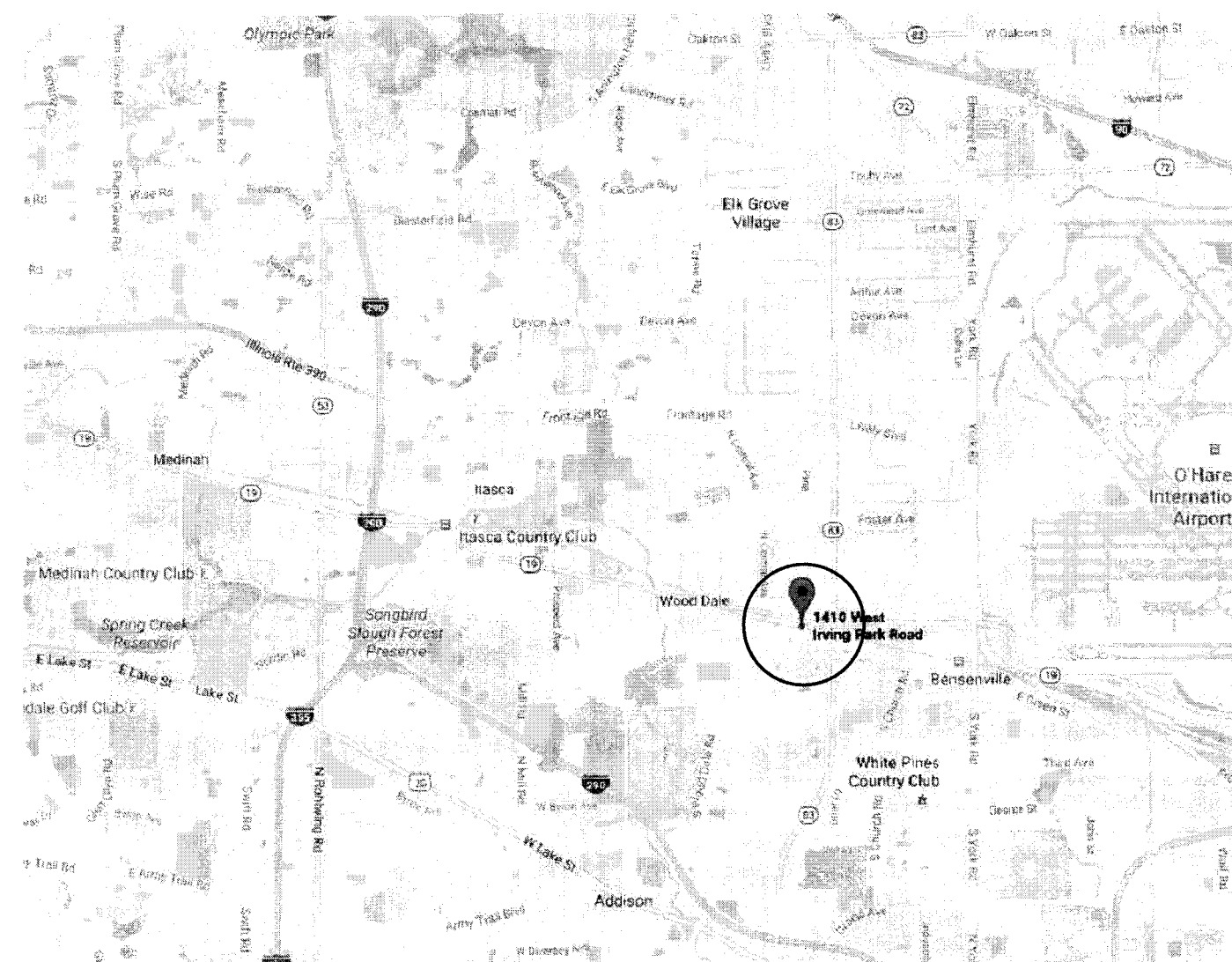
1. The plans and aesthetics of the garage to be in substantial compliance with the plans submitted with this application.
2. Building material should match as closely as possible the main commercial structure.
3. Contractors should maintain clearance of the railroad right of way during construction.

Respectfully Submitted,  
Department of Community  
& Economic Development

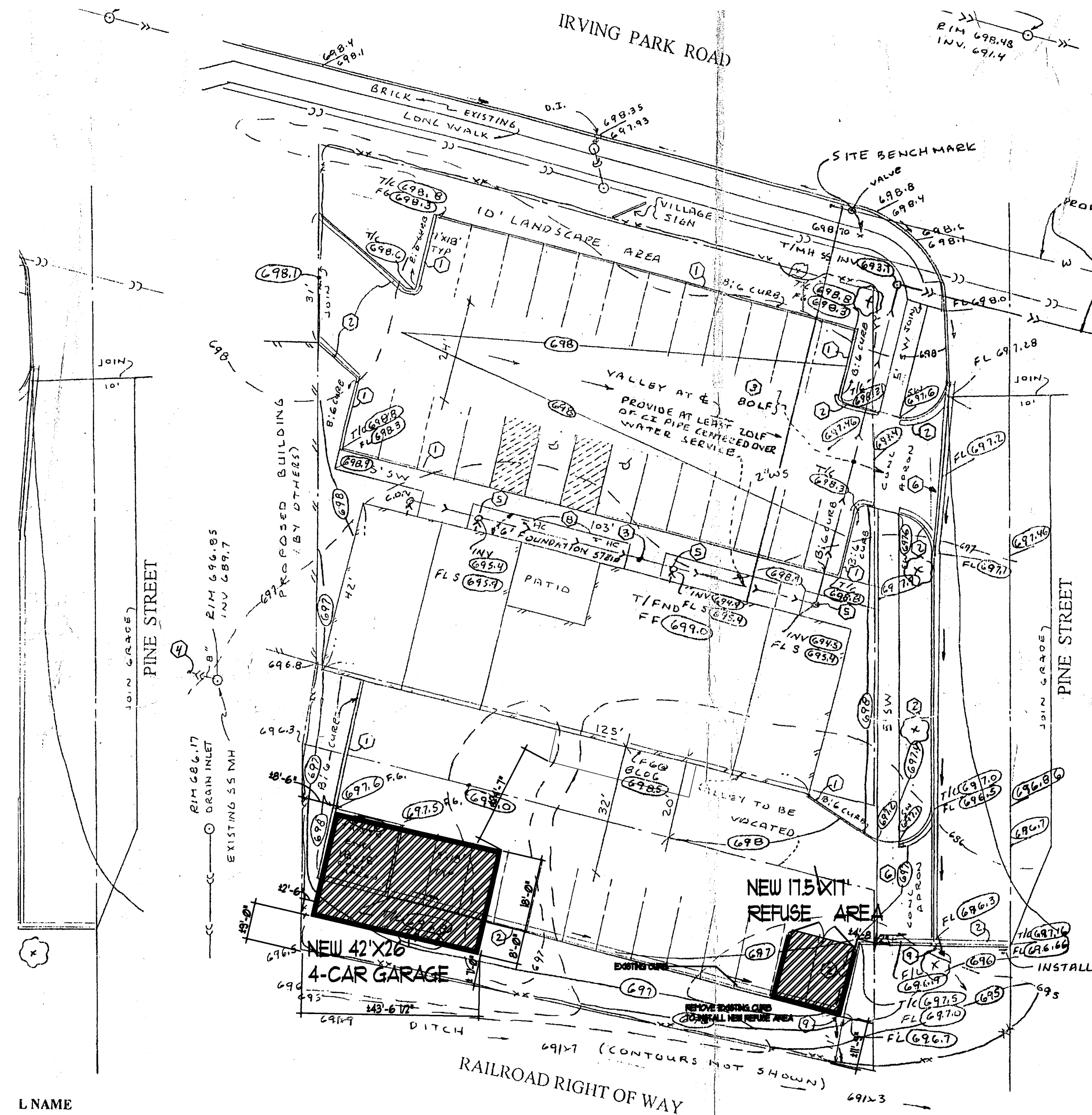


# NEW 4-CARS GARAGE FOR "ASTI-DELI"

1410 W. IRVING PARK RD,  
BENSENVILLE IL 60106



LOCATION MAP  
SCALE: N.T.S.



SITE PLAN  
SCALE: 1" = 30'-0"

#### City of Bensenville Adopted Codes & Zoning Ordinance:

- 2015 International Residential Code with local amendments
- 2015 International Building Code with local amendments
- 2015 International Fire Code with local amendments
- 2015 International Mechanical Code with local amendments
- 2015 International Fuel Gas Code with local amendments
- 2015 International Swimming Pool and Spa Code with local amendments
- 2015 International Property Maintenance Code with local amendments
- 2014 National Electric Code with local amendments
- 2014 Illinois Plumbing Code
- 2015 Illinois Energy Conservation Code

#### LEGEND SHEET

- T-1 COVER SHEET/SITE PLAN
- T-2 SPECIFICATIONS
- A-1 GARAGE PLANS & ELEVATIONS
- A-2 GARAGE SECTION & REFUSE AREA PLANS & DETAILS

NOTE:  
SURVEYOR AND OR CIVIL ENGINEER TO VERIFY  
ALL REQUIRED SET BACK BY GOVERNING CODES  
AND ORDINANCE PRIOR OF STACKING THE NEW  
CONSTRUCTION, ANTONIO FANIZZA ASSOC. DOES  
NOT GUARANTEE SET BACKS

#### CONSTRUCTION TYPE USE V-A

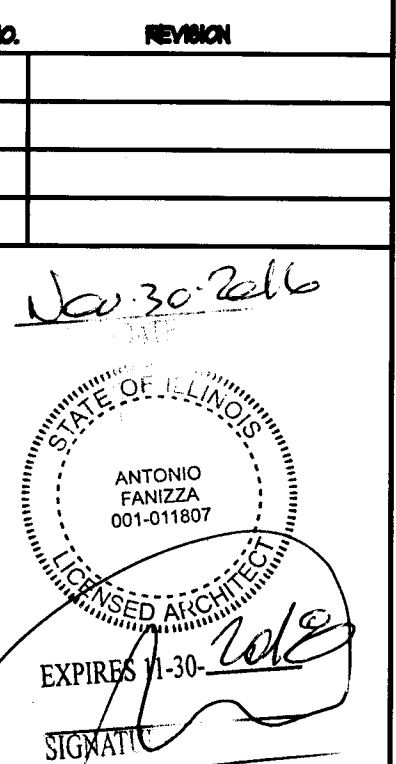
- | ZONING                     | C-2              |
|----------------------------|------------------|
| 1. LOT SIZE                | EXST'G TO REMAIN |
| 2. GARAGE FLOOR AREA       | 1092 sqft        |
| 3. REFUSE AREA             | 2915 sqft        |
| 4. DRIVEWAYS & SIDEWALKS : | EXST'G TO REMAIN |
| 5. FRONT YARD ACTUAL       | NO CHANGE        |
| 6. NEW GARAGE SIDE YARD    | 2'-6"            |
| 7. NEW GARAGE REAR YARD    | 1'-0"            |

ANTONIO FANIZZA ASSOC. LTD

ARCHITECTS  
2363 LECNER LANE  
DES PLAINES, ILLINOIS 60016  
TEL: (847) 823-5664 FAX: (847) 823-5664  
Email: antonio.fanizza@comcast.net

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FURTHER ADVISED PRIOR OF CHANGES  
USE, ALL THE USER SHALL BE RESPONSIBLE  
TO DO SO, THE USER WILL BE  
RESPONSIBLE FOR ALL COURT COST AND  
LEGAL FEES.

I HEREBY CERTIFY THAT THIS PLAN AND  
SPECIFICATION WAS PREPARED BY ME  
OR UNDER MY DIRECT SUPERVISION AND  
THAT I AM A DULY LICENSED ARCHITECT,  
UNDER THE LAWS OF THE STATE OF ILLINOIS  
AND THE CITY OF BENSENVILLE CODES AND  
ORDINANCES. THEY ARE IN COMPLIANCE  
WITH ALL APPLICABLE CODES INCLUDING  
THE ENVIRONMENTAL, BUILDING,  
ACT (AS-ILCS) AND THE ILLINOIS  
ACCESSIBILITY CODE (ILL. ADM. CODE  
CODE 0001) AS ISSUED BY MY HAND  
AND SEAL.



DRAWING NAME:  
COVER SHEET/SITE PLAN

PROJECT NAME:  
NEW 4-CARS GARAGE FOR "ASTI-DELI"  
1410 W. IRVING PARK RD,  
BENSENVILLE IL 60106

released  
to const.  
Job no. 1663  
scale AS SHOWN  
date 11/30/2016  
drawn by AB  
checked by AF

sheet

T-1





GENERAL NOTES:

1. CONSTRUCTION FENCING: PROVIDE AND MAINTAIN A 3'-0" HIGH CONSTRUCTION FENCE DURING NON-WORKING HOURS THAT WILL ENCLOSE ALL OPEN EXCAVATIONS UNTIL FOUNDATION IS BACK FILLED AND FIRST FLOOR DECK IS COMPLETED. PROVIDE AND MAINTAIN A 3'-0" HIGH FENCE ALONG THE FULL LENGTH OR INTERIOR SIDE YARDS UNTIL EXTERIOR CONSTRUCTION IS COMPLETED.
2. ALL DUMPPERS, STRUCTURES, OR CONTAINERS SHALL BE COVERED AT ALL TIMES WHEN NO WORK IS BEING PERFORMED ON THE PROPERTY THAT IS THE SUBJECT OR THE PERMIT.
3. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES AND ORDINANCES.
4. ALL PHASES OF CONSTRUCTION TO COMPLY WITH APPLICABLE BUILDING CODES AND ORDINANCES.
5. NO WORK SHALL BE CONSIDERED ACCEPTED UNTIL A FINAL PAYMENT IS MADE AND A WRITTEN RELEASE IS ISSUED TO THE CONTRACTOR BY THE OWNER AND/OR THE ARCHITECT TO ITS AFFECT.
6. THE SUB-CONTRACTOR IS RESPONSIBLE FOR ITS PERFORMANCE UP TO ONE (1) YEAR FROM THE TIME OF ITS COMPLETION, AND TO CORRECT ANY DEFECTS OF THE SUB-CONTRACTOR'S PERFORMANCE.
7. WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CANNOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR ON THE JOB MUST CHECK ALL DIMENSIONS AND DETAILS AND MUST BE RESPONSIBLE FOR SAME.
8. THE AIA GENERAL CONDITIONS 1989 EDITION DOCUMENT A 201 SHALL BE CONSIDERED AS PART OF THIS CONTRACT. A COPY CAN BE PROVIDED BY THE ARCHITECT IF REQUIRED. THE ARTICLE #13 ON ARBITRATION SHALL BE DELETED.
9. DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGE SCALE DETAILS GOVERN OVER SMALL SCALE.
10. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS. AT THE JOB SITE AND SHALL NOTIFY AFA, LTD. OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
11. PRIOR TO SUBMITTING BID, CONTRACTOR SHALL VISIT THE SITE TO EXAMINE THE EXISTING CONDITIONS. ANY DISCREPANCIES ARE TO BE POINTED OUT PRIOR TO SUBMITTING BID OR SHALL BE NOTED IN THE BID FORMS. NO PLEA OF IGNORANCE OF EXISTING CONDITIONS SHALL JUSTIFY REQUESTS FOR ADDITIONAL FUNDS.
12. PLANS AND SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY. ANY WORK EXHIBITED IN EITHER OF THEM, WHETHER IN THE OTHER OR NOT, IS TO BE EXECUTED ACCORDING TO THE TRUE INTENT AND MEANING THEREOF THE SAME AS IF SET FORTH IN ALL. PROVIDED, HOWEVER, THAT SHOULD ANY LAW, ORDINANCE OR REGULATION OF STATE, COUNTY, OR CITY IN WHICH THE WORK IS TO BE DONE BE IN VIOLATION OF THE REQUIREMENTS OF SUCH LAWS, ORDINANCES OR REGULATIONS SHALL PREVAIL AND SHALL BE COMPLIED WITH BY CONTRACTOR AS A PART OF HIS WORK CALLED FOR AND NO EXTRA COMPENSATION SHALL BE ALLOWED THEREFOR.
13. THIS SECTION OF THE GENERAL NOTES SHALL BE CONSIDERED A PART OF THE GENERAL SPECIFICATIONS AND DRAWINGS.
14. ALL PERMITS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
15. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES OF THE CITY OF BENSenville.
16. MATERIALS AS SPECIFIED ON DRAWINGS SHALL BE USED. SUBSTITUTIONS OF MATERIALS WILL NOT BE ALLOWED WITHOUT THE WRITTEN CONSENT OF THE OWNER OR ARCHITECT.
17. EACH CONTRACTOR IS TO CLEAN UP DEBRIS INSIDE AND OUTSIDE THE BUILDING SITE WHICH HAS BEEN CAUSED BY HIS WORK.
18. EMERGENCY EGRESS OPENING: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEAN OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
- ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
- EXCEPTION: GRADE FLOOR WINDOW MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET.
- EXCAVATION AND CONCRETE:**

1. THE EXCAVATION CONTRACTOR SHALL PROVIDE PUMPING WHERE NECESSARY FOR COMPLETION OF HIS WORK UPON COMPLETION OF EXCAVATION. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR PUMPING NECESSARY TO THE WORK.
2. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GENERAL CONTRACTOR FOR THE PLACING OF ALL SLEEVES IN THE CONCRETE WALLS FOR TELEPHONES, PLUMBING, ELECTRICAL, AND MECHANICAL TRADES.
3. THE GENERAL CONTRACTOR SHALL PROVIDE HEATER WHERE REQUIRED TO MAINTAIN PROPER CURE TEMPERATURE OF WORK PROVIDED IN 30 DEGREE OR BELOW WEATHER. USE OF ADDITIVES IS NOT ALLOWED.
4. THE CONCRETE CONTRACTOR SHALL APPLY ONE COAT MEMBRANE DAMPPROOFING AT ALL CRAWL SPACE AND BASEMENT WALLS.
5. SITE EXCAVATING SHALL BE IN ACCORDANCE WITH A LICENSED SOIL ENGINEER AND BE APPROVED BY THE MUNICIPALITY.
6. ALL FOOTING TO BE ON UNDISTURBED SOIL OF 3000 PSF MIN. THE BOTTOM OF ALL FOOTINGS SHALL EXTEND A MINIMUM OF 4'0" BELOW TOP OF FINISHED GRADE OR AS SHOWN ON THE DRAWINGS. ALL FOOTINGS SHALL BE A MINIMUM OF 12" THICK AND THE WIDTH SHALL EXTEND AT LEAST 6" ON EACH SIDE OF FOUNDATION WALL.
7. ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH ACI 318-T, "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE", AND ASTM C80. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. POUR ALL CONCRETE USING WALLS MONOLITHICALLY WITH FOUNDATION WALLS. ALL CONCRETE SHALL BE 6 BAG MIX.
8. USE 1/2" A307 BOLT TO THE COLUMNS WITH MIT BEAMS. ALL STEEL BEAM POCKETS MORTARED FULL. ALL STEEL COLUMNS BEARING ON FOUNDATION WALLS SHALL HAVE A STRUCTURAL STEEL BASE PLATE WELDED TO THE COLUMN AND ANCHOR BOLTED TO THE CONCRETE. ALL COLUMN 4 BEAM, STRUCTURAL STEEL CONNECTIONS SHALL BE SECURELY FASTENED WITH STRUCTURAL BOLTS AND WASHERS, TIGHTENED.
9. PROVIDE A CONTINUOUS GALVANIZED WOOD SILL FOR FRAME CONSTRUCTION. SECURED TO THE TOP OF FOUNDATION WALL WITH WASHERS AND NUTS ON THE ANCHOR BOLTS. USE 1/2" DIA. ANCHOR BOLTS x 1'-0" LONG AT 4'-0" O.C. AND 1'-0" FROM EACH CORNER, BOTH DIRECTIONS-2 BOLTS MIN. EMBED MIN OF 1" INTO CONCRETE.
10. PROVIDE GRANULAR FILL MATERIAL COMPACTED TO A DENSITY OF 90% MINIMUM DENSITY ACCORDING TO ASTM SPECIFICATION D 1557-10 95% RELATIVE DENSITY ACCORDING TO ASTM SPECIFICATION D 2049-69

MASONRY:

1. CONCRETE MASONRY UNITS SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR HOLLOW LOAD BEARING CONCRETE MASONRY UNITS-ASTM C 90 WITH MOISTURE CONTENT NOT EXCEEDING 50% OF TOTAL ABSORPTION.
2. PROVIDE CUT STONE SILLS AT WINDOWS, DOOR AND FIREPLACE CHIMNEY UNLESS OTHERWISE NOTED ON PLANS AT MASONRY AREAS.
3. PROVIDE STEEL LINTELS ABOVE ALL MASONRY OPENINGS AS NOTED BELOW OR AS CALLED FOR ON PLANS.
4. MASON CONTRACTOR SHALL CLEAN ALL EXPOSED MASONRY OF ALL MORTAR DROPPINGS AND OTHER DEBRIS AS SOON AS IS PRACTICAL.
5. BEAM POCKETS SHALL BE MORTARED IN SOLID.
6. PROVIDE 2oz COPPER FLASHING UNDER ALL TOW-LOCK SILLS AND WALL CAPS.
7. PROVIDE COPPER FLASHING AT ROOF /BRICK INTERSECTION, CHIMNEY FLASHING AND ANY EXPOSED INTERSECTION VISIBLE ON BUILDING ELEVATIONS.
8. ESTIMATE VENEER FACE BRICK AT 1300.00 PER M<sup>2</sup> TON FOR STONE, DELIVERED. CUTSTONE SILL SHALL BE STANDARD BUFF OOLITIC LIME- STONE WITH SMOOTH MACHINE FINISH BRICK WORK TO BE LAID UP IN RUNNING BOND, SECURED PROPERLY TO FRAME WALL WITH CORROSION MAX 2.67lbs OF BRICK PER TIE. RESISTANT METAL TIES EVERY 6TH COURSE (NAILING TIES TO SHEATHING WILL NOT BE PERMITTED). BRICK TIES SHALL BE HECKMANN BLDG. ADJUSTABLE VENEER ANCHORS # TIES 915-C # 316. PROVIDE 30" FELT BASE FLASHING WITH WEEDHOLES # 4'-0" O.C. # ALL BRICKS VENEER WALLS. EXTEND FLASHING UP 12" MORTAR TYPE N. CONCRETE BLOCKS TO BE LAID IN RUNNING BOND PATTERN. GROUT SOLID UNDER ALL CONCENTRATED LOADS.
9. MASON CONTRACTOR TO BE RESPONSIBLE FOR ALL PRE-CAUTIONARY STEPS REQUIRED TO PROTECT MASONRY WORK FROM WEATHER CONDITIONS.
10. FIREPLACE CHIMNEYS AND FURNACE FLUES 2'-0" MINIMUM ABOVE ANY ROOF PORTION WITHIN 15'-0" HORIZONTALLY.
11. FIREPLACE HEARTHS 18" IN WIDTH FROM BRICK FACE AND 12" WIDER ON EACH SIDE OF FIREPLACE OPENING.
12. FLASH OVER EXTERIOR DOOR ALL WINDOWS, ETC.
13. TOPS OF ALL CHIMNEY FLUES ~~MUST BE FITTED~~ WITH CHIMNEY CAPS (SPARK ARRESTORS)

NOTE THE TOTAL AGGREGATE SHALL BE EQUAL TO NOT LESS THAN 2 1/2" AND NOT MORE THAN 3 1/4" TIME THE SUM OF THE VOLUMES OF THE CEMENT AND LIME USED.

FOR PROJECT USE TYPE N MORTAR

FOR L.V.L. USE : JOIST BEAM  
CODE EVALUATION  
ICC ES ESR-1387  
G = 118,750  
E = 13 x 10  
EM IN = 965,710  
Fb = 2,600  
Ft = 1555

PROPERTY SPECIFICATION FOR PRE PARED MORTAR			
MORTAR TYPE	MIN COMPRESSIVE STRENGTH PSI # 28	MIN WATER RETENTION	MAX AIR CONTENT %
M DAY	2500	75	12
S	1800	75	12
N	750	75	14
O	350	75	14

FACE BRICK TO MEET ASTM C 216 WITH A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSi

THE MASONRY TO HAVE NET AREA COMPRESSIVE STRENGTH FROM 1000 TO 3000 PSI

DESIGN LOADS:

FLOOR LL = 40 PSF  
DL = 10 PSF  
PART = 10 PSF  
TL = 60 PSF

ROOF LL = 25 PSF  
DL = 10 PSF  
TL = 35 PSF

DECK PORCHES LL = 100 PSF  
DL = 10 PSF  
TL = 110 PSF

ALLOW SOIL BEARING PRESSURE P= 3,000 PSF (TO BE VERIFIED BY A QUALIFIED TESTING AGENCY)

MOISTURE AND THERMAL CONTROL:

1. ALL CONCEALING FLASHING SHALL BE A MINIMUM OF 26 GAUGE STEEL METAL. PROVIDE SHEET METAL BABY TIN VALLEY FLASHING.
2. BASE SILL AND FLASHING TO BE EQUAL TO 6 MIL VISQUEEN POLYETHYLENE FILM OR NERVASTRAL FLASHING OR EQUAL.
3. ALL EXTERIOR PERIMETER CAULKING SHALL BE WATER AND WEATHERTIGHT. ELASTIC CAULKING COMPOUND SHALL BE NON-STANDING POLYSULPHIDE, ACRYLIC, OR BUTYL.
4. INSULATION: (NEW CONSTRUCTION TO CONFORM W/ 2015 IECC)  
a. PROVIDE WALL INSULATION WITH VAPOR BARRIER TO ROOM SIDE. (R-19 WALL INSULATION IN CHICAGO)  
b. PROVIDE INSULATION AT CEILING WITH VAPOR BARRIER TO ROOM SIDE. AT CATHEDRAL CEILING, R-39 INSULATION WITH VAPOR BARRIER AT FLAT CEILING OR AS NOTED ON DRAWINGS. (R-49 INSUL.)
5. PROVIDE ALUMINUM DRIP CAPS OVER ALL DOOR AND WINDOW HEADS AND HORIZONTAL TRIM INCLUDING GARAGE AND PATIO DOORS. USE 4 MIL. PLOYETHELENE FLASHING AT ALL WINDOW AND DOOR JAMBS.
6. ALL WATER PIPING SHALL BE INSULATED IN AREAS WHERE IT IS SUBJECT TO FREEZING SUCH AS OUTSIDE WALLS AND ATTICS ON THE COLD SIDE ONLY. INSULATE PIPING PER IECC R403.42
7. PROVIDE GUTTERS AND DOWNSPOUTS WITH SPLASH BLOCKS.
8. PROVIDE TYVEK BEHIND ALUMINUM SIDING AND 15" BLDG FELT BEHIND BRICK AND STONE VENEERS.
9. ROOF SHINGLES TO BE MIN. 240# MIN. ASPHALT ON 15" FELT WITH 50# FELT ICE DAM. EXTEND MIN 24" BEYOND INSIDE FACE OF EXTERIOR WALLS.

CARPENTRY:

1. USE METAL CONNECTORS FOR CONNECTING JOISTS TO HEADERS. ("TECO" OR APPROVED EQUAL)
2. ALL WALLS TO HAVE 2" SOLID WOOD FIRESTOPPING AND ALL ELECTRICAL AND PLUMBING THROUGH FLOORS ARE TO HAVE SPACE SEALED OFF WITH APPROVED FIBERGLASS OR ROCKWOOL BATT INSULATION. FIRESTOP ALL FURRING PARTITIONS AND STUD WALLS AT BOTH FLOOR AND CEILING OF EACH FLOOR LEVEL AND AT JUNCTURE OF ROOF RAFTERS AND WALL.
3. INSTALL METAL SOFFIT VENTS ON ROOF VENTS AS SHOWN ON BUILDING ELEVATIONS/ WALL SECTIONS.
4. GABLES AND TRUSSES ARE TO BE SHEATHED IN 3/4" SHEATHING BY MANUFACTURER.
5. ALL CLOSETS MARKED LINEN AND PANTRY TO HAVE 5 SHELVES-ENTRY, WARDROBE, AND WALK-IN CLOSETS HAVE ONE HANGER BAR AND ONE SHELF.
6. JAMBS TO ALL CLOSETS AND OPENINGS WITHOUT FREHHING DOORS ARE TO HAVE DRYWALL CORNERS.
7. INSTALL 32"x32" ATTIC ACCESSSES AND FINISHED CEILING PANELS TO ALL ATTICS.
8. PROVIDE 5/8"TH DRYWALL UNDER STAIRWAY IN BASEMENT PER CITY CODE.
9. ALL EXTERIOR FRAMING SHALL BE 2x6 WITH R-19 INSUL PER CITY CODE
10. SILL PLATES ON CONCRETE SHALL BE PRESSURE TREATED AND SET IN SILL SEALER.
11. HEADER SCHEDULE FOR BEARING WALLS UNLESS OTHERWISE NOTED ON PLANS.  
- SPANS LESS THAN 4' 2'-2x6"  
- SPANS 4'-6' 2'-2x8"  
- SPANS 6'-8' 2'-2x10"  
- SPANS 8'-10' 2'-2x12"
- HEADERED JOISTS SPANNING GREATER THAN 6'-0" REQUIRE JOIST HANGERS. WHENEVER JOIST HANGERS ARE USED, THE JOIST HANGER SHALL BE IN PLACE BEFORE THE LUMBER IS SET, TO INSURE THAT OVERNAILING DOES NOT OCCUR.

12. PROVIDE 1/2" PLYWOOD SHEATHING UNLESS OTHERWISE NOTED
13. UNLESS NOTED ALL HEADERS 3'-0" AND GREATER IN LENGTH SHALL BE SUPPORTED BY DOUBLE 2x8s CRIPPLES.
14. ALL AREAS RECEIVING VINYL OR CERAMIC TILE EXCEPT BATHROOMS SHALL HAVE BASE AND SHOE.
15. ALL SOFFITS, CEILING OPENINGS, FLOOR OPENINGS AND STAIRS SHALL BE FIRESTOPPED ACCORDING TO LOCAL CODES.
16. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
17. CAULK ALL EXTERIOR OPENINGS.
18. VENT CHUTES AT SOFFIT VENTS.

23. ALL LUMBER TO BE NEW DOUGLAS FIR SELECT STRUCTURAL F=1800 PSi. E=1800,000 MIN. OR WHITE PINE #2 STRUCTURAL GRADE F=1800 PSi. FLOOR JOISTS, WALL JOISTS, ROOF RAFTERS - E=1800,000 PSi. EXCEPT WHERE OTHERWISE NOTED.
30. ALL FRAMING SHALL BE DIMENSION LUMBER
31. ALL FRAMING 16" O.C. W/ BRIDGING # 8'-0" O.C.
32. ALL ROOF SHEATHING SHALL BE 5/8" SHEATHING PLYWOOD (PARTICLE WOOD NOT PERMITTED).

36. ROOF RAFTERS DESIGNED FOR 30 PSF LL.
37. FLOOR JOISTS DESIGNED FOR 40 PSF LL. STAIRS, LIVE LOAD = 100 P.S.F. ATTIC, LIVE LOAD = 20 P.S.F. WOOD DECK, LIVE LOAD = 60 P.S.F.

38. MIN. BEARING OF A WOOD JOIST ON WOOD IS 1 1/2". MIN. BEARING OF A WOOD JOIST ON CONCRETE IS 3"
- BORED HOLES SHALL NOT BE WITHIN 2" OF THE TOP OR BOTTOM OF JOISTS AND THEIR DIAMETER SHALL NOT EXCEED 1/3 THE DEPTH OF JOIST.

41. VENT ALL ATTIC SPACES WITH VENT AREA EQUAL TO 1/300 OF CEILING AREA.
42. ALL PARTITION DIMENSIONS ON PLAN SHEETS ARE FINISHED DIMENSIONS. FINISHED DIMENSIONS AT CRITICAL AREAS SUCH AS CLOSETS, BATHTUBS, ETC., MUST BE HELD.

DOORS AND WINDOWS:

1. EXTERIOR DOORS ARE TO BE EQUAL TO "FEASE" PREHUNG DOORS WITH STANDARD WOOD FRAME. MANUFACTURER TO PROVIDE ALL HARDWARE INCLUDING LOCKS, WOOD SILL, METAL THRESHOLD AND WEATHERSTRIPPING. MATCH DOOR DESIGN SHOWN ON ELEVATIONS.
2. INTERIOR SOLID CORE DOORS SHALL BE RAISED PANEL OAK.
3. BI-FOLD DOORS SHALL BE RAISED PANEL OAK 6'-8"
4. PROVIDE TINTFERED GLASS IN ALL PATIO DOORS AND ENTRY SIDELIGHTS AND WHERE OTHERWISE REQUIRED BY CODES.
5. DOOR AND WINDOW PERFORMANCE SHALL BE AS SET FORTH BY MUNICIPAL ORDINANCE
6. GARAGE SERVICE DOOR (TO HOUSE) AND FRAME ASSEMBLY SHALL BE "B" LABEL 1 HR RATED AND BE PROVIDED WITH CLOSER, THRESHOLD, AND GASKETS.
7. APPROVED LABELED SAFETY GLAZING UNITS SHALL BE INSTALLED IN THE FOLLOWING APPLICABLE SPECIFIC HAZARDOUS LOCATIONS FOR PURPOSE OF GLAZING.  
a. GLAZING IN INGRESS AND EGRESS DOORS.  
b. GLAZING IN FLEXED AND SLIDING PANELS OF SLIDING TYPE DOORS.  
c. GLAZING IN STORM DOORS.  
d. GLAZING IN SHOWER AND BATHTUB DOORS AND ENCLOSURES.  
e. GLAZING WHOSE NEAREST VERTICAL EDGE IS WITHIN 12" OF A DOOR AND WHOSE BOTTOM EDGE IS BELOW THE TOP OF THE DOOR.  
f. GLAZING IN FIXED PANELS HAVING A GLAZED AREA IN EXCESS OF 9 SQUARE FEET WITH THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISHED FLOOR LEVEL OR WALKING SURFACE WITHIN 36" OF SUCH GLAZING.

FINISHES:


1. INSTALL U.S. GYPSUM OR EQUAL S&W SYSTEM 5/8" TAPERED WALLBOARD WITH METAL CORNER BEADS. MACHINE TAPE ALL JOINTS. WALLBOARD SHALL BE ATTACHED ACCORDING TO MANUFACTURERS INSTRUCTIONS. PATCH ALL NAIL HEADS AND LEAVE SURFACE FREE FROM WAVES, PITS, AND BUCKLES. USE 5/8" FIRECODE WALLBOARD WHERE REQUIRED FOR FIRE RATING AND PROVIDE 1/2" WATER RESISTANT CEMENT BRO AT ALL BATHTUB AND SHOWER RECESSES.
2. PROVIDE 5/8" DRYWALL WHERE ROOF (RAFTERS OR TRUSS) SPACING EXCEEDS 16" O.C.
3. PROVIDE 5/8" O.C. FC. DRYWALL ON ALL GARAGE CEILINGS. (2 LAYERS WHEN LIVING AREA IS ABOVE)
4. DRYWALL SHEATHING BETWEEN GARAGE AND HOUSE SHALL BE INSTALLED TO BOTTOM OF ROOF
5. CERAMIC/STONE TILE FOR WALLS AND BASES SHALL BE GLAZED TILE. TILE APPLICATION SHALL BE BY ORGANIC MASTIC ADHESIVE FOR WALL. GROUT SHALL BE LATEX PORTLAND CEMENT. CAULK AROUND TUBS WITH SUITABLE CAULKING. CONFIRM WITH OWNER PREFERRED SPECIFICATIONS FOR FINISHES.
6. PAINTING:  
a. INTERIOR WALLS TO HAVE TWO COATS FLAT LATEX PAINT.  
b. ALL RISERS AND TREADS AT STAIRS TO BE CARPETED BY OTHER EXCEPT AS NOTED AND ALL STRINGERS ARE TO BE STAINED UNLESS OTHERWISE NOTED.  
c. INTERIOR DOORS, WINDOWS AND TRIM TO BE 50%1-GLOSS OR LATEX ENAMEL, TWO COATS, OR STAINED, SEALED, AND VARNISHED.  
d. ALL EXTERIOR WOOD AND PLYWOOD SHALL BE STAINED OR PAINTED AS PER MANUFACTURERS INSTRUCTIONS.
7. ALL INTERIOR FINISHES SHALL HAVE A MINIMUM OF 'CLASS 1' FLAME SPREAD RATING.
8. ALL INTERIOR TRIM (EXCEPT FOR STAIR WAY ENCLOSURE 'CLASS 1') TO BE MINIMUM OF 'CLASS 3'.

ELECTRICAL:

1. THE ELECTRICAL CONTRACTOR SHALL INCLUDE ALL NECESSARY LABOR, MATERIAL, AND EQUIPMENT FOR THE INSTALLATION OF A COMPLETE AND OPERABLE ELECTRICAL SYSTEM IN EACH UNITS.
2. THE ELECTRICAL CONTRACTOR SHALL INSTALL ALL WORK IN ACCORDANCE WITH ALL APPLICABLE STATE, LOCAL, AND NATIONAL CODES AND ORDINANCES.
3. THE ELECTRICAL CONTRACTOR SHALL PROVIDE COPPER WIRE THROUGHOUT, NO.1 AUG. MINIMUM LOW VOLTAGE SIGNAL SYSTEM SHALL BE MINIMUM 2 CONDUCTOR NO.18 IN CONDUIT WHERE REQUIRED BY LOCAL CODE.
4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE MINIMUM 200 AMPERE 120/240 VOLT 1 PHASE 3 WIRE SERVICE.
5. DISTRIBUTION PANEL TO BE 200 AMPERE MCB WITH 20 POLE SPACES MINIMUM. PROVIDE BREAKERS AS REQUIRED.
6. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ONE SWITCHED FIXTURE AT ALL ATTICS ABOVE THE ACCESS PANEL.
7. THE ELECTRICAL CONTRACTOR SHALL PROVIDE GROUND FAULT PROTECTED GROUNDED OUTLETS AT ALL BATHROOMS, SHOWER ROOMS, EXTERIOR OUTLETS, GARAGES, AND KITCHENS. SEPARATE RESETS SHALL BE PROVIDED AT EACH FLOOR AREA INTERIOR AND EXTERIOR (GARAGE) APPLICATIONS AS WELL AS KITCHENS SHALL BE CIRCUITED SEPARATELY.
8. THE ELECTRICAL CONTRACTOR SHALL PROVIDE DISCONNECTING MEANS AS REQUIRED BY CODE FOR FIXED APPLIANCE INCLUDING FURNACE AND GARAGE DISPOSAL.
9. ALL CLOSET LIGHTS SHALL BE MOUNTED ON THE CEILING ABOVE THE CLOSET DOOR AND BE A MINIMUM OF 18" AWAY FROM ALL SHELVING.
10. BATTERY BACK-UP SMOKE DETECTORS MUST BE 10V, AND WIRED SO THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS IN HOUSE.
11. ALL OUTLETS WITHIN 6'-0" ON ANY SINK, EXTERIOR, BASEMENT OR GARAGE OUTLET TO BE A GROUND FAULT INTERCEPTION TYPE.
12. BEDROOM ELECTRICAL OUTLETS TO BE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTED PER SECTION 210-12
13. ALL CEILING BOXES TO BE FIRE RATED BOXES IN HABITABLE ROOMS AND MINIMUM 1 1/2" DEEP.
14. POWER TO THE SMOKE DETECTORS MUST BE FROM THE BUILDING WIRING WITH BATTERY BACK-UP.
15. FIRESTOP ALL CONCEALED DRAFT OPENINGS WITH 2" NOMINAL LUMBER
16. INSTALL 200 AMP SERVICE WITH CIRCUIT BREAKERS. KITCHEN AND LAUNDRY EACH TO HAVE 2-20 AMP. CIRCUITS MIN. FURNACE TO HAVE SEPARATE 15 AMP. CIRCUIT. SUMP PUMP TO HAVE 20 AMP. CIRCUIT.
17. SWITCHES AND GFCI RECEPTACLES SHALL BE LOCATED AT LEAST 5 FT. MEASURED HORIZONTALLY, FROM THE EDGE OF THE TUB, SHOWER, SPA OR HOT TUB. 2009 NEC 680-41. INSIDE OUTLETS MUST BE EVERY 12'-0" O.C. BEGINNING 6'-0" FROM ENTRY DOOR. ALL HALLWAYS MUST HAVE (MIN) ONE OUTLET AND ONE CEILING LIGHT CONTROLLED BY A WALL SWITCH AT OPPOSITE ENDS (SAME FOR STAIRWAYS).
18. ALL ELECTRICAL CONDUCTORS SHALL BE COPPER (ALUMINUM IS NOT PERMITTED).
19. A SMOKE DETECTOR IS REQUIRED ON EACH LEVEL OF A RESIDENCE INCLUDING THE BASEMENT.
20. PROVIDE A SMOKE DETECTOR AND A CARBON MONOXIDE DETECTOR WITHIN 15 FT. OF ANY BEDROOM.
21. RIGID GALVANIZED CONDUIT MUST BE USED IN, THROUGH OR UNDER ALL INTERIOR CONCRETE SLAB CONSTRUCTION AND THROUGH ALL FOUNDATION WALL PENETRATIONS.
22. EXTERIOR BELOW GROUND CONDUIT MAY BE RIGID GALVANIZED (MIN) 6" DEEP ELECTRICAL GRADE PLASTIC CONDUIT APPROVED FOR DIRECT BURIAL WITH A BARE GROUND CONDUCTOR (MIN) 18" DEEP OR TYPE "UF" CABLE WITH GROUND CONDUCTOR (MIN) 24" DEEP.
23. PROVIDE GROUND FAULT CIRCUIT PROTECTION FOR ALL: GARAGE, BATH-ROOM, AND EXTERIOR ELECTRICAL OUTLET. ALL WIRING INSTALLED PER LOCAL CODES AND ORDINANCES.
24. ALL ELECTRICAL MUST BE IN CONDUIT.
25. ALL OUTLETS, LIGHTS, FANS, ETC. IN BATHROOMS SHALL BE GFI.

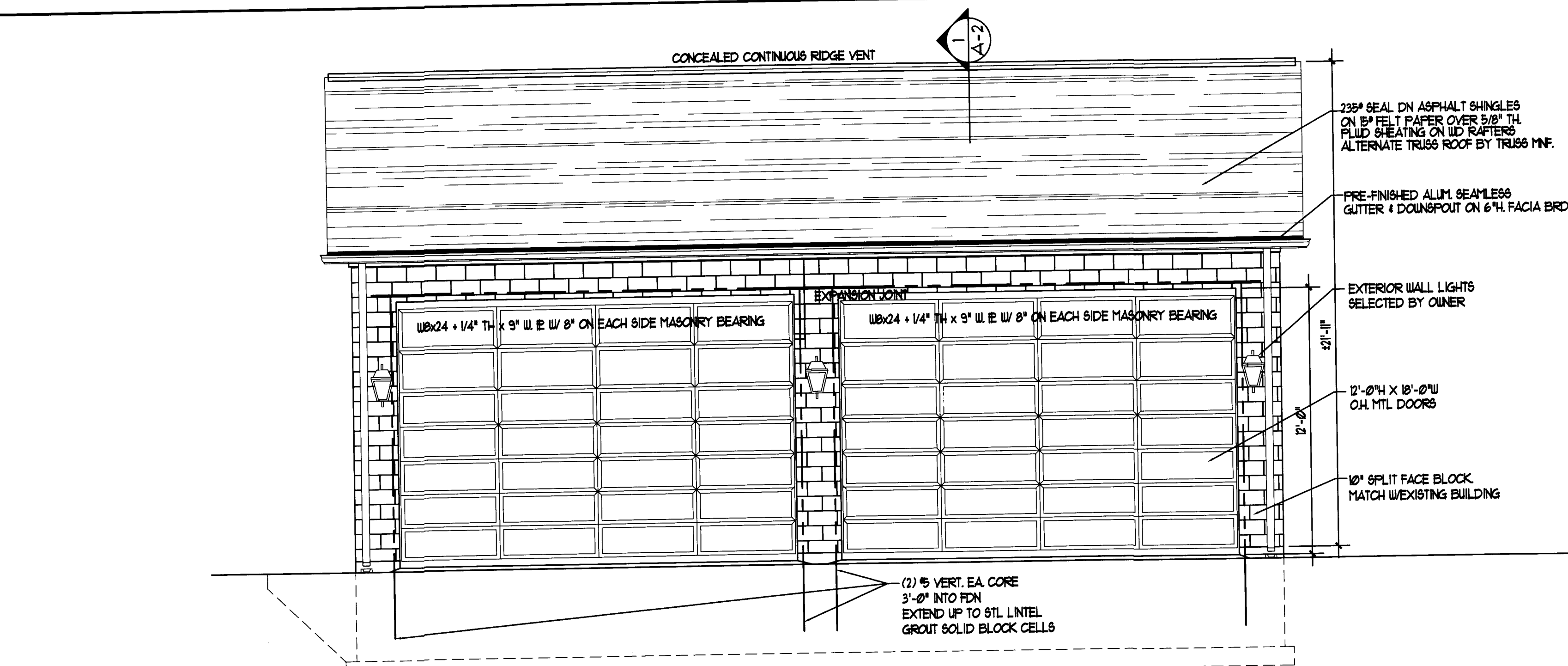
LIABILITY INSURANCE:

1. PROVIDE LIABILITY INSURANCE (HOLD HARMLESS AGREEMENT). THE CONTRACTOR SHALL MAINTAIN CONTRACTUAL LIABILITY INSURANCE TO COVER LIABILITY ASSUMED UNDER THE FOLLOWING AGREEMENT:
2. CONTRACTOR AND ANY SUB-CONTRACTOR SHALL INDEMNIFY AND SAVE HARMLESS ASTI-DELLI OWNER AND ANTONIO FANIZZA ASSOC. LTD., HEREINAFTER CALLED OWNER AND ARCHITECT AND THEIR PARTNERS, AGENTS AND EMPLOYEES AGAINST ANY LOSS, DAMAGE OR EXPENSE FOR WHICH THE OWNER AND ARCHITECT MAY BECOME LIABLE ON ACCOUNT OF BODILY INJURY INCLUDING DEATH, OR PROPERTY DAMAGE SUSTAINED BY ANYONE WHICH MAY ARISE OUT OF OR BE THE RESULT FROM THE OPERATIONS OR THE CONTRACTOR OR OF THOSE EMPLOYED BY: HIS AGENTS OR SERVANTS INCLUDING HIS SUB-CONTRACTOR, IN THE EXECUTION OF ANY WORK INCLUDED UNDER THIS CONTRACT. WHETHER OR NOT IT SHALL BE CLAIMED THAT THE INJURY OR DAMAGE WAS CAUSED THROUGH A NEGLIGENCE ACT OR OMISSION OF THE OWNER AND ARCHITECT, THEIR AGENTS, SERVANTS OR EMPLOYEES, OR BY ANY OTHER PERSONS WHO-SO-EVER, AND CONTRACTOR SHALL, AT HIS OWN EXPENSE, APPEAR, DEFEND, PAY ALL COSTS AND EXPENSE, INCLUDING ATTORNEY'S FEES AND PAY ALL ADJUDGMENTS IN CONNECTION WITH LIABILITY ASSUMED HERE UNDER.
3. THE FOLLOWING INDEMNIFICATION SHALL ALSO INCLUDE ALL LIABILITY OF THE OWNER, ARCHITECT AND OTHER MENTIONED PERSONS ARISING UNDER THE SO CALLED "STRUCTURAL WORK ACT" (CH 48, SEC. 60-69, ILLIN OIS REVISED STATS).
4. EACH AND EVERY CONTRACTOR AND SUB-CONTRACTORS WHEN ACCEPTING CONTRACTUAL OBLIGATIONS FOR THIS PROJECT SHALL UNDERSTAND THAT A PREREQUISITE TO ANY OPERATION AT PROJECT WHETHER FILED WITH OWNER OR NOT, THAT THEY HAVE FILED AGREEMENT TO THE ABOVE ITEM, (HOLD HARMLESS AGREEMENT AND ITS SPECIFIC WORDING)

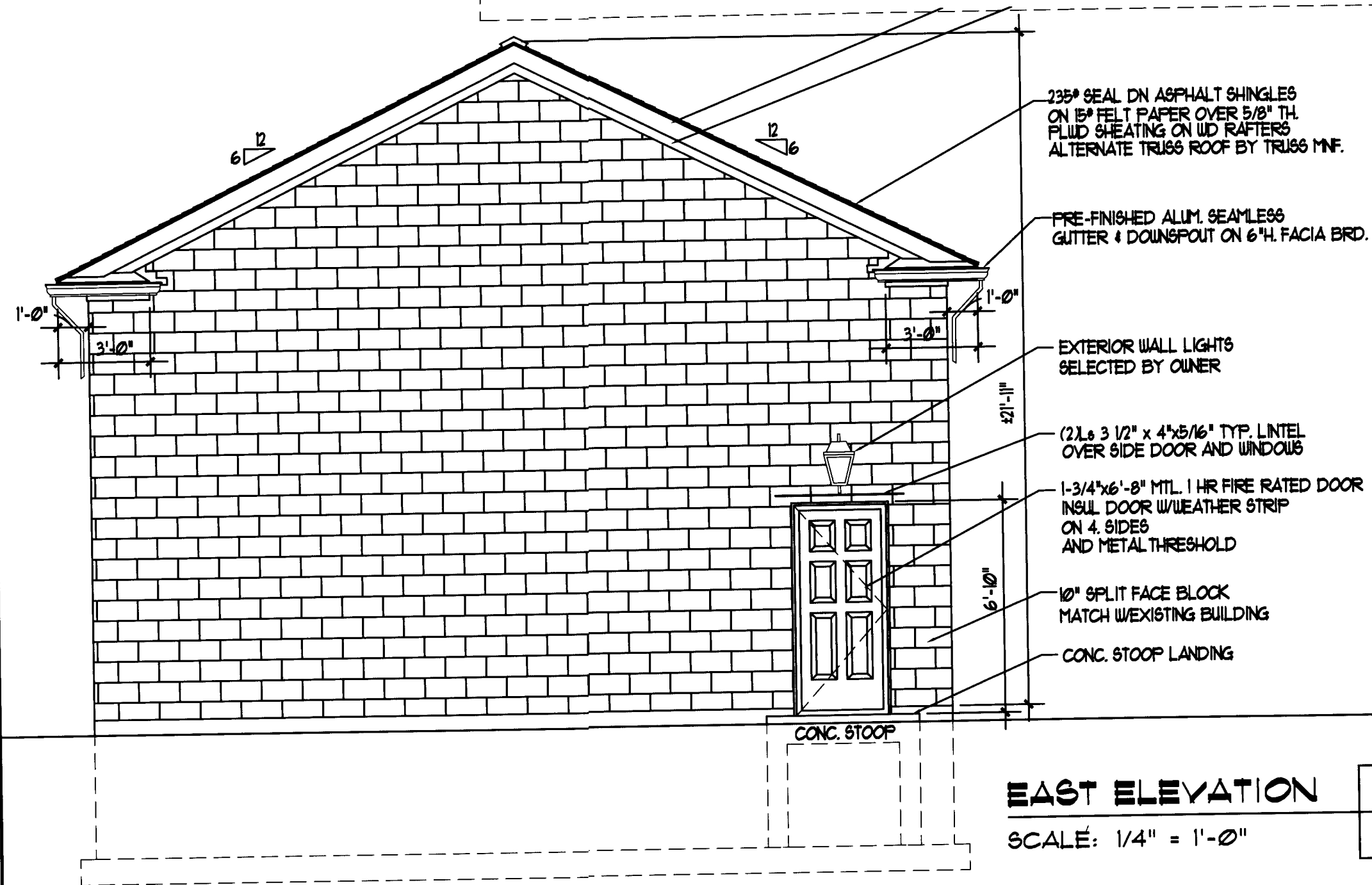
ANTONIO FANIZZA ASSOC. LTD	
ARCHITECTS	2363 LECHNER LANE DEER PLAINS, ILLINOIS 60006 TEL: (847) 823-5664 FAX: (847) 823-1664 Email: antoniofanizza@comcast.net
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NO.	REVISION
	
EXPIRES 11-30-_____	
SIGNATURE _____	
DRAWING NAME: <b>SPECIFICATIONS</b>	PROJECT NAME: <b>NEW 4-CARS GARAGE FOR "ASTI-DELI"</b> 1400 W IRVING PARK RD, BENSenville IL 60006
released to const	
job no. 1663	
scale AS SHOWN	
date 11/30/2016	
drawn by AB	
checked by AF	
sheet	

T-2

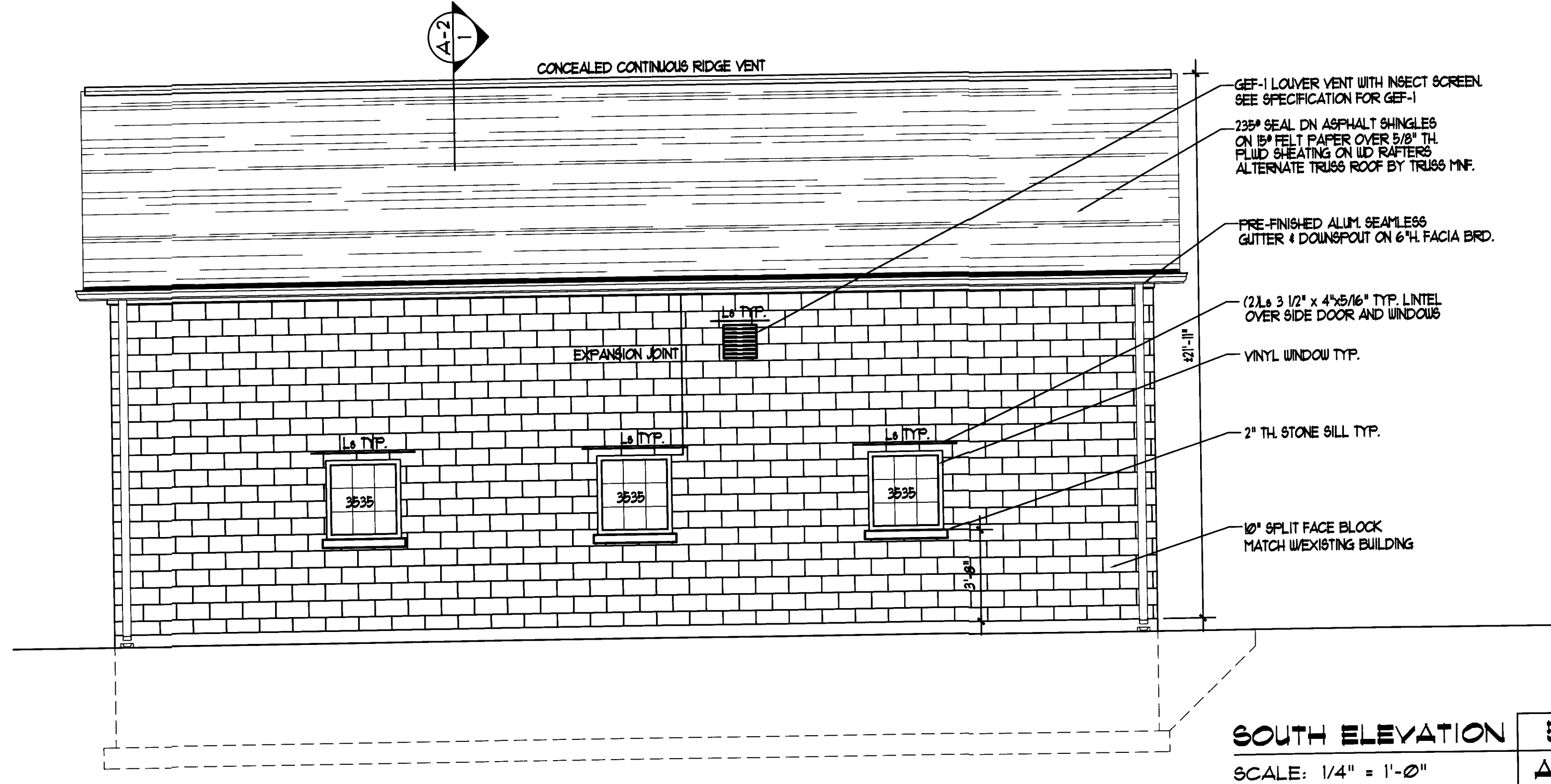




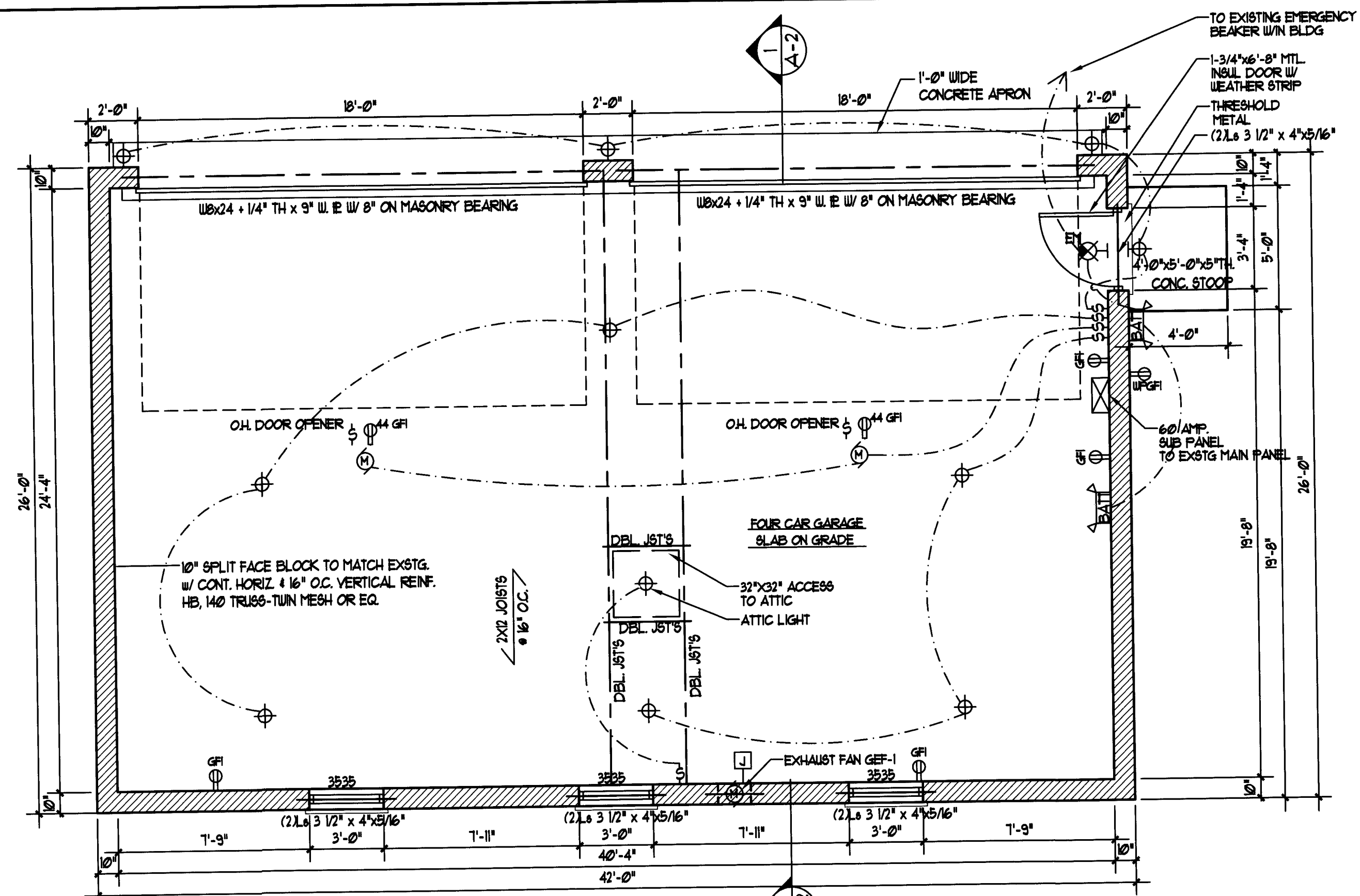
**NORTH ELEVATION** 3  
SCALE: 1/4" = 1'-0" A-1



**EAST ELEVATION** 4  
SCALE: 1/4" = 1'-0" A-1

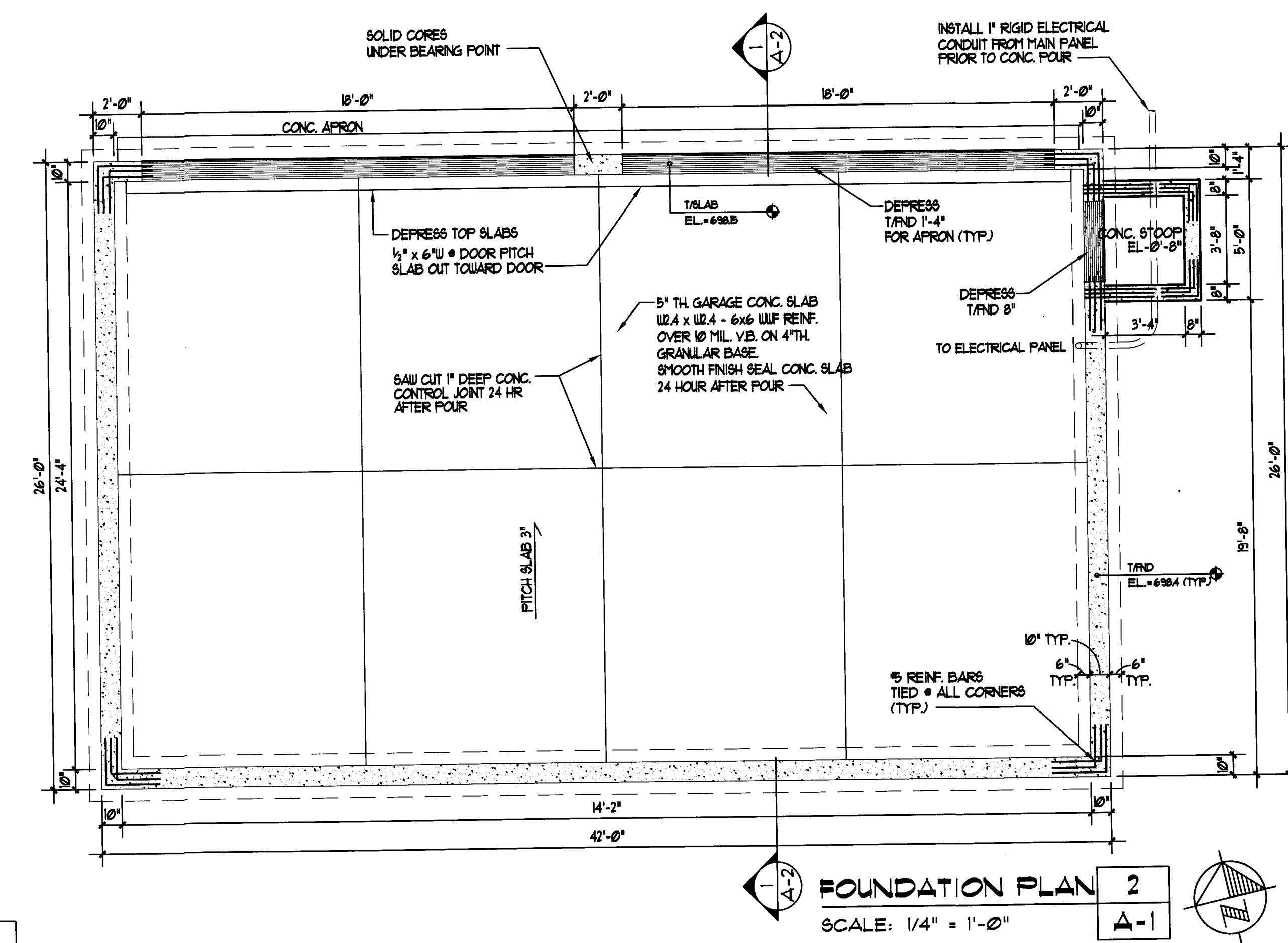


**SOUTH ELEVATION** 5  
SCALE: 1/4" = 1'-0" A-1



- ELECTRICAL LEGEND:**
- ⏻ TOGGLE SWITCH
  - ⊕ WALL MOUNTED LIGHT FIXTURE
  - ⊕ CEILING MOUNTED LIGHT FIXTURE
  - ⏚ GFI GROUND FAULT CIRCUIT INTERRUPTER W/ RESET BUTTON
  - Ⓜ MOTORS (PROVIDE POWER AS REQ'D BY MANUF.)
  - ⚡ EMERGENCY BATTERY LIGHTING UNIT MTD. MINIMUM 1'-0" APF.
  - Ⓧ EMERGENCY DIRECTIONAL EXIT SIGN, SEE SCHEDULE FOR DETAILS. SHADED SIDE DENOTES FACE OF WORDING AND/OR ARROW WHEN SHOWN
  - Ⓜ J-BOX

**FLOOR PLAN** 1  
SCALE: 1/4" = 1'-0" A-1



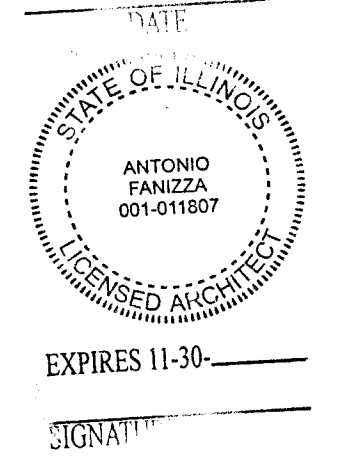
**FOUNDATION PLAN** 2  
SCALE: 1/4" = 1'-0" A-1

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I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF ILLINOIS AND THE CITY OF BENSenville CODES AND ORDINANCES. THEY ARE IN COMPLIANCE WITH ALL APPLICABLE CODES INCLUDING THE ENVIRONMENTAL BARBERS ACT (40-105) AND THE ILLINOIS ACCESSIBILITY CODE (75 ILL. ADM. CODE CODE 400.1) AS SIGNED BY MY HAND AND SEAL.

NO.	REVISION



**DRAWING NAME:**  
GARAGE PLANS & ELEVATIONS  
**PROJECT NAME:**  
NEW 4-CARS GARAGE FOR "ASTI-DELI"  
1410 W. IRVING PARK RD.  
BENSenville, IL 60016

released to const.  
job no. 1663  
scale AS SHOWN  
date 11/30/2016  
drawn by AB  
checked by AF  
sheet

**A-1**



**TYPE:**Public Hearing**SUBMITTED BY:**K. Pozsgay**DEPARTMENT:**CED**DATE:**08.01.17**DESCRIPTION:**

Consideration of a Variance for the construction of a shed (size) for the applicant Holy Trinity Ukrainian Orthodox Church, located at 1009 South Church Road.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☒*Enrich the lives of Residents**Major Business/Corporate Center**Vibrant Major Corridors***REQUEST:**

Variance for construction of a shed (size)

- Municipal Code Section 10 – 14 – 12

**SUMMARY:**

The applicant has constructed a 20'L x 12'W x 8'H shed with a 4-foot roof in the rear of their church property for storage. The shed is in the southeast corner of the property. The shed is a total of 240 square feet, which is above the allowed maximum size of 160 square feet for this size lot.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variances for the Village of Bensenville with the following conditions:

1. The plans and aesthetics of the development to be in substantial compliance with the plans submitted 05.08.17 by the applicant and with this application.
2. Applicant will become current with all outstanding bills due to Village prior to receiving permit.

**ATTACHMENTS:**

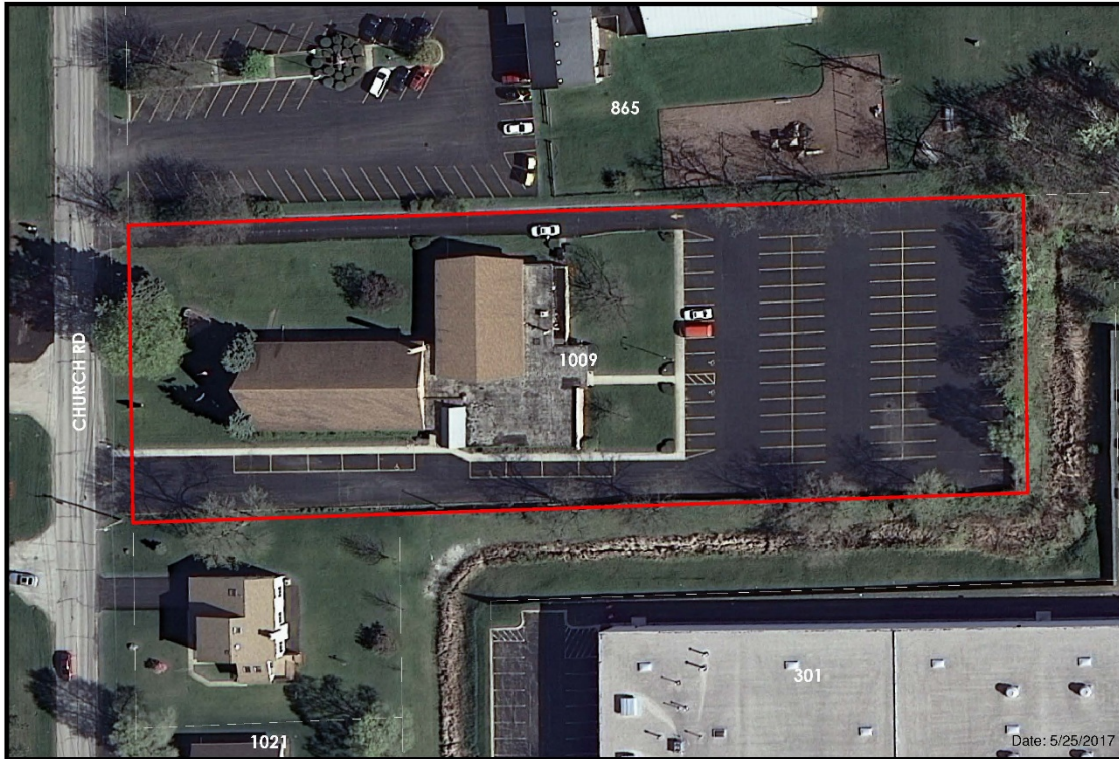
Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>6/13/2017</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>6/13/2017</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>6/13/2017</b>	<b>Executive Summary</b>
<b>Plans</b>	<b>6/13/2017</b>	<b>Backup Material</b>
<b>Built Shed</b>	<b>6/13/2017</b>	<b>Backup Material</b>





# Village of Bensenville

1009 S Church



# Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Monday, June 19, 2017 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2017 – 17 to consider a request for:

Variance for construction of a shed, Municipal Code Section 10 – 14 – 12

1009 South Church Road is in a RS – 4 Medium High Density Single Family District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

THAT PART OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF CHURCH ROAD WITH THE NORTH LINE OF SAID SECTION 26, THENCE NORTH 88 DEGREES 06 MINUTES 20 SECONDS EAST ON SAID NORTH LINE 528.7 FEET; THENCE SOUTH 00 DEGREES 06 MINUTES 20 SECONDS WEST 528.7 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 1009 South Church Road, Bensenville, IL 60106.

Holy Trinity Ukrainian Orthodox Church, 1009 South Church Road, Bensenville, IL 60106 is the owner and applicant for the subject property for this CDC Case No. 2017 - 17 and Public Hearing.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through June 19, 2017 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
June 1, 2017**



### STAFF REPORT

**HEARING DATE:** June 19, 2017  
**CASE #:** 2017 – 17  
**PROPERTY:** 1009 South Church Road  
**PROPERTY OWNER:** Holy Trinity Ukrainian Orthodox Church  
**APPLICANT:** Same  
**SITE SIZE:** 1.87 ACRES  
**BUILDING SIZE:** 12,650 SF  
**PIN NUMBERS:** 03-26-102-001  
**ZONING:** RS – 4 Medium High Density Single Family  
**REQUEST:** Variance for construction of a shed (size)  
- Municipal Code Section 10 – 14 – 12

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday June 1, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on Thursday June 1, 2017.
3. On Friday June 2, 2017, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The applicant has constructed a 20'L x 12'W x 8'H shed with a 4-foot roof in the rear of their church property for storage. The shed is in the southeast corner of the property. The shed is a total of 240 square feet, which is above the allowed maximum size of 160 square feet for this size lot.

### **SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	RS – 4	Church	Institutional	Village of Bensenville
<b>North</b>	RS – 4	Church	Institutional	Village of Bensenville
<b>South</b>	RS – 1/I – 2	Residential	Industrial	Village of Bensenville
<b>East</b>	I – 2	Industrial	Industrial	Village of Bensenville
<b>West</b>	R -4	Residential		DuPage County



**DEPARTMENT COMMENTS:**

***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance: Utilities balance – all is currently past due as of 06.05.17.

Police: No Comments.

Engineering and Public Works:

Engineering: No Comments.

Public Works: No Comments.

Community & Economic Development:

Economic Development: No Comments.

Fire Safety: No Comments.

Building: No Comments.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Institutional” for this property.
- 2) The shed is a total of 240 square feet, which is above the allowed max size of 160 square feet for this size lot.
- 3) The shed will be used for storage for the church.
- 4) The shed will be located in the rear of the lot.
- 5) The applicant started construction without a permit. A “Stop Work Order” was issued on 06.02.17, after they had submitted this application for variance.
- 6) Although there are concerns with allowing these large sheds in the residential districts, this property is institutional in nature and on a large lot. Staff is less concerned with precedent set.

**APPROVAL CRITERIA FOR VARIANCES:**

The Community Development Commission shall not recommend nor shall the Village Board grant a variance unless it shall make findings based upon the evidence presented to it in each specific case that:

1. **Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature

as to make it reasonable and practical to provide a general amendment to this Title to cover them.

**Response: The special circumstances arise from the need to build a storage building (shed) on the Holy Trinity church property's parking lot behind the main building on the southeast corner of the property. The proposed storage building (shed) will be used to store school materials, landscaping and church equipment. The building is designed per construction budget and is measured 12'x20'.**

2. **Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

**Response: Without the storage building (shed) the mentioned above articles (school materials, landscaping and church equipment) will be piled up in the main church building and could be a potential fire hazard. In addition, removing the mentioned articles from the main building will enable church to use the space for children's play area.**

3. **Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

**Response: The special circumstances only relate to physical characteristics, specifically, the size and location of the church property in relation to the proposed development.**

4. **Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

**Response: The requested variance is not the result of any action undertaken by the Petitioner. It is due to the need to free up space in the main church building.**

5. **Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

**Response: The variance is essential to make use of the available property space and to allow for the improvement of the church property with the proposed storage building (shed).**

6. **Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

**Response: The granting of the variance is necessary to allow for the building to be built. Without the variance the Petitioner will be deprived of reasonable necessity and use of the proposed construction of the church storage building (shed).**

7. **Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

**Response: Granting the variance will not alter the character of the surrounding properties. In addition, the storage building (shed) should improve the property value.**

8. **Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

**Response: The granting of the variance is in harmony with the general purpose and intent.**

9. **Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

**Response: The variance approved is the minimum required to provide the Petitioner with the necessary use and purpose for the building storage (shed).**

Variances Approval Criteria	Meets Criteria	
	Yes	No
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variance Needed	X	

**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variances for the Village of Bensenville with the following conditions:

1. The plans and aesthetics of the development to be in substantial compliance with the plans submitted 05.08.17 by the applicant and with this application.
2. Applicant will become current with all outstanding bills due to Village prior to receiving permit.

Respectfully Submitted,  
Department of Community  
& Economic Development

RECEIVED  
MAY 08 2017  
By \_\_\_\_\_

BEARINGS ARE ASSUMED

# PLAT OF SURVEY

## LEGAL DESCRIPTION

THAT PART OF SECTION 26, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED BY BEARING AND DISTANCE AS FOLLOWS: BEGINNING AT THE INTERSECTION OF THE CENTERLINE OF CHURCH ROAD WITH THE NORTH LINE OF SAID SECTION 26, THENCE NORTH 60 DEGREES 06 MINUTES 12.0 SECONDS EAST ON SAID NORTH LINE 528.70 FEET, THENCE SOUTH 88 DEGREES 06 MINUTES 42 SECONDS EAST 168.50 FEET, THENCE SOUTH 88 DEGREES 06 MINUTES 42 SECONDS WEST 168.50 FEET TO THE CENTERLINE OF CHURCH ROAD, THENCE NORTH 60 DEGREES 06 MINUTES 12.0 SECONDS WEST 528.70 FEET TO THE POINT OF BEGINNING, IN DUPAGE COUNTY, ILLINOIS.

Commonly Known as: 1009 S. CHURCH ROAD  
BENSENVILLE, ILLINOIS 60106

STATE OF ILLINOIS )  
COUNTY OF DU PAGE )

I GREGORY L. POWELL, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS A CORRECT REPRESENTATION OF A SURVEY OF THE LAND PURSUANT TO THE "MINIMUM STANDARDS OF PRACTICE," 60 IL ADMIN CODE, SECTION 1270.56(b)(6)(7) PERFORMED AT AND UNDER MY DIRECTION. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 1ST DAY OF FEBRUARY, A.D. 2013. MY LICENSE NO. 031870

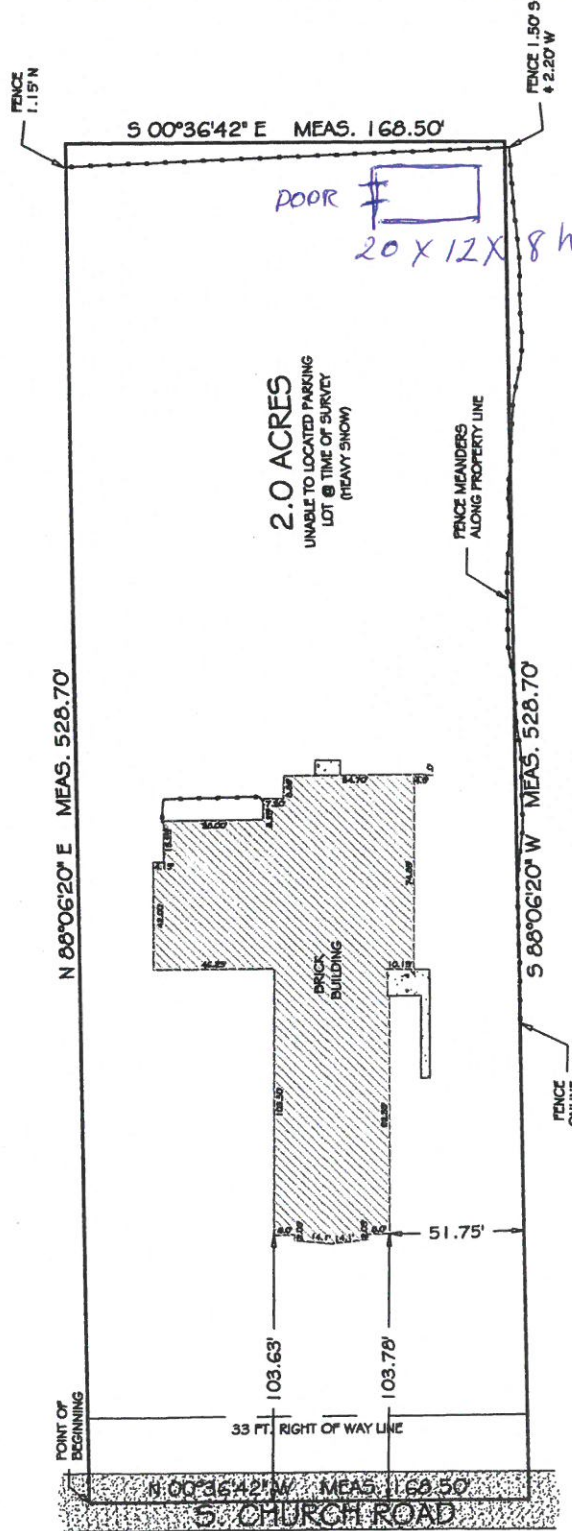


ILLINOIS PROFESSIONAL SURVEYOR NO. 031870

Survey No.	13-426
Drawn by	MDV
Checked	MDV
Approved	GLP
Scale	1" = 50'

HUNT, KAISER, ARANDA  
& SUBACH, LTD.  
1035 S. YORK ROAD  
BENSENVILLE, ILLINOIS 60106

G. Powell  
Professional Land  
Surveyor  
5992 Chatham Court  
Harwood Park, Illinois 60133  
Phone (630) 540-2537  
Fax (630) 540-2536



SURVEYOR'S NOTE:  
IRON PINS AT ALL PROPERTY CORNERS  
UNLESS NOTED OTHERWISE  
DUE TO SNOW COVER AT TIME OF SURVEY  
SOME IMPROVEMENTS MAY NOT BE SHOWN

On asphalt



WINDOW  
TO BE  
ADDED





CDC#2017 – 17 1009 South Church Road  
Holy Trinity Ukrainian Orthodox Church



View looking to the southeast



View looking due east

**TYPE:**Public Hearing**SUBMITTED BY:**Kurtis Pozsgay**DEPARTMENT:**CED**DATE:**08.01.17**DESCRIPTION:**

Consideration of Rezoning from RM-1 to RS-5 and Preliminary and Final Plat for the applicant Village of Bensenville, located at 514 E Pine Ave.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> <i>Financially Sound Village</i>  | <input checked="" type="checkbox"/> <i>Enrich the lives of Residents</i> |
| <i>Quality Customer Oriented Services</i>                             | <i>Major Business/Corporate Center</i>                                   |
| <input checked="" type="checkbox"/> <i>Safe and Beautiful Village</i> | <i>Vibrant Major Corridors</i>   |

**REQUEST:**

Rezoning from RM – 1 Low Density Multi-Family District to RS – 5 High Density Single Family District, Municipal Code Sections 10 – 6A and 10 – 5E; and  
Preliminary & Final Plat of Subdivision into two single-family lots, Municipal Code Section 11 – 3

**SUMMARY:**

The Village is seeking to change the zoning of this Village owned property to match the zoning to the south of the property. The Village would also like to divide the property into two single-family lots in order to better match market conditions, with the hopes of selling the property and returning it to the tax rolls.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Rezoning and Subdivision for the Village of Bensenville.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>7/25/2017</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>7/25/2017</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>7/25/2017</b>	<b>Executive Summary</b>





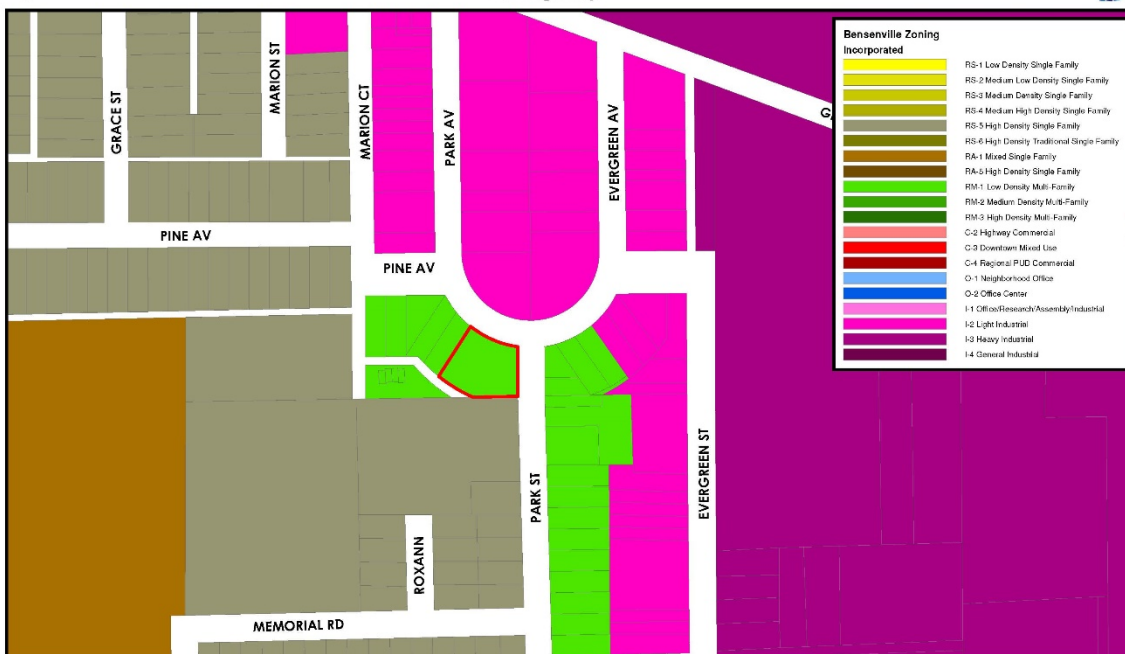
# Village of Bensenville

514 E Pine



# Village of Bensenville

Zoning Map



**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, August 1, 2017 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2017 – 19 to consider a request for:

Rezoning from RM – 1 Low Density Multi-Family District to RS – 5 High Density Single Family District, Municipal Code Sections 10 – 6A and 10 – 5E; and  
Preliminary & Final Plat of Subdivision into two single-family lots, Municipal Code Section 11 – 3

514 East Pine Avenue is in a RM – 1 Low Density Multi-Family District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOTS 6, 7 AND 8 AND THE WEST 17 FEET OF THE 100 FOOT RIGHT OF WAY VACATED PARK STREET, LYING EAST OF AND ADJOINING SAID LOT 8 IN BLOCK 3 OF WILLIAM L. KORTHAUER'S ADDITION TO BENSENVILLE, BEING A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 13, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 3, 1893 AS DOCUMENT 50837 IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 514 East Pine Avenue, Bensenville, IL 60106.

The Village of Bensenville, 12 South Center Street, Bensenville, IL 60106 is the owner and applicant for the subject property for this CDC Case No. 2017 - 19 and Public Hearing.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 1, 2017 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
July 13, 2017**



### STAFF REPORT

**HEARING DATE:** August 1, 2017  
**CASE #:** 2017 – 19  
**PROPERTY:** 514 East Pine Avenue  
**PROPERTY OWNER:** Village of Bensenville  
**APPLICANT:** Same  
**SITE SIZE:** 23,250 SF  
**BUILDING SIZE:** N/A  
**PIN NUMBERS:** 03-13-326-008  
**ZONING:** RM – 1 Low Density Multi-Family District  
**REQUEST:** Rezoning from RM – 1 Low Density Multi-Family District to RS – 5 High Density Single Family District, Municipal Code Sections 10 – 6A and 10 – 5E; and Preliminary & Final Plat of Subdivision into two single-family lots, Municipal Code Section 11 – 3

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday July 13, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on Friday July 14, 2017.
3. On Friday July 14, 2017, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The Village is seeking to change the zoning of this Village owned property to match the zoning to the south of the property. The Village would also like to divide the property into two single-family lots in order to better match market conditions, with the hopes of selling the property and returning it to the tax rolls.

### **SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	RM – 1	Vacant	Single Family Residential	Village of Bensenville
<b>North</b>	I – 2	Industrial	Commercial/Industrial Flex	Village of Bensenville
<b>South</b>	RS – 5	House of Worship	Single Family Residential	Village of Bensenville
<b>East</b>	RM – 1	Single Family Residential	Multi-Family Residential	Village of Bensenville
<b>West</b>	RM – 1	Multi-Family Residential	Multi-Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:**

***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input checked="" type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input checked="" type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

No issues from Finance.

Police:

No Police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:

Economic Development:

- 1) The proposed rezoning and subdivision into two single-family lots will for the sale of the property and its return to the tax roll, providing a net positive impact to the Village.
- 2) Single-family lots will more closely align this parcel with current market demand conditions.

Fire Safety:

No comments.

Building:

No comments at this time.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for this property.
- 2) Property abuts a RS – 5 property to the south, alleviating concerns of spot zoning.
- 3) Property to the east is currently developed as single family.
- 4) There are parking concerns with the current multi-family to the west.

**APPROVAL CRITERIA FOR REZONING:**

The Community Development Commission shall not recommend nor shall the Village Board grant a rezoning unless it shall make findings based upon the evidence presented to it in each specific case that:

**1. Support for Classification**

**a. Compatible with Use or Zoning**

**The uses permitted under the proposed district are compatible with existing uses or existing Zoning of property in the environs.**

The requested rezoning (Map Amendment) to a Single Family District mimics the abutting district to the south (RS – 5). Additionally the property adjacent to the east across South Park Street while currently zoned RM – 1 is developed with a free standing single family home. Abutting the subject property to the west is a low density multiple family rental building. The applicant believes that the adjacency of single-family detached residence with the multiple family property is acceptable.

**b. Supported by the Trend of Development**

**The trend of development in the general area since the original zoning was established supports the proposed classification.**

The Village of Bensenville has seen a spike in single-family home construction in recent years. From 2016 to date there have been eight new home permitted in the village. The Village staff has been approached by a homebuilder active in the community regarding the purchase of the Subject Property for single – family development. On 06.27.17, the Village President and Board of Trustees approved a Planned Unit Development for another 37 homes on the 700 block of South John Street.

**c. Consistent with Village Plans**

**The proposed classification is in harmony with objectives of the General Development Plan and other applicable Village plans as reviewed in light of any changed conditions since their adoption.**

The 2015 Comprehensive Plan indicates Single Family for the Subject Property.

**2. Furthers the Public Interest**

**The proposed zoning classification promotes the public interest. It does not solely further the interest of the applicant.**

The Village believes that the single family home is a mainstay of our community and maintaining a strong supply of new housing products serves to attract new residents to the Village.

**3. Public Services Available**

**Adequate public services – such as water supply, sewage disposal, fire protection, and street capacity are anticipated to be available to support the proposed classification by anticipated date of issuance of a Certificate of Occupancy.**

The Village's Public Works Department has sufficient public facilities to accommodate the eventual development of two new single family home at this location. Under the current zoning classification, the subject property is allowed densities up to 33 persons per acre. The lot is roughly ½ acre.

<b>Variances Approval Rezoning</b>	<b>Meets Criteria</b>	
	<i>Yes</i>	<i>No</i>
1. Compatible with Use or Zoning	X	
2. Supported by Trend of Development	X	
3. Consistent with Village Plans	X	
4. Furthers the Public Interest	X	
5. Public Services Available	X	

**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Rezoning and Subdivision for the Village of Bensenville.

Respectfully Submitted,  
Department of Community  
& Economic Development

**TYPE:**Public Hearing**SUBMITTED BY:**Kurtis Pozsgay**DEPARTMENT:**CED**DATE:**08.01.17**DESCRIPTION:**

Consideration of Variances for the construction of a front porch for the applicant Pawel Gieraltowski, located at 44 Jacquelyn Drive.

**SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:****SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:**☐*Financially Sound Village**Quality Customer Oriented Services**Safe and Beautiful Village*☒*Enrich the lives of Residents**Major Business/Corporate Center**Vibrant Major Corridors***REQUEST:**

Variances from Required front yard setback, Municipal Code Sections 10 – 5D – 4B and 10 – 14 – 13 – 2

**SUMMARY:**

The applicant is proposing to construct a 114 square foot open front porch. The porch extends 6 feet from the home, encroaching entirely into the 30-foot front yard setback. The property is zoned RS-4 Medium High Density Single Family.

**RECOMMENDATION:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Pawel Gieraltowski, with the following conditions:

1. The plans and aesthetics of the porch to be in substantial compliance with the plans submitted with this application.
2. Building material should be compatible with the main residential structure.

**ATTACHMENTS:**

Description	Upload Date	Type
<b>Aerial &amp; Zoning Maps</b>	<b>7/25/2017</b>	<b>Backup Material</b>
<b>Legal Notice</b>	<b>7/25/2017</b>	<b>Backup Material</b>
<b>Staff Report</b>	<b>7/25/2017</b>	<b>Executive Summary</b>
<b>Plans</b>	<b>7/25/2017</b>	<b>Backup Material</b>



CDC#2017 - 20

44 Jacquelyn Drive  
Pawel Gieraltowski  
Variances; Porch



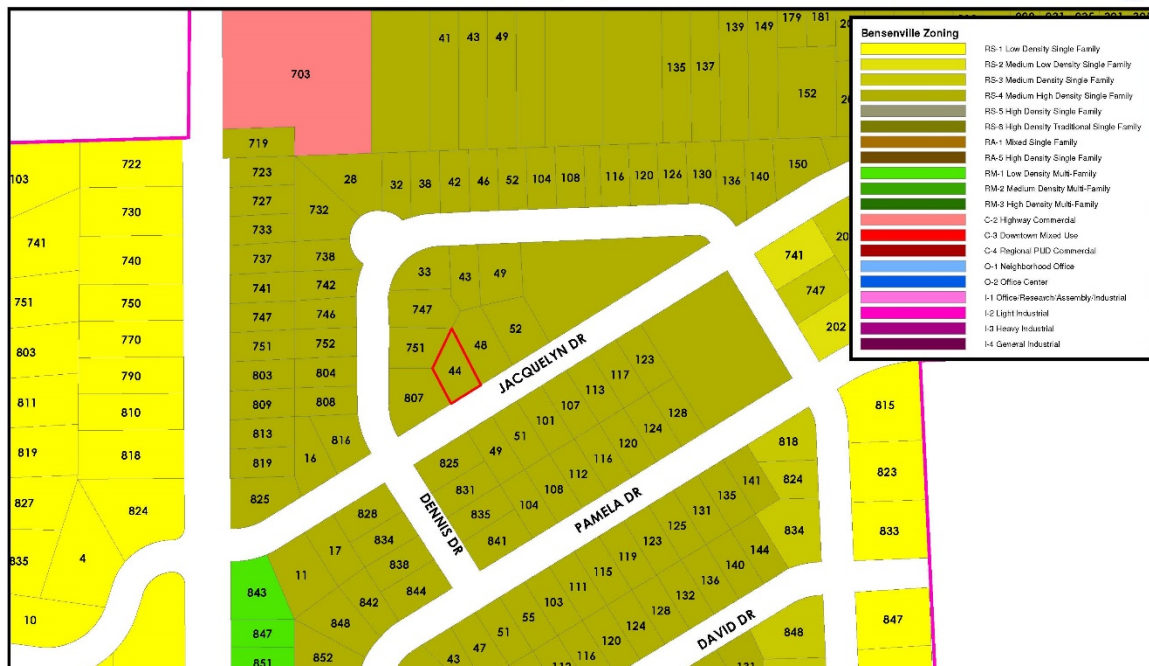
## Village of Bensenville

44 E Jacquelyn Dr



## Village of Bensenville

Zoning Map





**LEGAL NOTICE/PUBLIC NOTICE  
NOTICE OF PUBLIC HEARING**

NOTICE IS HEREBY GIVEN that on Tuesday, August 1, 2017 at 6:30 P.M., the Community Development Commission of the Village of Bensenville, Du Page and Cook Counties, will hold a Public Hearing to review Case No. 2017 – 20 to consider a request for variances for a porch in the front yard:

Required front yard setback, Municipal Code Sections 10 – 5D – 4B and 10 – 14 – 13 – 2

44 Jacquelyn Drive is in a RS – 4 Medium High Density Dingle Family District. The Public Hearing will be held in the Village Board Room at Village Hall, 12 S. Center Street, Bensenville, IL.

The Legal Description is as follows:

LOT FORTY-THREE (43) IN BRENTWOOD TERRACE, A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 24 AND PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 10, 1956 AS DOCUMENT 823155 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 14, 1956 AS DOCUMENT 826909, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 12, 1957 AS DOCUMENT 856155, IN DUPAGE COUNTY, ILLINOIS.

Commonly known as 44 Jacquelyn Drive, Bensenville, IL 60106.

Pawel Gieraltowski, 44 Jacquelyn Drive, Bensenville, IL 60106 is the owner and applicant for the subject property for this CDC Case No. 2017 - 20 and Public Hearing.

Any individual with a disability requiring a reasonable accommodation in order to participate in any public meeting held under the authority of the Village of Bensenville should contact the Village Clerk, Village of Bensenville, 12 S. Center St., Bensenville, Illinois 60106, (630) 766-8200, at least three (3) days in advance of the meeting.

Applicant's application and supporting documentation may be examined by any interested parties in the office of the Community and Economic Development Department, Monday through Friday, in the Village Hall, 12 South Center Street, Bensenville, IL 60106. All interested parties may attend and will be heard at the Public Hearing. Written comments will be accepted by the Community and Economic Development Department through August 1, 2017 until 5:00 P.M.

Office of the Village Clerk  
Village of Bensenville

**TO BE PUBLISHED IN THE BENSENVILLE INDEPENDENT  
July 13, 2017**



### STAFF REPORT

**HEARING DATE:** August 1, 2017  
**CASE #:** 2017 – 20  
**PROPERTY:** 44 Jacquelyn Drive  
**PROPERTY OWNER:** Pawel Gieraltowski  
**APPLICANT:** Same  
**SITE SIZE:** 7,780 SF  
**BUILDING SIZE:** 1,500 SF  
**PIN NUMBERS:** 03-24-302-007  
**ZONING:** RS – 5 High Density Single Family District  
**REQUEST:** Required front yard setback, Municipal Code Sections 10 – 5D – 4B and 10 – 14 – 13 – 2

### **PUBLIC NOTICE:**

1. A Legal Notice was published in the Bensenville Independent on Thursday July 13, 2017. A Certified copy of the Legal Notice is maintained in the CDC file and is available for viewing and inspection at the Community & Economic Development Department during regular business hours.
2. Village personnel posted two Notice of Public Hearing signs on the property, visible from the public way on Friday July 14, 2017.
3. On Friday July 14, 2017, Village personnel mailed from the Bensenville Post Office via First Class Mail a Notice of Public Hearing to taxpayers of record within 250' of the property in question. An Affidavit of Mailing executed by C & ED personnel and the list of recipients are maintained in the CDC file and are available for viewing and inspection at the Community & Economic Development department during regular business hours.

### **SUMMARY:**

The applicant is proposing to construct a 114 square foot open front porch. The porch extends 6 feet from the home, encroaching entirely into the 30-foot front yard setback. The property is zoned RS-4 Medium High Density Single Family.

### **SURROUNDING LAND USES:**

	<b>Zoning</b>	<b>Land Use</b>	<b>Comprehensive Plan</b>	<b>Jurisdiction</b>
<b>Site</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>North</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>South</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>East</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville
<b>West</b>	RS – 4	Residential	Single Family Residential	Village of Bensenville

**DEPARTMENT COMMENTS:**

***SUPPORTS THE FOLLOWING APPLICABLE VILLAGE GOALS:***

<input type="checkbox"/>	Financially Sound Village
<input type="checkbox"/>	Quality Customer Oriented Services
<input type="checkbox"/>	Safe and Beautiful Village
<input checked="" type="checkbox"/>	Enrich the lives of Residents
<input type="checkbox"/>	Major Business/Corporate Center
<input type="checkbox"/>	Vibrant Major Corridors

Finance:

No issues.

Police:

No police issues.

Engineering and Public Works:

No comments.

Community & Economic Development:

Economic Development:

No comments

Fire Safety:

No comments.

Building:

Building has no comments at this time.

Planning:

- 1) The 2015 Comprehensive Plan indicates “Single Family Residential” for this property.
- 2) The proposed porch is 114 SF, replacing stairs and a landing.
- 3) The total building area will be roughly 7,150 square feet. The property is below the 50% threshold for lot coverage.
- 4) The proposed porch is almost entirely within the front yard setback, encroaching roughly 6 feet.
- 5) The proposed front porch is out of character for the neighborhood.
- 6) From Bensenville Appearance Code:
  - a. 2-15 G.1:
    - i. Decks are usually open-air wood structures.
    - ii. Decks are not allowed in front yards.
- 7) Staff, generally, has no problem with front porches/decks.
  - a. They increase “eyes on the street”, which leads to increased safety.
  - b. They encourage interaction with neighbors.

## **APPROVAL CRITERIA FOR VARIANCES:**

The Community Development Commission shall not recommend nor shall the Village Board grant a variance unless it shall make findings based upon the evidence presented to it in each specific case that:

- 1. Special Circumstances:** Special circumstances exist that are peculiar to the property for which the variances are sought and that do not apply generally to other properties in the same zoning district. Also, these circumstances are not of so general or recurrent a nature as to make it reasonable and practical to provide a general amendment to this Title to cover them.

*Response: As far as it was explained to us, property is few inches from property line and variance is needed for front porch. Due to damage to front concrete stairs (first step falling apart, stairs collapsed in the middle), we would like to build wooden stairs with area for couple chairs and table to enjoy front view of the house and watch our children while they play.*

- 2. Hardship or Practical Difficulties:** For reasons set forth in the findings, the literal application of the provisions of this Title would result in unnecessary and undue hardship or practical difficulties for the applicant as distinguished from mere inconvenience.

*Response: Concrete patio in front of the house would not be on the same level and would require constant walking up and down the stairs. It would be convenient to have porch on the same level as house.*

- 3. Circumstances Relate to Property:** The special circumstances and hardship relate only to the physical character of the land or buildings, such as dimensions, topography or soil conditions. They do not concern any business or activity of present or prospective owner or occupant carries on, or seeks to carry on, therein, nor to the personal, business or financial circumstances of any party with interest in the property.

*Response: Only reason we are applying for variance is because porch will encroaches more than maximum 6" into the required front yard 30 feet that is allowed be the Village Ordinance.*

- 4. Not Resulting from Applicant Action:** The special circumstances and practical difficulties or hardship that are the basis for the variance have not resulted from any act, undertaken subsequent to the adoption of this Title or any applicable amendment thereto, of the applicant or of any other party with a present interest in the property. Knowingly authorizing or proceeding with construction, or development requiring any variance, permit, certificate, or approval hereunder prior to its approval shall be considered such an act.

*Response: No new construction actions were takes. Variance is needed in order to proceed with obtaining permit to begin construction.*

- 5. Preserve Rights Conferred by District:** A variance is necessary for the applicant to enjoy a substantial property right possessed by other properties in the same zoning district and does not confer a special privilege ordinarily denied to such other properties.

***Response: There are other properties in Bensenville with front porch and we would like reserve the same right to improve our living while residing in Bensenville.***

- 6. Necessary for Use of Property:** The grant of a variance is necessary not because it will increase the applicant's economic return, although it may have this effect, but because without a variance the applicant will be deprived of reasonable use or enjoyment of, or reasonable economic return from, the property.

***Response: Without the variance, we have no place to sit, put couple of chairs and a table to enjoy front views of our house as well as watch children while they play.***

- 7. Not Alter Local Character:** The granting of the variance will not alter the essential character of the locality nor substantially impair environmental quality, property values or public safety or welfare in the vicinity.

***Response: Front porch will not impair the environmental quality or welfare of the vicinity in which we live.***

- 8. Consistent with Title and Plan:** The granting of a variance will be in harmony with the general purpose and intent of this Title and of the general development plan and other applicable adopted plans of the Village, as viewed in light of any changed conditions since their adoption, and will not serve in effect to substantially invalidate or nullify any part thereof.

***Response: If this Variance is granted, it will, in no way, interfere with the General Development Plan adopted by the Village of Bensenville.***

- 9. Minimum Variance Needed:** The variance approved is the minimum required to provide the applicant with relief from undue hardship or practical difficulties and with reasonable use and enjoyment of the property.

***Response: If the Variance is approved, we will proceed with obtaining a permit and begin construction.***

	<b>Meets Criteria</b>	
<b>Variances Approval Criteria</b>	<i>Yes</i>	<i>No</i>
1. Special Circumstances	X	
2. Hardship	X	
3. Circumstances relate to the Property	X	
4. Not Resulting from Applicant Actions	X	
5. Preserve Rights Conferred By District	X	
6. Necessary for the Use of the Property	X	
7. Not Alter Local Character	X	
8. Consistent with Title and Plan	X	
9. Minimum Variance Needed	X	

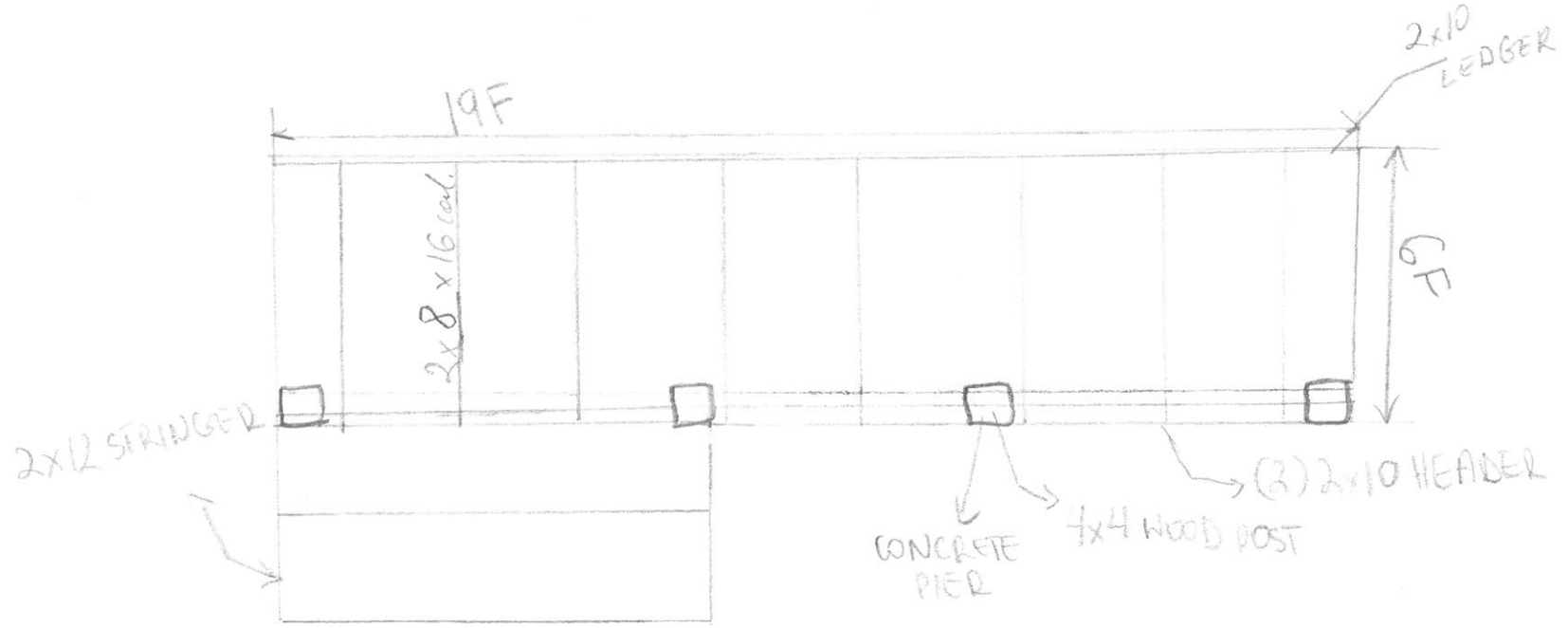
**RECOMMENDATIONS:**

Staff recommends the Approval of the above Findings of Fact and therefore the Approval of the Variance for Pawel Gieraltowski, with the following conditions:

1. The plans and aesthetics of the porch to be in substantial compliance with the plans submitted with this application.
2. Building material should be compatible with the main residential structure.

Respectfully Submitted,  
Department of Community  
& Economic Development

2x2 WOOD BALUSTER





BRICK & FRAME  
RESIDENCE

30 FT. BLDG. LINE

2x12  
STRINGER

CONCRETE  
PIER

4x4  
WOOD POST

2x10 LEDGER

2x10 HEADER

PROPOSED

REC. 81.95'

30.91'

REC. 75.00'

S 57°24'28" W

W DRIVE



# PLAT OF SURVEY

LOT FORTY-THREE (43) IN BRENTWOOD TERRACE, A SUBDIVISION OF PART OF THE SOUTH HALF OF SECTION 24 AND PART OF THE NORTHWEST QUARTER OF SECTION 25, TOWNSHIP 40 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED NOVEMBER 10, 1956 AS DOCUMENT 823155 AND CERTIFICATE OF CORRECTION RECORDED DECEMBER 14, 1956 AS DOCUMENT 826909, AND CERTIFICATE OF CORRECTION RECORDED SEPTEMBER 12, 1957 AS DOCUMENT 856155, IN DUPAGE COUNTY, ILLINOIS.

STATE OF ILLINOIS )  
COUNTY OF DU PAGE ) S.S.)

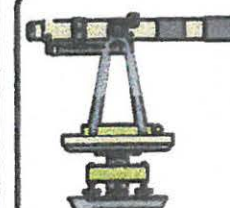
ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.



Prepared for:

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& SUBACH, LTD.  
1035 S. YORK ROAD  
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IRON PIPE'S AT ALL PROPERTY CORNERS  
UNLESS NOTED OTHERWISE

